

**MILWAUKIE PLANNING**  
 10501 SE Main St.  
 Milwaukie OR 97222  
 503.786.7630  
 planning@milwaukieoregon.gov

# Preapplication Request Form

File #: 24-005PA

Meeting Date: 3 / 21 / 21 Time: 10 a.m. Location: 10501 SE Main St. Today's Date: 3 / 4 / 2024

**Applicants and representatives are expected to present a detailed explanation of their proposal at the conference.**

The purpose of the preapplication conference is to acquaint the applicant or applicant's representative with the requirements of the municipal code in preparation for submission of a land use application, including relevant approval criteria, development standards, and procedures. The preapplication conference is not an exhaustive review of all potential issues or requirements. Furthermore, the information provided by the City is not binding, and it does not preclude the City from raising new issues or identifying additional requirements during the land use review process. (MMC 19.1002 Preapplication Conference)

Although the primary purpose is as stated above, preapplication conferences may also be used as part of a due diligence process to obtain a higher degree of certainty about a property development. An applicant is not required to be the property owner to request a preapplication conference.

**SITE INFORMATION:**

Site Address: 4409-4411 SE Llewellyn St.	Map & Tax Lot(s): 12E30CC07501 12E30CC07400	Zone: HDR
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**PROPOSAL** (brief description):

New construction of tri-plex at 4409 and new construction of tri-plex at 4411 SE Llewellyn
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**APPLICANT:**

Project Contact Name: Gene Dieringer	Company: Dieringer Properties Inc.
Mailing Address: 10505 SE 44th St., Milwaukie, OR	Zip: 97222
Phone(s): (503) 659-1402	Email: gene@dieringerinc.com
# of Expected Attendees: <u>3</u>	<input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Representative <input type="checkbox"/> Engineer <input type="checkbox"/> Other: _____

**REQUESTED MEETING TYPE:**

- Preapplication Meeting—1<sup>st</sup> meeting free; 2<sup>nd</sup> meeting \$50; Subsequent meetings \$100/mtg.**
  - Optional meeting with 2 City staff. No meeting notes are provided by staff.
  - Staff will coordinate meeting date and time once Submittal Information (listed on reverse) is received.
- Preapplication Conference—\$200**
  - Optional or required meeting with 3 or more staff. Meeting notes are provided by staff 2 weeks after the conference.
  - City staff from the Planning, Building, Engineering, and Public Works departments usually attend. Other public agencies (such as the Fire District) may attend as necessary.
  - Appointment times are Thursdays from 10:00 a.m.–11:00 a.m.
  - Appointments are scheduled on a first-come, first-served basis. Preapplication Requests must be submitted during counter hours, and by 12:30 p.m. every Thursday for the first appointment available.
  - Appointments must be made no less than **three weeks** before the desired meeting date for **Major projects** (e.g. commercial, industrial, multi-family, subdivisions) and no less than **two weeks** in advance of the desired meeting date for **Minor projects\*** (e.g. single family, ADUs, partitions).
- Transportation Impact Study Review—\$100**
  - Mandatory second meeting if the project requires a Transportation Impact Study (TIS).
  - To be scheduled after completion of a TIS by the applicant's engineer.

**IMPORTANT INFORMATION ON REVERSE SIDE**



# DIERINGER'S PROPERTIES, INC.

10505 SE 44<sup>th</sup> Ave, Milwaukie OR 97222  
503-659-1402 Fax 503-659-1625

March 5, 2024

City of Milwaukie  
Planning Dept

Hand Delivered

*RE: 4409 & 4411 SE Llewellyn*

To whom it concerns:

We are submitting this Preapplication Request Form to schedule a Preapplication Conference for 4409 & 4411 SE Llewellyn (adjoining properties).

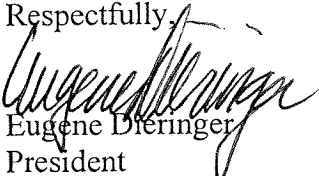
We are including site plans, plat map and basic building & floor plans for reference and review.

## NARRATIVE

- Currently both lots are vacant
- A single family residence had formerly been built on each lot
- We intend to construct one tri-plexes on each lot
- Each tri-plex will have 2 off-street parking garages
- The slope is mild (less than 2%)
- The property immediately to the West is also owned by the applicant (4403 SE Llewellyn)
- We intend to apply for our construction permits utilizing a prescriptive path (no variances)

During the conference, we would like to specifically address the following:

- Required fire walls and ratings
- Verify that setbacks & building coverages are adequate met under current code
- Discuss requirements and options for any offsite improvements. (ie: in past conversations with the City, it had been suggested that the City might ask to transfer offsite improvements to 4403 SE Llewellyn
- Any other issues, recommendations or concerns the City may see or would like our architect to address before applying for the building permit

Respectfully,  
  
Eugene Dieringer  
President

**LEGEND:**

WATER LINE	W	---
SEWER LINE	SS	---
STORM LINE	S	---
GAS LINE	G	---
WATER METER	M	
UTILITY POLE	UP	
UTILITY VAULT	UV	
HYDRANT	H	



PHONE: 503.515.7930  
barry.fcdgllc@gmail.com

**PROJECT DATA:**

**CLIENT**

DPI

**PLAN**

4409-11 MAP

**SITE ADDRESS**

4403-4411  
SE LLEWELLYN ST.  
MILWAUKIE, OR 97222

**ISSUES**

AUTHOR: BRS

DATE: 02.21.24

REVS' D: 00.00.24

LAT: 45.447557,  
LONG: -122.6164  
ELV: 166 FT.

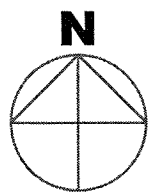
**SITE PLAN**

SHEET:

**S1.1**

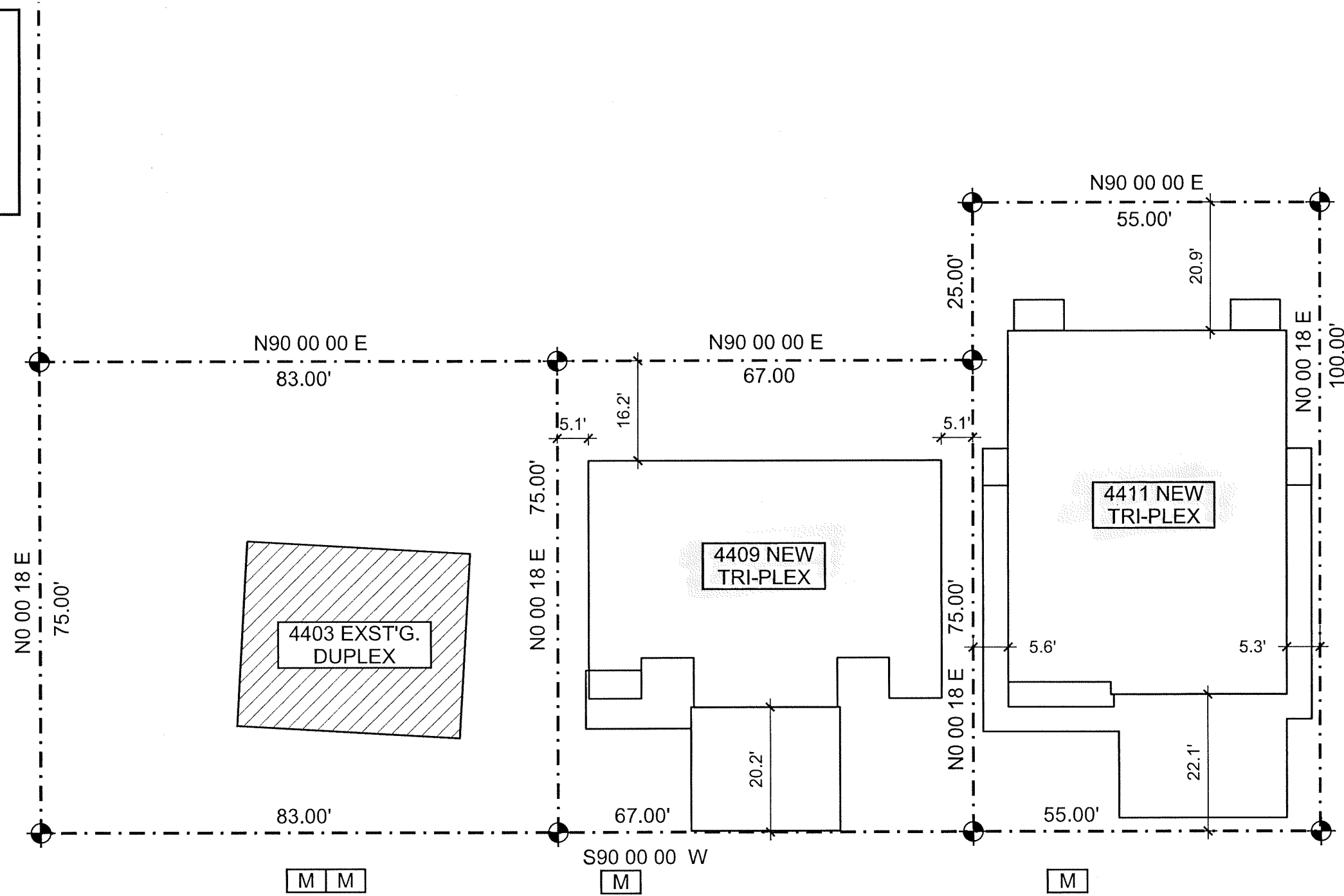
SE 44TH AVENUE

SE LLEWELLYN STREET



**SITE PLAN**

SCALE: 1"=20' 0"



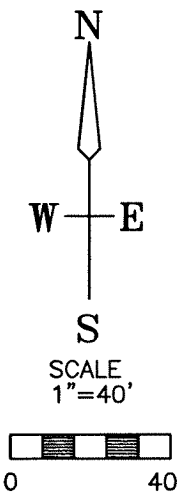
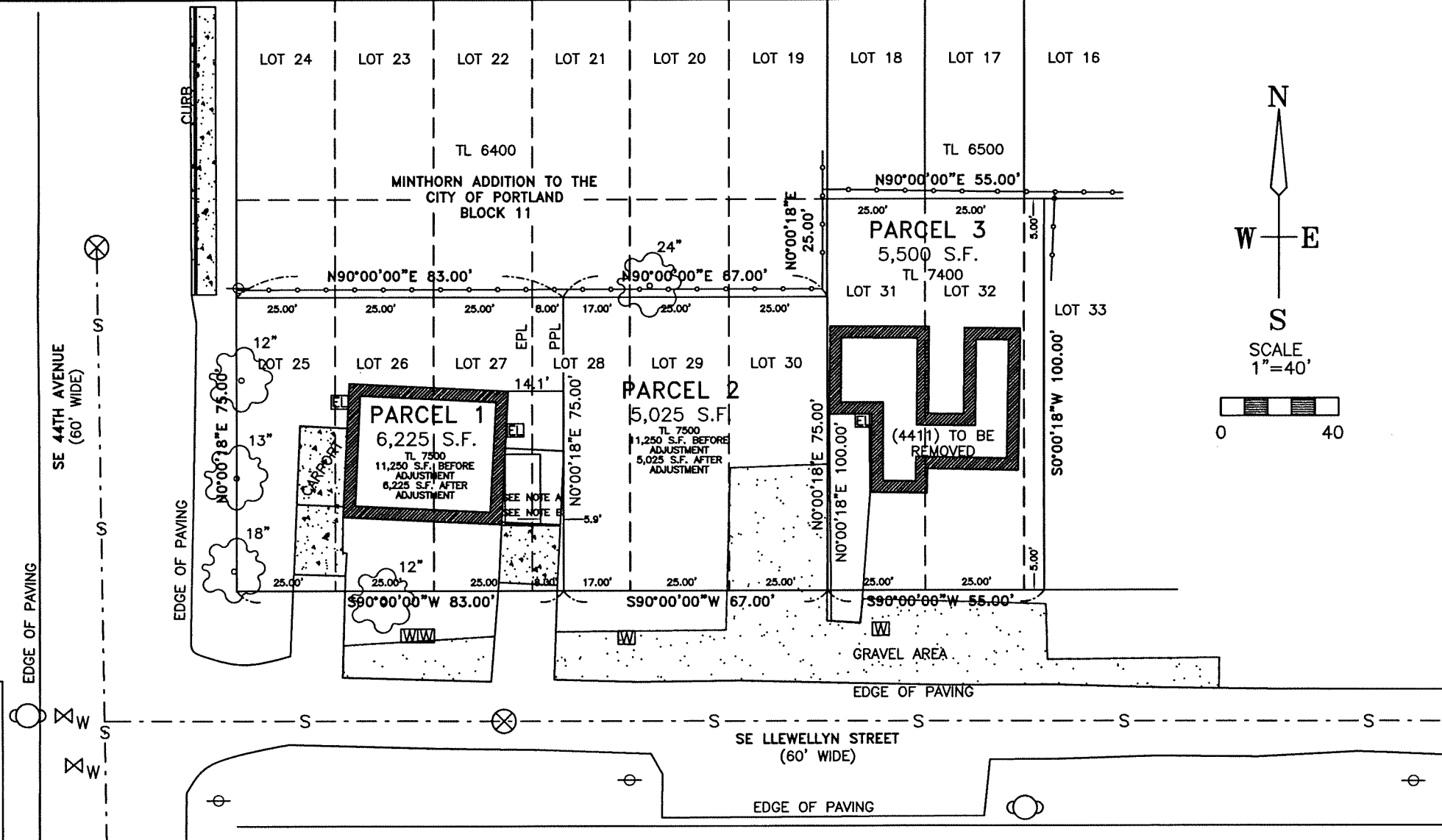
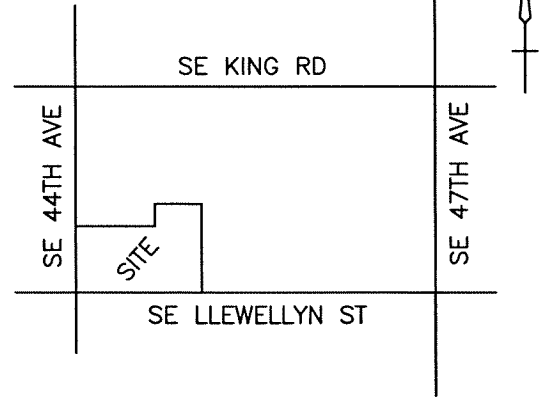
4403  
6225 S.F.

4409  
5025 S.F.

4411  
5500 S.F.

- SYMBOLS**
- = POWER POLE
  - = WATER METER
  - = ELECTRIC METER
  - = WATER VALVE
  - = MANHOLE
  - = FIRE HYDRANT
  - = DOWN SPOUTS
  - EPL = LINE TO CONFIRM
  - PPL = PROPOSED PROPERTY LINE
  - S = SAN. SEWER
  - = DECIDUOUS TREE
  - = CONIFER TREE

**VICINITY MAP**  
NO SCALE



OWNER TL 7500  
DIERINGERS PROPERTIES INC  
10505 SE 44TH AVE  
MILWAUKIE OR 97222  
PHONE: 503-659-1402  
LEGAL  
T.1S. R.2E. SEC 30CC TL 7500  
ZONING  
11,250 S.F.  
S.F. AFTER ADJUSTMENT 6,225 S.F.  
SEWER:  
WATER:

OWNER TL 7500  
DIERINGERS PROPERTIES INC  
10505 SE 44TH AVE  
MILWAUKIE OR 97222  
PHONE: 503-659-1402  
LEGAL  
T.1S. R.2E. SEC 30CC TL 7500  
ZONING  
11,250 S.F.  
S.F. AFTER ADJUSTMENT 5,025 S.F.  
SEWER:  
WATER:

NOTE: DISTANCES AND S.F. WILL VARY BASED ON THE FINAL SURVEY

NOTE A:  
GARAGE TO BE REMOVED  
NOTE B:  
9'X18' PROPOSED PARKING PAD

**Ferguson Land Surveying, Inc.**  
646 SE 106TH AVE. PORTLAND, OR 97216  
Phone (503) 408-0601 Fax (503) 408-0602  
www.FergusonLandSurveying.com

CLIENT:  
DIERINGER'S PROPERTIES INC  
GENE & PAT DIERINGER  
10505 SE 44TH AVE  
MILWAUKIE OR 97222

DATE: JANUARY 10, 2018

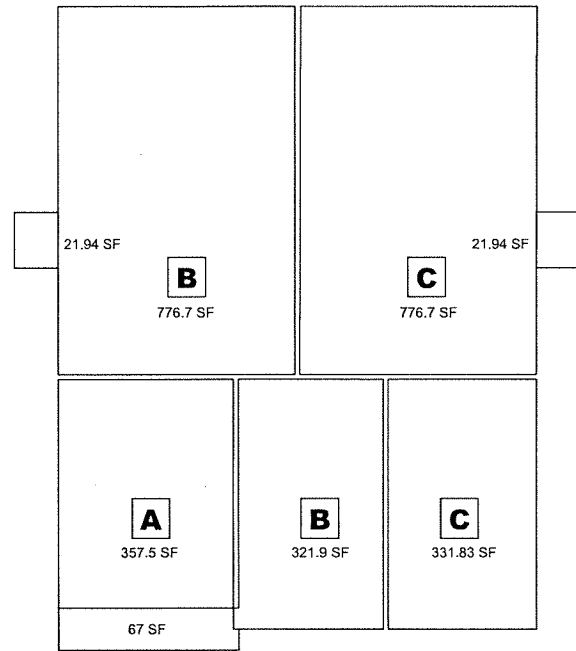
JOB NO. 17-215  
DRAFTED 01.10.18

REVISED	
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SHEET 1 OF 1

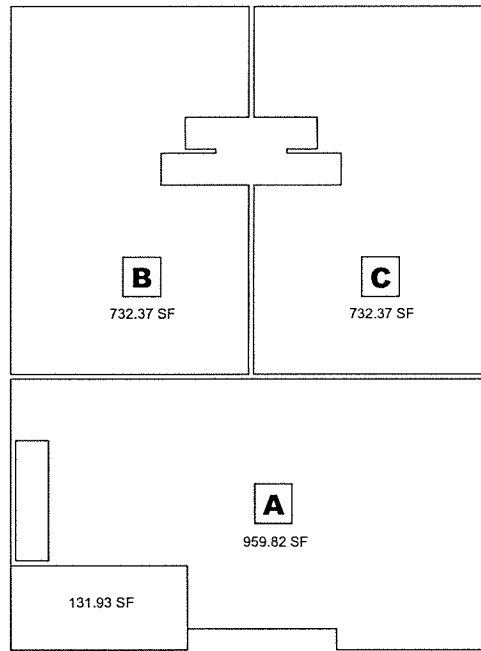
# ARCHITECTURAL ABBREVIATIONS

ABV: Above	EOP: Edge of Pymnt	MLB: Micro	TOW: Top of Wall
ACOUS: Acoustical	EQ: Equal	Laminated Beam	TB: Towel Bar
ADDL: Additional	FOC: Face of Concrete	NOM: Nominal	T: Tread
ADH: Adhesive	FOF: Face of Finish	N: North	TS: Tubular Steel
ADJ: Adjustable	FOM: Face of Masonry	NIC: Not in Contract	TYP: Typical
AFF: Above Finish Floor	FOS: Face of Studs	NTS: Not To Scale	UL: Underwriters Laboratory
AGG: Aggregate	FOW: Face of Wall	NO: # Number	UNF: Unfinished
AHJ: Authority Having Jurisdiction (Building Department)	FBD: Fiberboard	O: Non-Operable	UNO: Unless Noted Otherwise
A/C: Air Conditioning	FCB: Fiber Cement Board	OC: On Center	VB: Vapor Barrier
ALT: Alternate	FGL: Fiberglass	OP: Opaque	VAR: Varnish
ALUM: Aluminum	FIN: Finish	OPS: Opening	VIF: Verify in Field
ANC: Anchor, Anchorage	FFE: Finished Floor Elevation	OSB: Orientated Strand Board	VRN: Veneer
AB: Anchor Bolt	FA: Fire Alarm	PMT: Paint(ed)	VERT: Vertical
ANOD: Anodized	FE: Fire Extinguisher	PBD: Particle Board	OD: Outside Diameter
APX: Approximate	FL: Fireplace	PRT: partition	WL: Wall
APT: Apartment	FLR: Floor	PVMT: Pavement	WC: Water Closet
ARCH: Architect (architectural)	FLOR: Fluorescent	PERF: Perforate(d)	WH: Water Heater
ASPH: Asphalt	FT: Foot, Feet	PLAS: Plaster	WP: Water Proofing
AUTO: Automatic	FND: Foundation	Laminat	WR: Weather Resistant
AVE: Avenue	FRM: Fram(d), (ing)	PLT: Plaster	WRB: Weather Resistant Barrier
AVR: Average	FBO: Furnished by Others	PLYWD: Plywood	WRF: Welded Wire Fabric
AWN: Awning	FUR: Furred	PCC: Precast Concrete	WWM: Welded Wire Mesh
BSMT: Basement	GA: Gage, Gauge	PCF: Pounds Per Cubic Foot	W: West
BM: Beam	GAL: Gallon	PLF: Pounds Per Linear Foot	WIN: Window
BVL: Beveled	GL: Glass, Glazing	PSF: Pounds Per Square Foot	WO: Without
BITUM: Bituminous	GI: Galvanized Iron	PSI: Pounds Per Square Inch	W: With
BLK: Black	GLBK: Glass Block	PBF: Prefabricated	WD: Wood
BLKG: Blocking	GT: Groat	PRF: Preformed	X: Operable Window Section
BLW: Below	GRD: Grade, Grading	PT: Pressure Treat	
BLDV: Boulevard	GWB: Gypsum Wall Board	RA: Return Air	
BTW: Between	HWD: Hardware	dPL: Property Line	
BD: Board	HDR: Header	PH: Toilet Paper Hanger	
BOT: Bottom	HTG: Heating	QTY: Quantity	
BLDG: Building	HVAC: Heating, Ventilation-Air Conditioning	QT: Quarry Tile	
BUR: Built Up Roofing	HT: Height	RAD: Radius	
B/O: By Others	HC: Hollow Core	REF: Reference	
BO: Bottom Of	HOR: Horizontal	RFL: Reflect(ed), (ive), (or)	
BR: Bedroom	HB: Hose Bib	REFR: Ref	
CAB: Cabinet	IN: Inch	REG: Register	
CALC: Calculation	INCL: Include	RE: Reinforced	
CD: Cabinet Door	ID: Inside Diameter	REQD: Required	
CG: Corner Guard	INS: Insulate	RA: Return Air	
CIP: Cast-In-Place (Concrete)	INT: Interior	REV: Revision	
CL: Centerline	INV: Invert	R: Riser	
CO: Clean Out	JNT: Joint	RD: Rod	
CONTR: Contract (or)	JST: Joist	R&S: Rod and Shelf	
COORD: Coordinate	KD: Klin Dried	RFG: Roofing	
CRPT: Carpet	KLK: Caulking	RM: Room	
CIP: cast-in-place	CAS: Casement	RO: Rough Opening	
CLK: Caulking	CB: Catch Basin	SCH: Schedule	
CAS: Casement	CLG: Ceiling	SCN: Screen	
CB: Catch Basin	CT: Ceramic Tile	SECT: Section	
CLG: Ceiling	CIR: Circle	SGD: Sliding Glass Door	
CLR: Clear	COL: Column	SH: Sheathing	
CONC: Concrete	CMU: Concrete Masonry Unit	SHT: Sheet	
CONSTR: CONSTRUCTION	CONC: Concrete Masonry Unit	SH: Shelf, Shelving	
CJT: Control Joint	CORR: Corrugated	SL: Slab	
CORR: Corrugated	CUFT: Cubic Foot	SLD: Slider(ing)	
CUYD: Cubic Yard	DAMP: Dampproofing	SPEC: Specification	
DTL: Detail	DIA: Diameter	SQ: Square	
DIA: Diameter	DIM: Dimension	STD: Standard	
DW: Dishwasher	DIV: Division	STV: Stove	
DR: Door	DH: Double Hung	STL: Steel	
DS: Downspout	DRWR: Drawer	STR: Structural	
DT: Drain Tile	DWG: Drawing	SA: Supply Air	
D: Nail Size	EW: Each Way	SC: Solid Core	
EL: Elevation	ELEV: Elevation	SW: Shear Wall	
		SS: Stainless Steel	
		SYS: System	
		TEL: Telephone	
		TEMP: Tempered	
		TK: Tight Knot	
		T&G: Tongue and Groove	
		T/O: Top of Concrete	

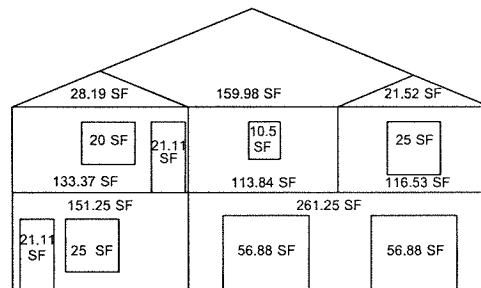


**MAIN AREA MAP**  
SCALE: 1/8"=1'0"

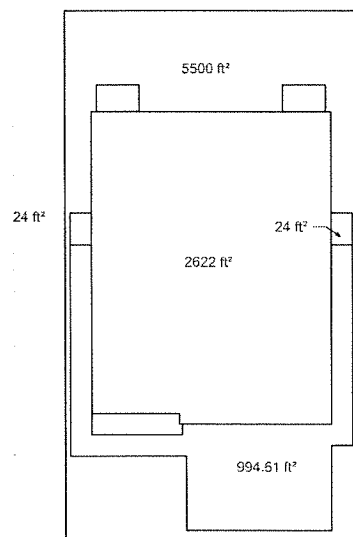
UNITS	SF	SF
A MAIN	357.5	
A UPPER	959.82	
A TOTAL	1317.32	1317.32
B MAIN	776.7	
B UPPER	732.37	
B TOTAL	1509.07	1509.07
B GARAGE	321.9	
B PORCH	21.94	
B TOTAL	343.84	
C MAIN	776.7	
C UPPER	732.37	
C TOTAL	1509.07	1509.07
C GARAGE	331.9	
C PORCH	21.94	
C TOTAL	353.84	4335.46



**UPPER AREA MAP**  
SCALE: 1/8"=1'0"



**ST. FACING FACADE**



**LOT COVERAGE**  
SCALE: 1/16"=1'0"

## SCOPE

The scope of these plans is to show:

- A Triplex in an HDR zone
- Title 19 Zoning compliance

This design meets conditions in Table N1101.1(1) and one additional measure from Table N1101.1(2). Alterations comply with Section N1101.2.1 through N1101.1.2.3

## PLANS EXAMINER NOTES

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## SITE CONDITIONS

ASSUMED SITE CONDITIONS HAVE A SLOPE NOT EXCEEDING 3%. CONDITIONS EXCEEDING THESE PARAMETERS MUST BE REPORTED PRIOR TO CONSTRUCTION BY A COMPETENT CONSTRUCTION MGR. ALL DETAILS PROVIDED BY CONSULTANTS MUST BE APPROVED BY FCDG-LLC, PRIOR TO APPROVAL OF THE LOCAL S.O. AND PRIOR TO FABRICATION.

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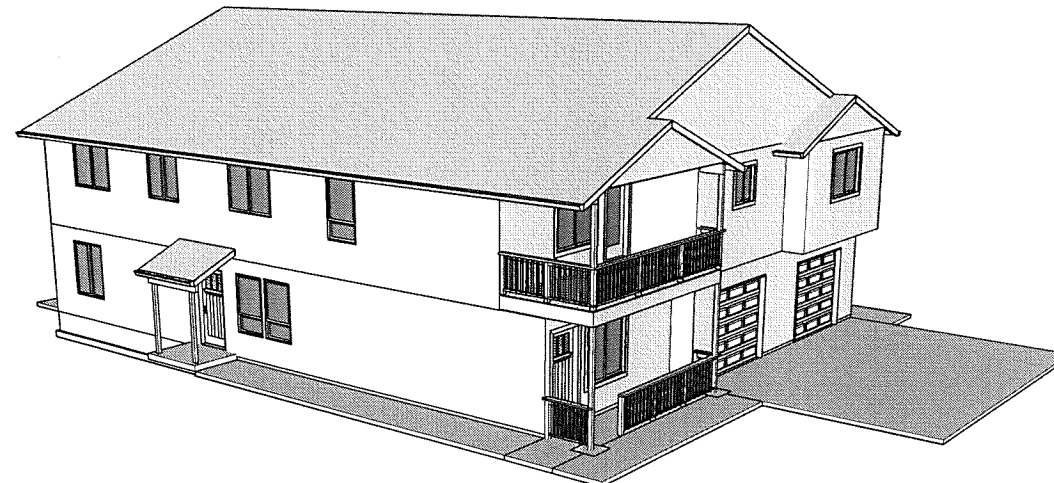
## AREAS

LOT SIZE	TOTAL	COVERAGE	
5500	5500	100.00%	
LOT COVERAGE PER PLAN	2670	48.55%	PASS
MAX. LOT COVERAGE ALLWD.		50%	
PAVED SURFACES PER PLAN	994	18.07%	
TOT. COVERAGE	3664	66.62%	
VEGETATION COVR'G PER PLAN	1836	33.38%	PASS
MIN. VEGETATION REQ.		15%	

Between 5,000 to 6,999 sq ft: Single Detached Dwelling, Single Detached Dwelling with up to 2 ADUs, Duplex, Triplex, and Quadplex.

### AREA IN SQUARE FEET

BLDG SEGMENT	OPENING	FACTOR	ALLOWED
28.19	20	100%	20
159.98	21.11	100%	21.11
21.52	10.5	100%	10.5
133.37	25	100%	25
113.84	21.11	100%	21.11
116.53	25	100%	25
151.25	56.88	50%	28.44
261.25	56.88	50%	28.44
BLDG FACE	985.93		179.6
OP'NG PROVIDED	18.22%	PASS	
REQUIRED	15.00%		



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## SITE DATA

ELEVATION:	161.2 ft
LATITUDE:	44.447433
LONGITUDE:	-112.616167
GROUND SNOW LOAD:	41 lb/ft
SNOW LOAD:	24 PSF
SEISMIC CAT.:	D
WIND SPEED:	107 Vmph
FROST LINE:	11 IN.
RADON ZONE:	2

## PROJECT DATA

CLIENT  
DIERINGER PROPERTIES INCORPORATED  
PLAN  
TRI-PLEX  
SITE ADDRESS  
4411 SE LLEWELLYN ST  
PORTLAND, OR 107222

## TEAM DATA

CONTRACTOR  
SLH Custom Homes  
CCB# 187138  
STRUCTURAL ENG.

FCDG LLC  
FIELDS CREEK DESIGN  
503.765.6963

## PLAN ISSUES

AUTHOR: BRS  
CREATED: 02.28.24  
REVISED: 02.28.24

## COVER SHT.

SHEET  
**C1.0**

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**SITE DATA**

ELEVATION: 161.2 ft  
 LATITUDE: 44.447433  
 LONGITUDE: -112.616167  
 GROUND SNOW LOAD: 41 lb/ft  
 SNOW LOAD: 24 PSF  
 SEISMIC CAT.: D  
 WIND SPEED: 107 Vmph  
 FROST LINE: 11 IN.  
 RADON ZONE: 2

**PROJECT DATA**

CLIENT: DIERINGER PROPERTIES INCORPORATED  
 PLAN: TRI-PLEX  
 SITE ADDRESS: 4411 SE LLEWELLYN ST PORTLAND, OR 107222

TEAM DATA  
 CONTRACTOR: SLH Custom Homes CCB# 187138  
 STRUCTURAL ENG.

FCDG LLC  
 FIELDS CREEK DESIGN  
 503.765.6963

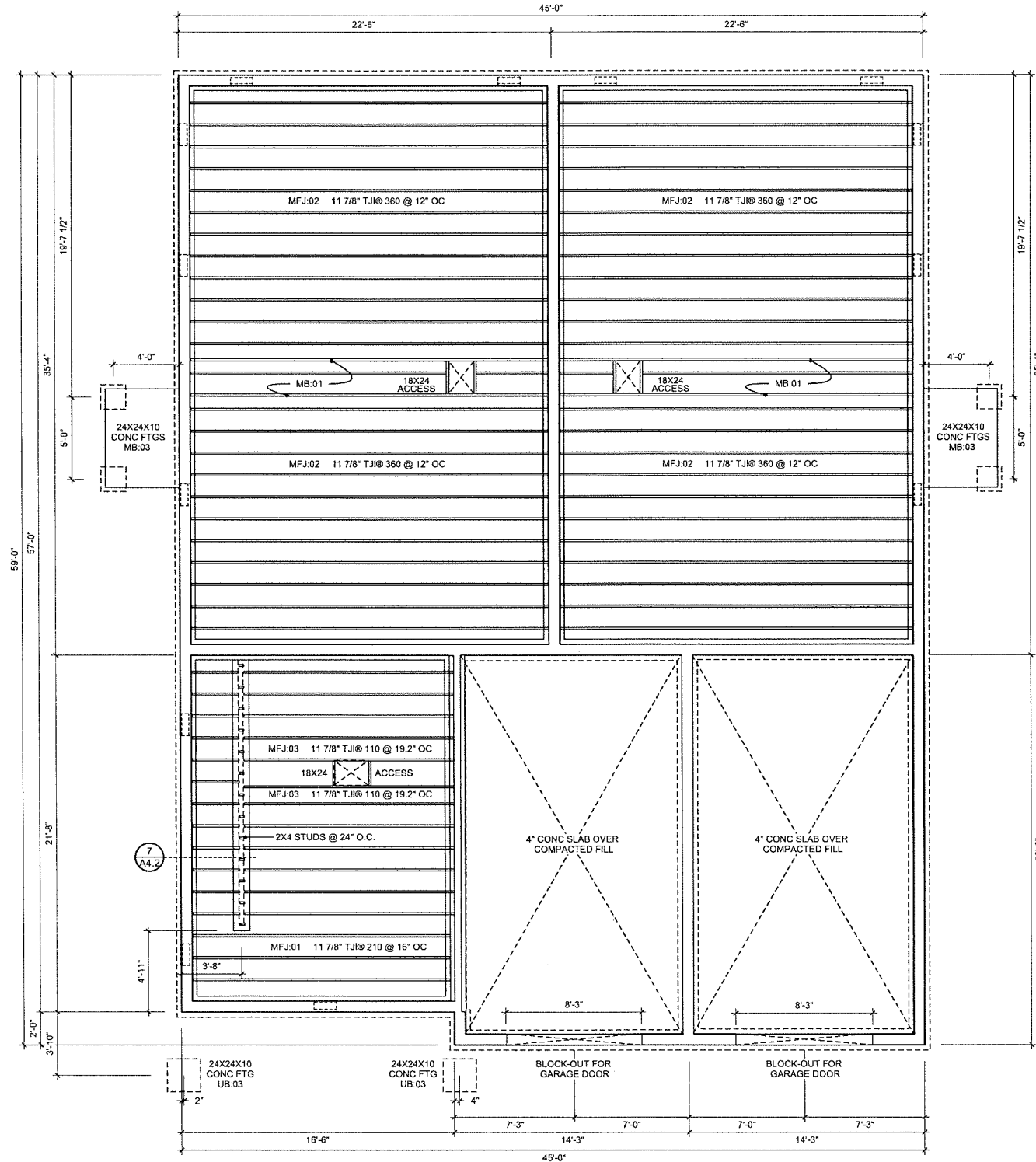
PLAN ISSUES  
 AUTHOR: BRS  
 CREATED: 02.28.24  
 REVISED: 02.28.24

**PLAN VIEWS**

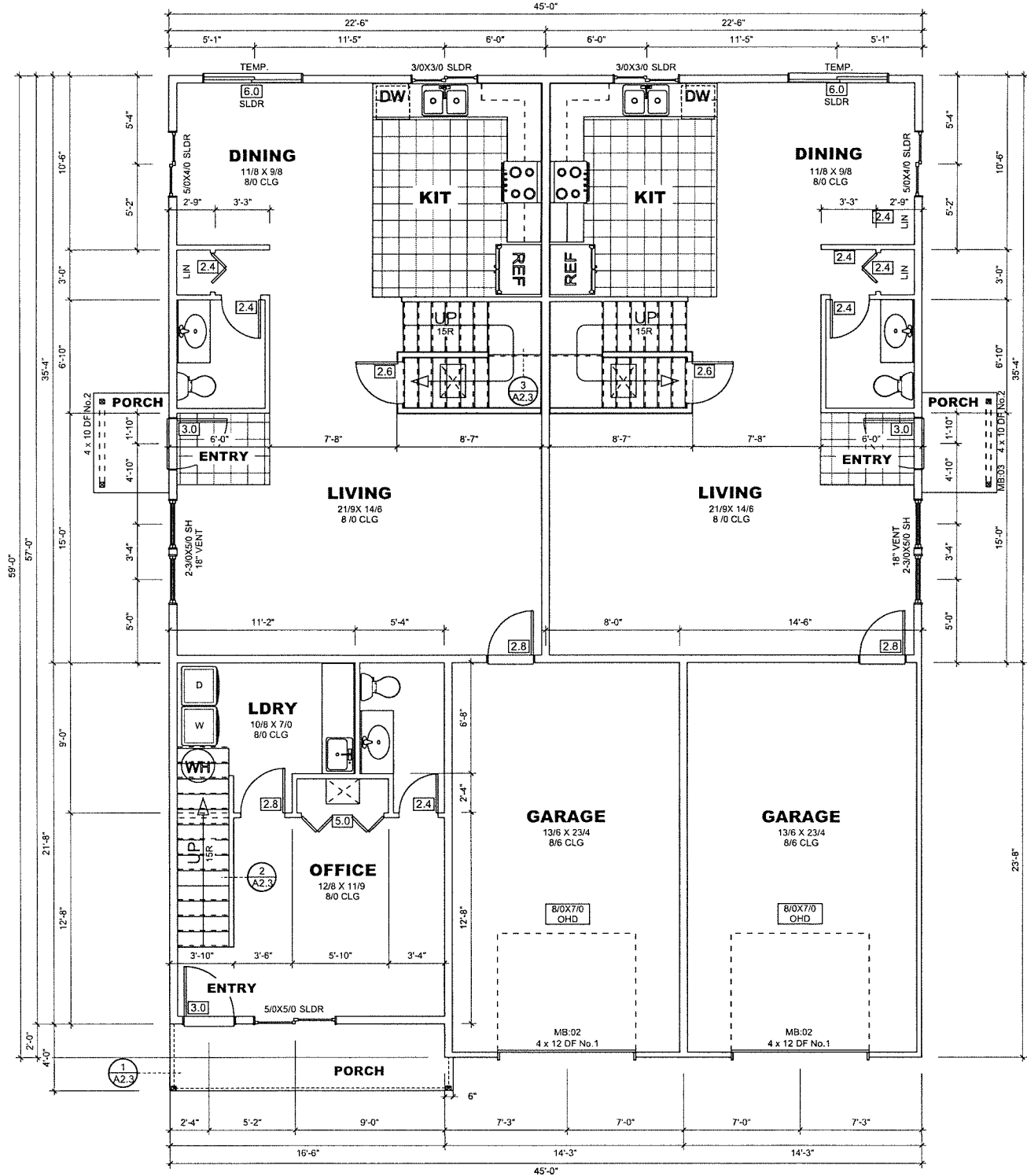
SHEET **A2.1**

FCDG LLC : 23381 SW Bossy Dell Lane, West Linn, OR, 107668 : 11.11.2014

PROJECT TITLE



**FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0"



**MAIN FLOOR**  
 SCALE: 1/4"=1'-0"



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 SNOW LOAD: 24 PSF  
 SEISMIC CAT.: D  
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 FROST LINE: 11 IN.  
 RADON ZONE: 2

**PROJECT DATA**

**CLIENT**  
 DIERINGER PROPERTIES INCORPORATED  
**PLAN**  
 TRI-PLEX  
**SITE ADDRESS**  
 4411 SE LLEWELLYN ST  
 PORTLAND, OR 107222

**TEAM DATA**

**CONTRACTOR**  
 SLH Custom Homes  
 CCB# 187138  
**STRUCTURAL ENG.**

**FCDG LLC**  
 FIELDS CREEK DESIGN  
 503.765.6963

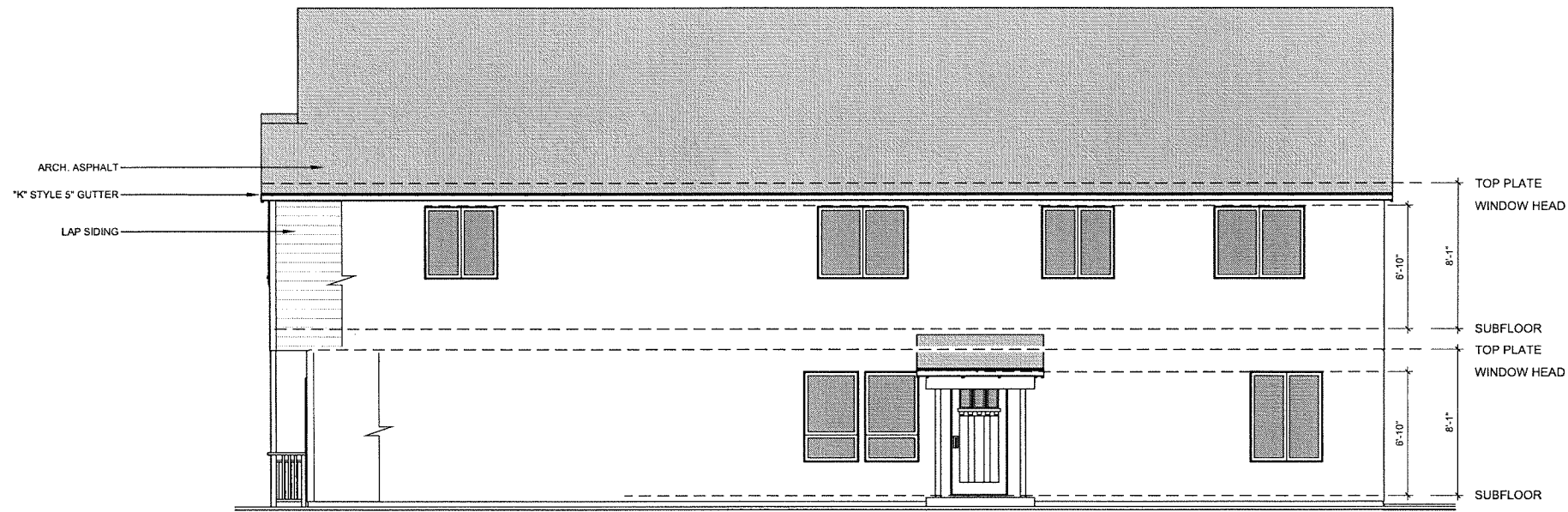
**PLAN ISSUES**

AUTHOR: BRS  
 CREATED: 02.28.24  
 REVISED: 02.28.24

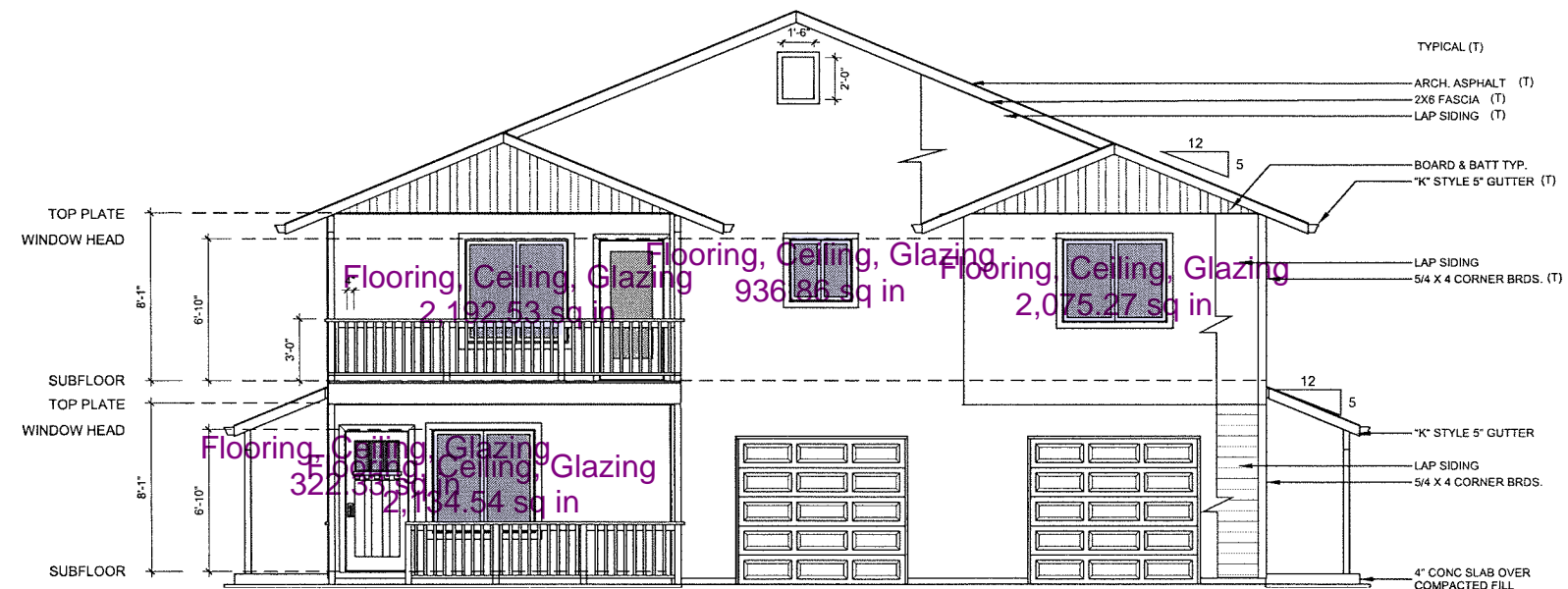
**ELEVATIONS**

SHEET **A1.1**

FCDG LLC : 23281 SW Bosby Dell Lane, West Linn, OR, 97068 : 11.11.2014



**02 RIGHT ELEVATION**  
 SCALE: 1/4"=1'0"

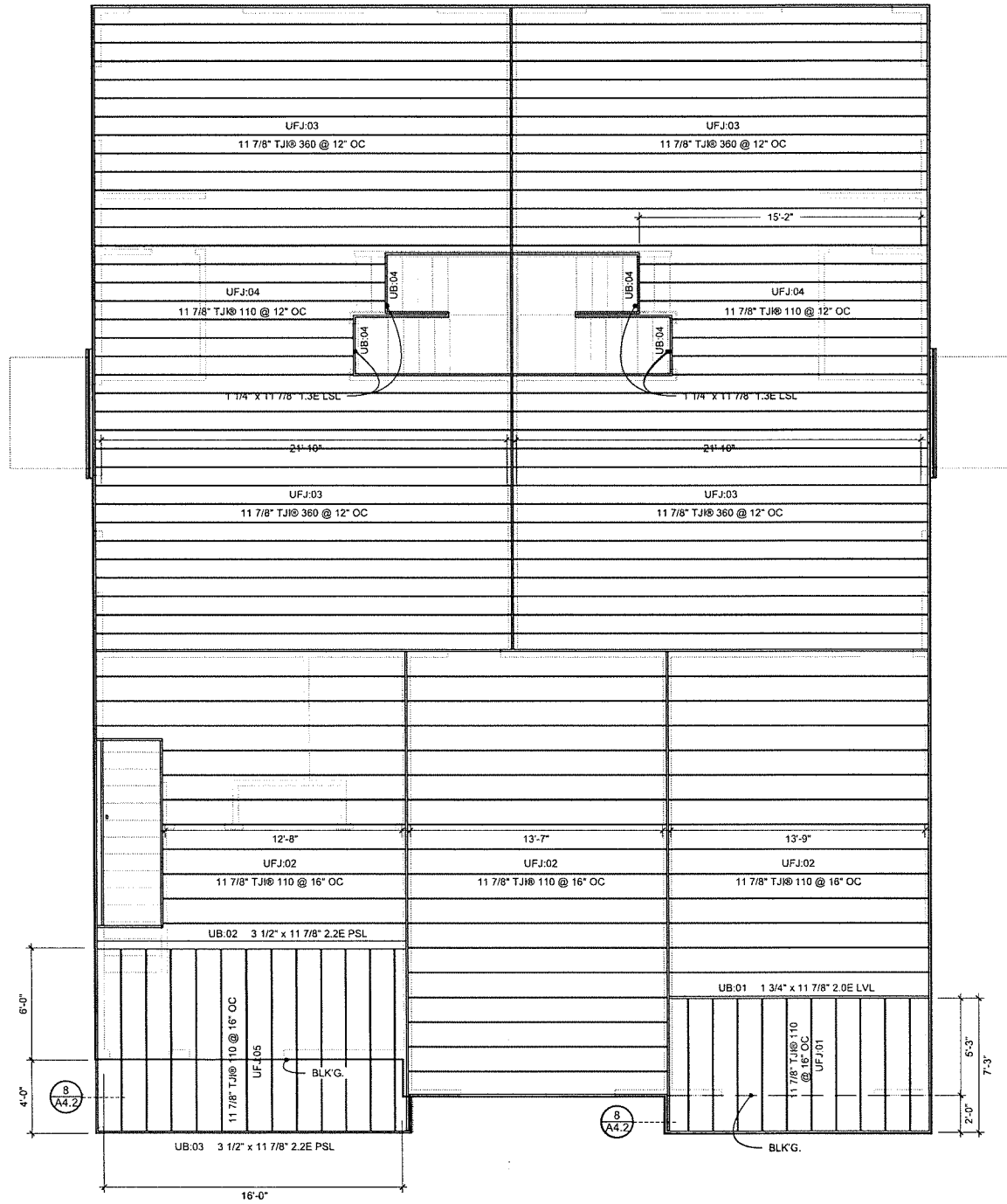


**01 FRONT ELEVATION**  
 SCALE: 1/4"=1'0"

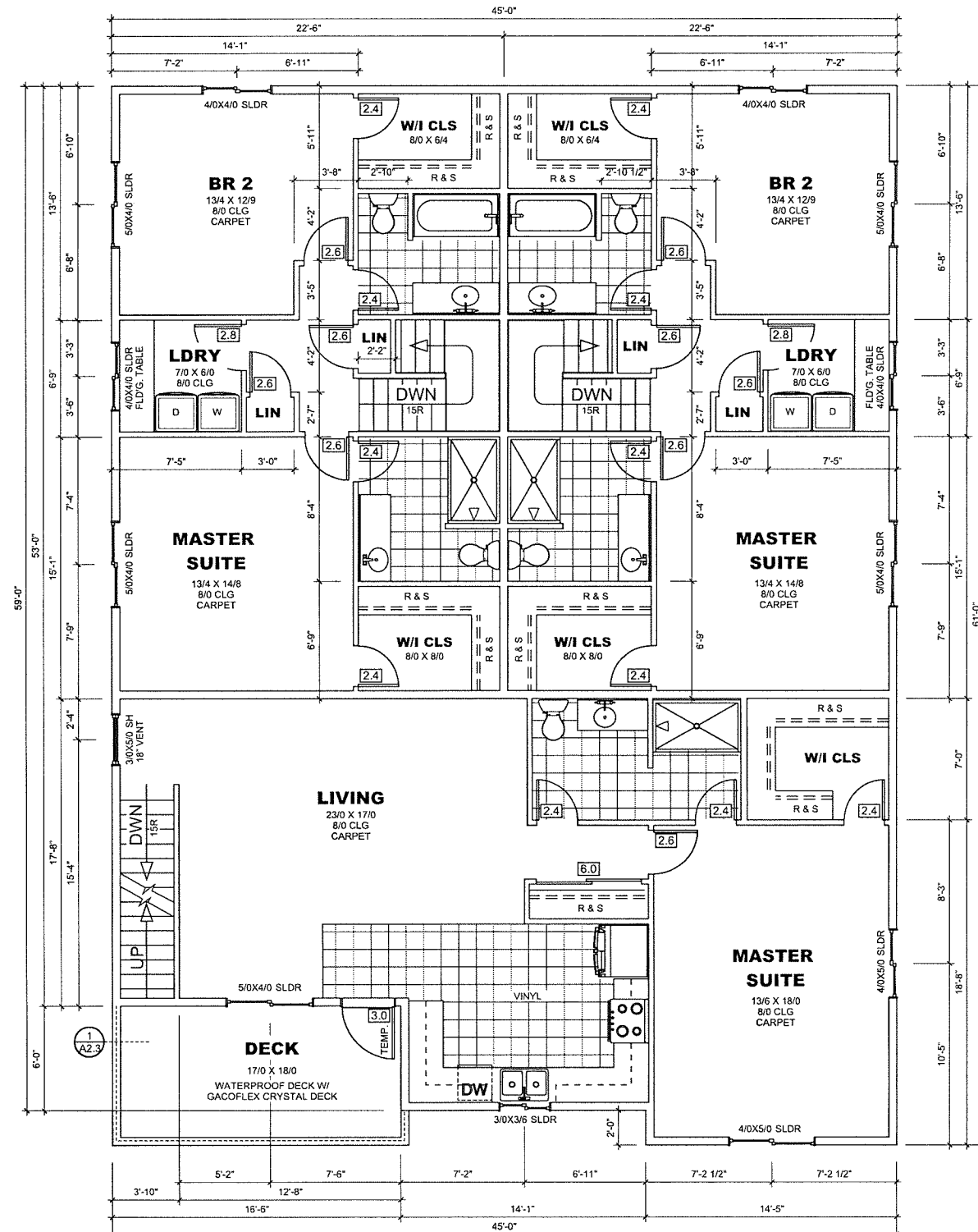
PROJECT TITLE

**"I" JOIST MFGR'S. NOTE:**

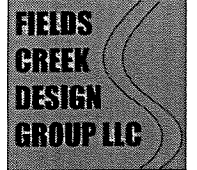
WEYERHAUSER PRODUCTS HAVE BEEN SPECIFIED. THESE PRODUCTS ARE NOT PROPRIETARY AND MAY BE SUBSTITUTED FOR ANOTHER MANUFACTURER'S EQUIVALENT JOIST. THE NEW SPECIFIER ASSUMES COMPLETE RESPONSIBILITY FOR ALL ANY AND ALL DESIGN REQUIREMENTS INCLUDING CALCULATIONS, DETAILS AND LAYOUT REQUIREMENTS AS REQUIRED BY THE LOCAL BLDG. OFFICIAL TO WHICH THESE PLANS ARE SUBMITTED. THE AUTHOR OF THESE DOCUMENTS SHALL BE HELD HARMLESS ONCE ANOTHER PRODUCT HAS BEEN SPECIFIED.



**UPPER FLR FRMN'G PLAN**  
SCALE: 1/4"=1'-0"



**UPPER FLR PLAN**  
SCALE: 1/4"=1'-0"



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**SITE DATA**  
ELEVATION: 161.2 ft  
LATITUDE: 44.447433  
LONGITUDE: -112.616167  
GROUND SNOW LOAD: 41 lb/ft  
SNOW LOAD: 24 PSF  
SEISMIC CAT.: D  
WIND SPEED: 107 Vmph  
FROST LINE: 11 IN.  
RADON ZONE: 2

**PROJECT DATA**  
CLIENT: DIERINGER PROPERTIES INCORPORATED  
PLAN: TRI-PLEX  
SITE ADDRESS: 4411 SE LLEWELLYN ST PORTLAND, OR 97222

**TEAM DATA**  
CONTRACTOR: SLH Custom Homes CCB# 187138  
STRUCTURAL ENG.

FCDG LLC  
FIELDS CREEK DESIGN  
503.765.6963

**PLAN ISSUES**  
AUTHOR: BRS  
CREATED: 02.28.24  
REVISED: 02.28.24

**PLAN VIEWS**

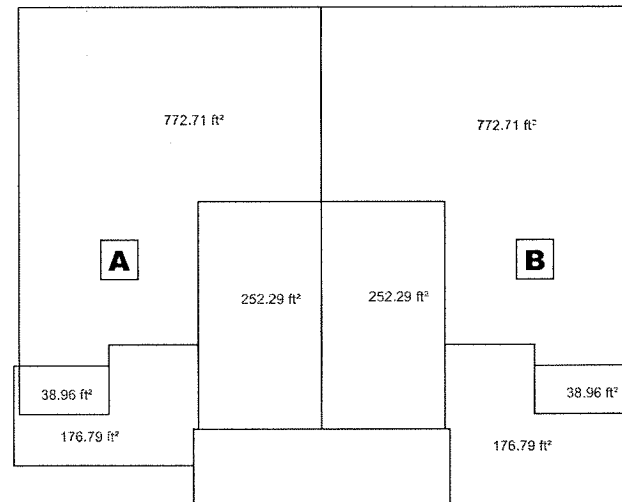
SHEET **A2.2**

FCDG LLC :: 23281 SW Beatty Dell Lane, West Linn, OR 97068 :: 11.11.2014

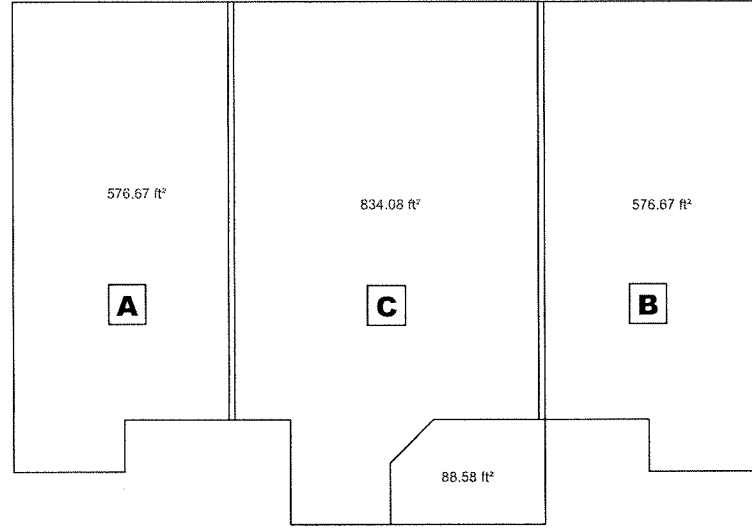


# ARCHITECTURAL ABBREVIATIONS

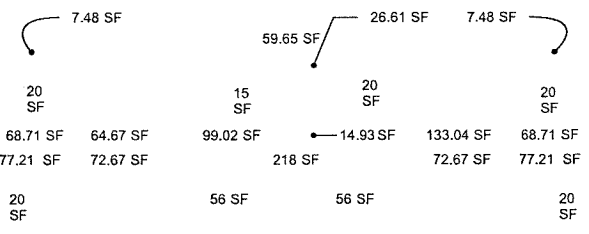
ABV: Above	EOP: Edge of Pymnt	MLB: Micro	TOW: Top of Wall
ACOUS: Acoustical	EQ: Equal	Laminar Beam	TB: Towel Bar
ADDL: Additional	FOC: Face of	NOM: Nominal	T: Tread
ADH: Adhesive	Conc	N: North	TS: Tubular Steel
ADJ: Adjustable	FOF: Face of Finish	NIC: Not in Contract	TYP: Typical
AFF: Above Finish	FOM: Face of	NO: # Number	UL: Underwriters
Floor	Mason	NO: # Number	Laboratory
AGG: Aggregate	FOS: Face of Studs	Q: Non-Operable	UNF: Unfinished
AHJ: Authority	FOW: Face of Wall	Window Section	UNO: Unless Noted
Having Jurisdiction	FBD: Fiberboard	OBS: Obscure	Otherwise
(Building	FCB: Fiber Cement	OC: On Center	VB: Vapor Barrier
Department)	Board	OP: Opaque	VAR: Varnish
A/C: Air	FGI: Fiberglass	OPG: Opening	VIF: Verify in Field
Conditioning	FIN: Finish	OSB: Orientated	VRN: Veneer
ALT: Alternate	FFE: Finished Floor	Strand Board	VERT: Vertical
ALUM: Aluminum	Elevation	Diameter	VG: Vertical Grain
ANC: Anchor,	FA: Fire Alarm	PMT: Paint(ed)	VIN: Vinyl Sheet
Anchorage	FE: Fire Extinguisher	PBD: Particle Board	WL: Wall
AB: Anchor Bolt	FPL: Fireplace	PRT: Partition	WC: Water Closet
ANOD: Anodized	FLSH: Flashing	PVMT: Pavement	WH: Water Heater
APX: Approximate	FLR: Floor	PERF: Perforate(d)	WP: Water Proofing
APT: Apartment	FLOR: Fluorescent	PLAS: Plaster	WR: Weather
ARCH: Architect	FT: Foot, Feet	PLAM: Plastic	Resistant
(architectural)	FTG: Footing	Laminar	WRB: Weather
ASPH: Asphalt	FND: Foundation	PLT: Plate	Resistive Barrier
AUTO: Automatic	FRM: Fram(ed), (Ing)	PLYWD: Plywood	WWF: Welded Wire
AVE: Avenue	FBO: Furnished by	PCC: Precast	Fabric
AVR: Average	Others	Concrete	WWM: Welded Wire
AWN: Awning	FUR: Furred	PCF: Pounds Per	Mesh
BSMT: Basement	GA: Gage, Gauge	Cubic Foot	W: West
BM: Beam	GAL: Gallon	PLF: Pounds Per	WIN: Window
BVL: Beveled	GL: Glass, Glazing	Linear Foot	W/O: Without
BITUM: Bituminous	GI: Galvanized Iron	PSF: Pounds Per	W: With
BLK: Block	FBO: Glass Block	Square Foot	W/D: Wood
BLKG: Blocking	GLB: Glue	PSI: Pounds Per	W/O: Operable Window
BLW: Below	Laminated Beam	Square Inch	Section
BLDV: Boulevard	GT: Grout	PBF: Prefabricated	
BTW: Between	GRD: Grade,	PRF: Preformed	
BD: Board	Grading	PT: Pressure Treat	
BOT: Bottom	GWB: Gypsum Wall	dPL: Property Line	
BLDG: Building	Board	HWD: Hardware	
BUR: Built Up	HDR: Header	HTG: Heating	
Roofing	HTG: Heating	HVAC: Heating,	
B/O: By Others	Ventilation-Air	Conditioning	
BR: Bedroom	CAB: Cabinet	HT: Height	
CAB: Cabinet	Conditioning	HC: Hollow Core	
CALC: Calculation	CD: Cabinet Door	HOR: Horizontal	
CG: Corner Guard	CIP: Cast-In-Place	HB: Hose Bib	
(Concrete)	IN: Inch	INCL: Include	
CL: Centerline	CO: Clean Out	CONTR: Contract	
(or)	COORD: Coordinate	CRPT: Carpet	
CIP: cast-in-place	CLK: Caulking	CAS: Casement	
CAS: Casement	CB: Catch Basin	CLG: Ceiling	
CT: Ceramic Tile	CIR: Circle	CLR: Clear	
COL: Column	CONC: Concrete	CMU: Concrete	
Masonry Unit	CONST: Construction	CONT: Continuous	
CJT: Control Joint	CORR: Corrugated	CUFT: Cubic Foot	
CUYD: Cubic Yard	DTL: Detail	DIA: Diameter	
DIM: Dimension	DW: Dishwasher	DIV: Division	
DR: Door	DH: Double Hung	DS: Downspout	
DRWR: Drawer	DT: Drain Tile	DWG: Drawing	
D: Nail Size	EW: Each Way	E: East	
ELEV: Elevation	ELEV: Elevation		



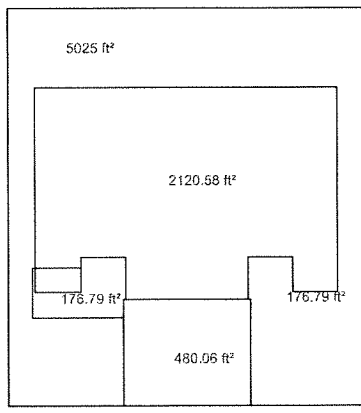
MAIN AREA MAP  
SCALE: 1/8"=1'-0"



UPPER AREA MAP  
SCALE: 1/8"=1'-0"



ST. FACING FACADE



LOT COVERAGE

## BUILDING DATA

Building Data is only available for new construction.

## SCOPE

The scope of these plans is to show:

- A Triplex in an HDR zone
- Title 19 Zoning compliance

This design meets conditions in Table N1101.1(1) and one additional measure from Table N1101.1(2). Alterations comply with Section N1101.2.1 through N1101.1.2.3

## PLANS EXAMINER NOTES

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## SITE CONDITIONS

ASSUMED SITE CONDITIONS HAVE A SLOPE NOT EXCEEDING 2%. CONDITIONS EXCEEDING THESE PARAMETERS MUST BE REPORTED PRIOR TO CONSTRUCTION BY A COMPETENT CONSTRUCTION MGR. ALL DETAILS PROVIDED BY CONSULTANTS MUST BE APPROVED BY FCDG-LLC, PRIOR TO APPROVAL OF THE LOCAL S.O. AND PRIOR TO FABRICATION.

## TABLE OF CONTENTS

- C1.0 COVER SHEET
- A1.0 SCOPE - SITE DATA
- A1.1 ELEVATIONS
- A1.2 FRONT - RIGHT
- A1.2 REAR - LEFT
- A2.0 PLAN VIEWS
- A2.1 FOUNDATION
- A2.2 MN FLR FRAMING
- A2.2 UP FLR FRAMING
- A2.3 UPPER FLOOR
- A3.0 ROOF
- A3.1 SECTIONS A - D
- A3.2
- E1.0 ELECTRICAL / DATA
- E1.1 MAIN FLOOR
- E1.2 UPPER FLOOR
- G1.0 GENERAL NOTES
- G1.1 DETAILS & TABLES
- X1.0 WALL BRACING
- X1.1 PLANS-SCHEDULES
- X1.2 DETAILS

NOMENCLATURE

- A ARCHITECTURE
- E ELECTRICAL
- G GENERAL NOTES
- M MECHANICAL
- S STRUCTURAL
- X WALL BRACING

## AREAS

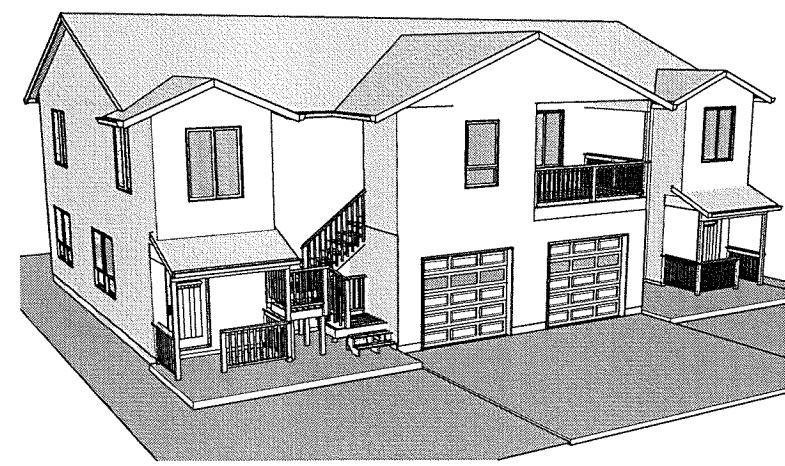
UNITS	SF	SF	TOTAL	COVERAGE	
LOT SIZE			5025	100.00%	
LOT COVERAGE PER PLAN			2120.58	42.20%	PASS
MAX. LOT COVERAGE ALLWD.			42.20%	50%	
PAVED SURFACES PER PLAN			50.00%	0.01%	
TOT. COVERAGE			833	42.21%	
VEGETATION COVR'G PER PLAN			2953.58	58.78%	PASS
MIN. VEGETATION REQ.			58.78%	15%	

Between 5,000 to 6,999 sq ft: Single Detached Dwelling, Single Detached Dwelling with up to 2 ADUs, Duplex, Triplex, and Quadplex.

### AREA IN SQUARE FEET

BLDG WINDOW SEGMENT	FACTOR	ALLOWED
A MAIN	7.48	20
A UPPER	59.65	15
A TOTAL	7.48	14.93
B MAIN	68.71	20
B UPPER	64.67	20
B TOTAL	99.02	20
B GARAGE	26.61	56
B PORCH	133.04	56
TOTAL	68.71	20
	77.21	
	72.67	
	218	
	72.67	
	77.21	

BLDG FACE	OPNG PROVIDED	REQUIRED	1053.13	17.65%	PASS	185.93
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## SITE DATA

ELEVATION: 161 ft  
 LATITUDE: 45.4475  
 LONGITUDE: -122.6164  
 GROUND SNOW LOAD: 41 PSF  
 SEISMIC CAT.: D  
 WIND SPEED: 97 MPH  
 FROST LINE: 12 IN.  
 RADON ZONE: 2

## PROJECT DATA

CLIENT  
 DIERINGER PROPERTIES

## PLAN

TRI-PLEX

## SITE ADDRESS

4409 SE Llewellyn St.  
 Milwaukie, OR 97222

## TEAM DATA

CONTRACTOR  
 SLH Custom Homes  
 CCB# 187138

## STRUCTURAL ENG.

FCDG LLC  
 FIELDS CREEK DESIGN  
 503.765.6963

## PLAN ISSUES

AUTHOR: BRS  
 CREATED: 02.26.24  
 REVISED: 02.26.24

# BID SET

## COVER SHT.

# SHEET C1.0

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 RADON ZONE: 2

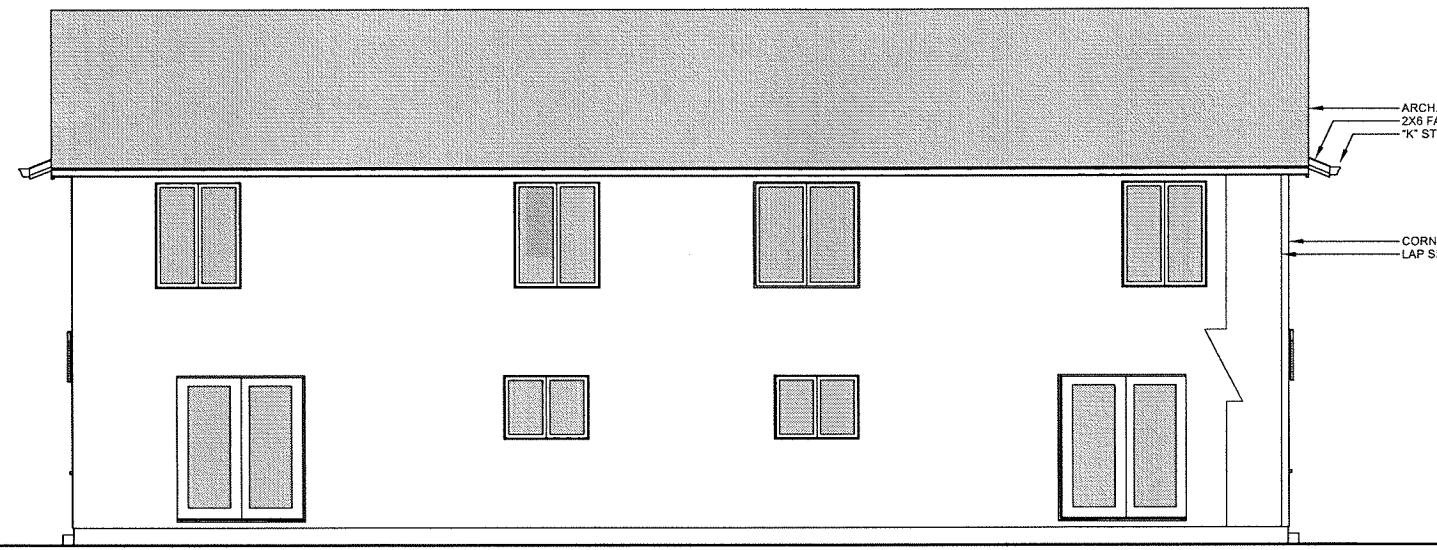
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 PLAN: TRI-PLEX  
 SITE ADDRESS: 4409 SE Llewellyn St, Milwaukie, OR 97222

**TEAM DATA**  
 CONTRACTOR: SLH Custom Homes, CCB# 187138  
 STRUCTURAL ENG.

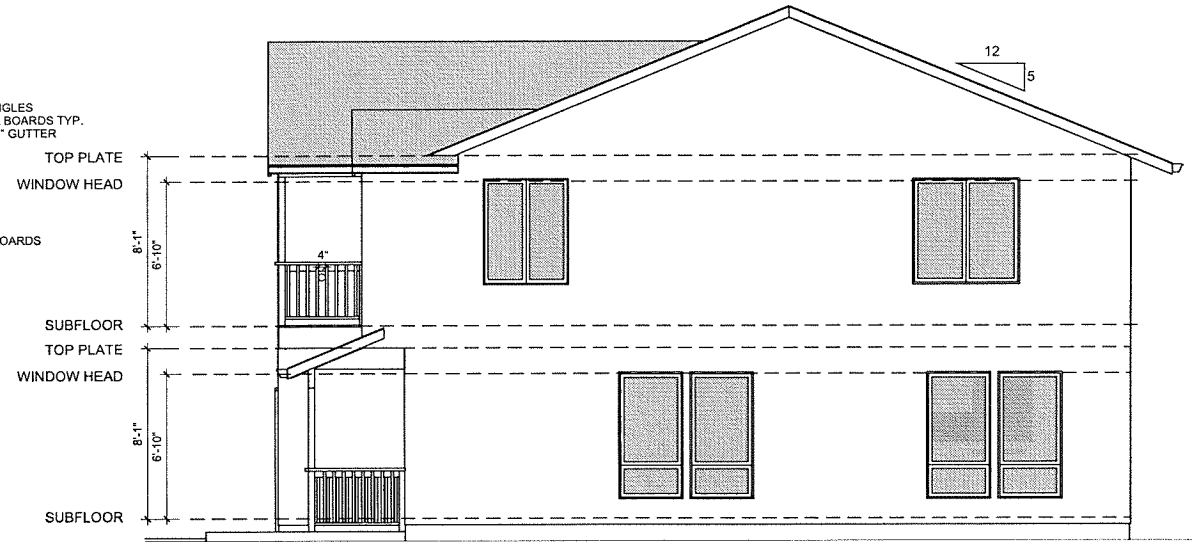
FCDG LLC  
 FIELDS CREEK DESIGN  
 503.765.6963  
**PLAN ISSUES**  
 AUTHOR: BRS  
 CREATED: 02.26.24  
 REVISED: 02.26.24

**ELEVATIONS**

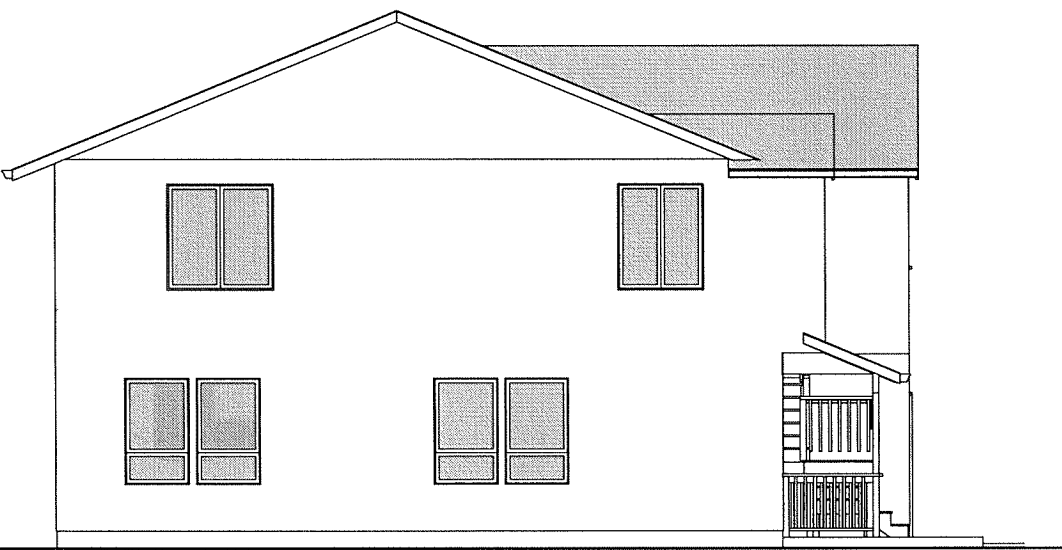
SHEET **A1.1**



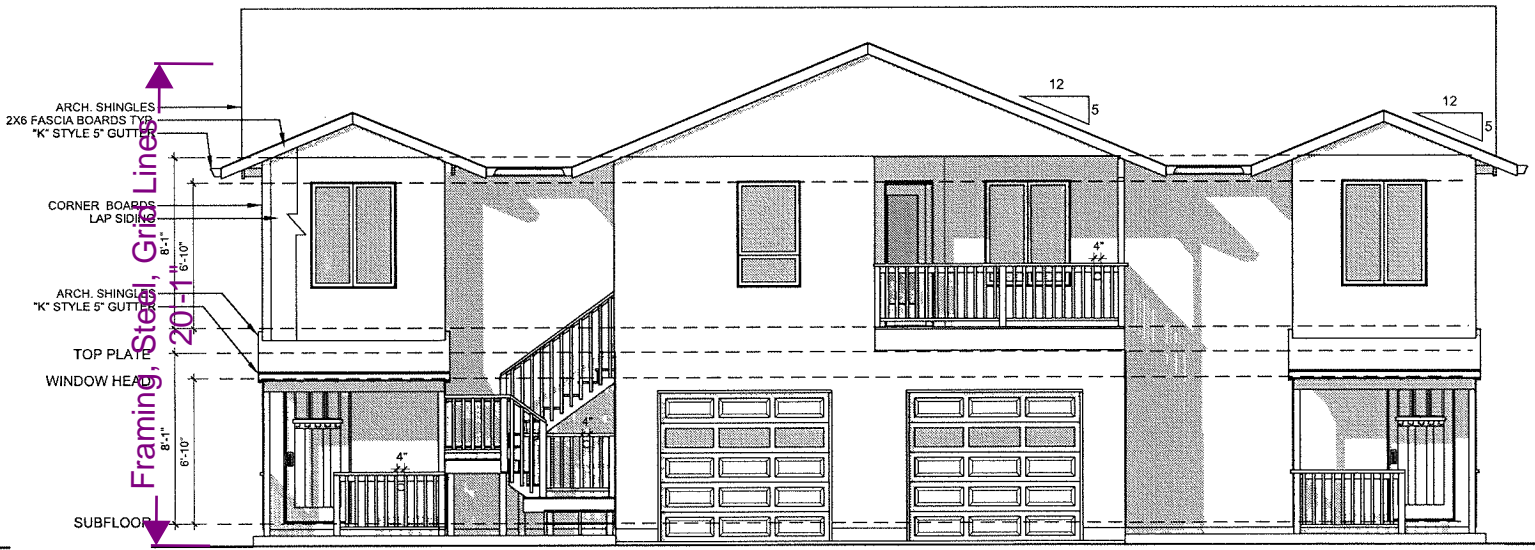
**03 REAR ELEVATION**  
 SCALE: 1/4"=1'0"



**04 RIGHT ELEVATION**  
 SCALE: 1/4"=1'0"



**02 LEFT ELEVATION**  
 SCALE: 1/4"=1'0"



**01 FRONT ELEVATION**  
 SCALE: 1/4"=1'0"

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**SITE DATA**

ELEVATION: 161 ft  
 LATITUDE: 45.4475  
 LONGITUDE: -122.6164  
 GROUND SNOW LOAD: 41 PSF  
 SEISMIC CAT.: D  
 WIND SPEED: 97 MPH  
 FROST LINE: 12 IN.  
 RADON ZONE: 2

**PROJECT DATA**

CLIENT: DIERINGER PROPERTIES  
 PLAN: TRI-PLEX

SITE ADDRESS: 4409 SE Llewellyn St. Milwaukie, OR 97222

TEAM DATA  
 CONTRACTOR: SLH Custom Homes CCB# 187138  
 STRUCTURAL ENG.

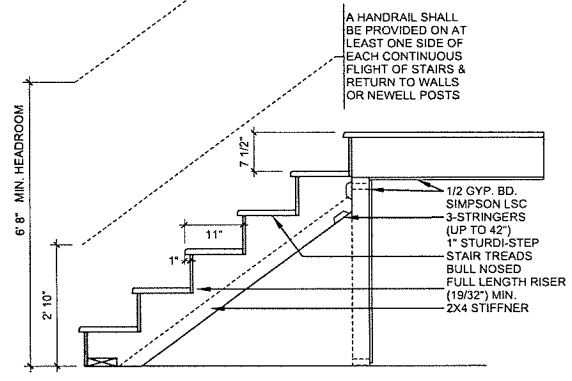
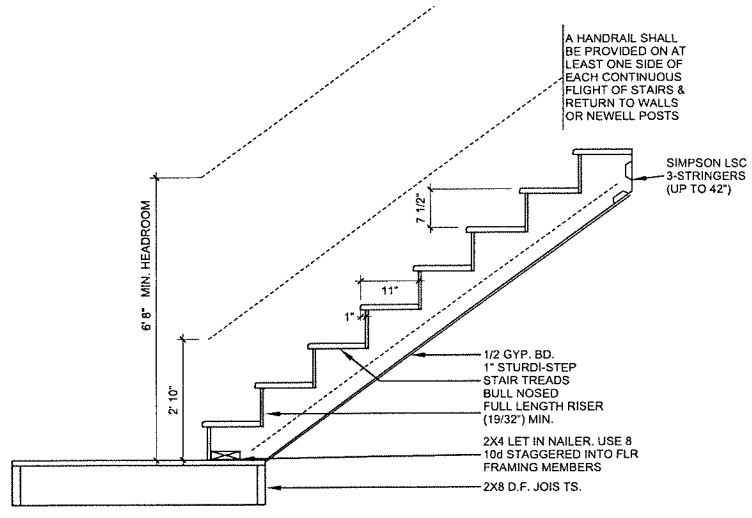
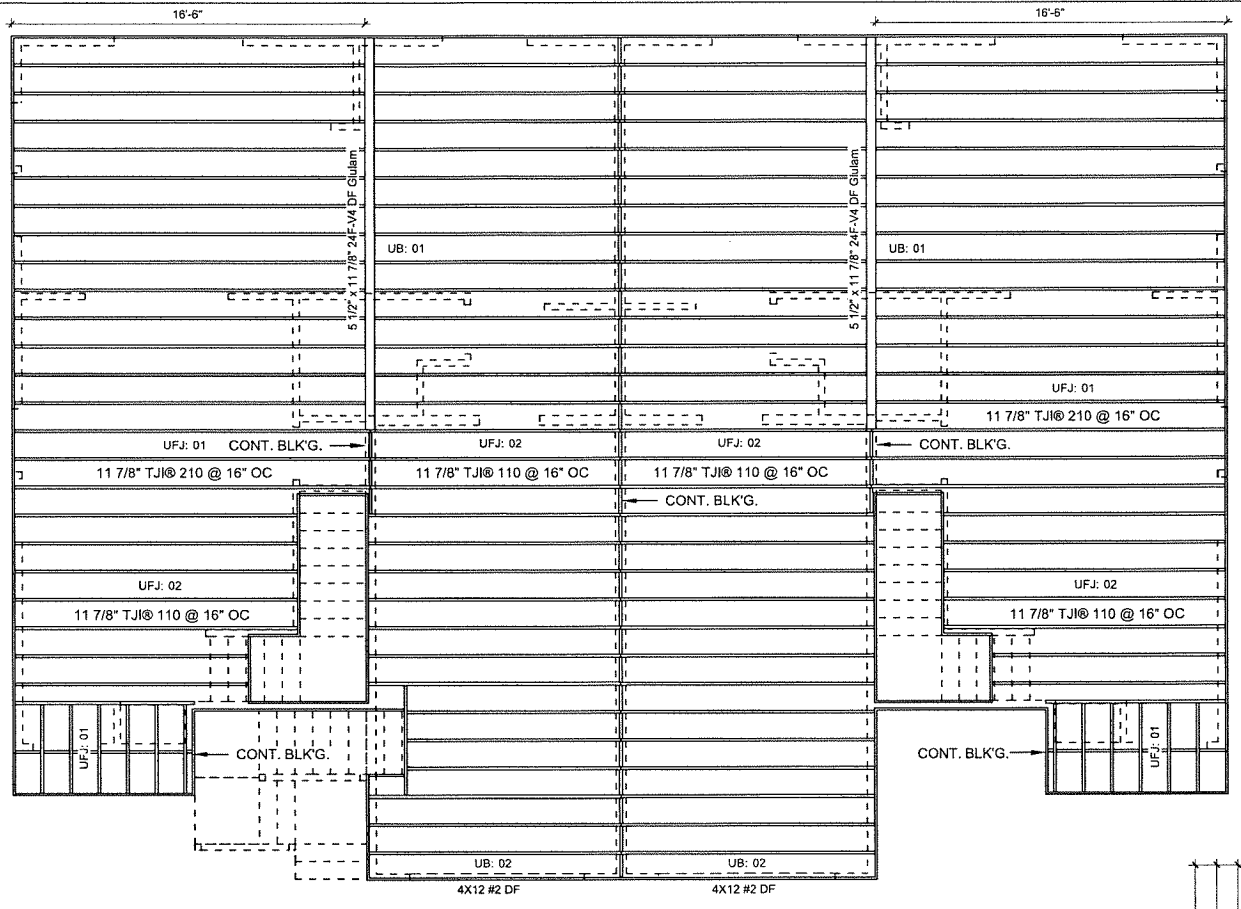
FCDG LLC  
 FIELDS CREEK DESIGN  
 503.765.6963

PLAN ISSUES  
 AUTHOR: BRS  
 CREATED: 02.26.24  
 REVISED: 02.26.24

**PLAN VIEWS**

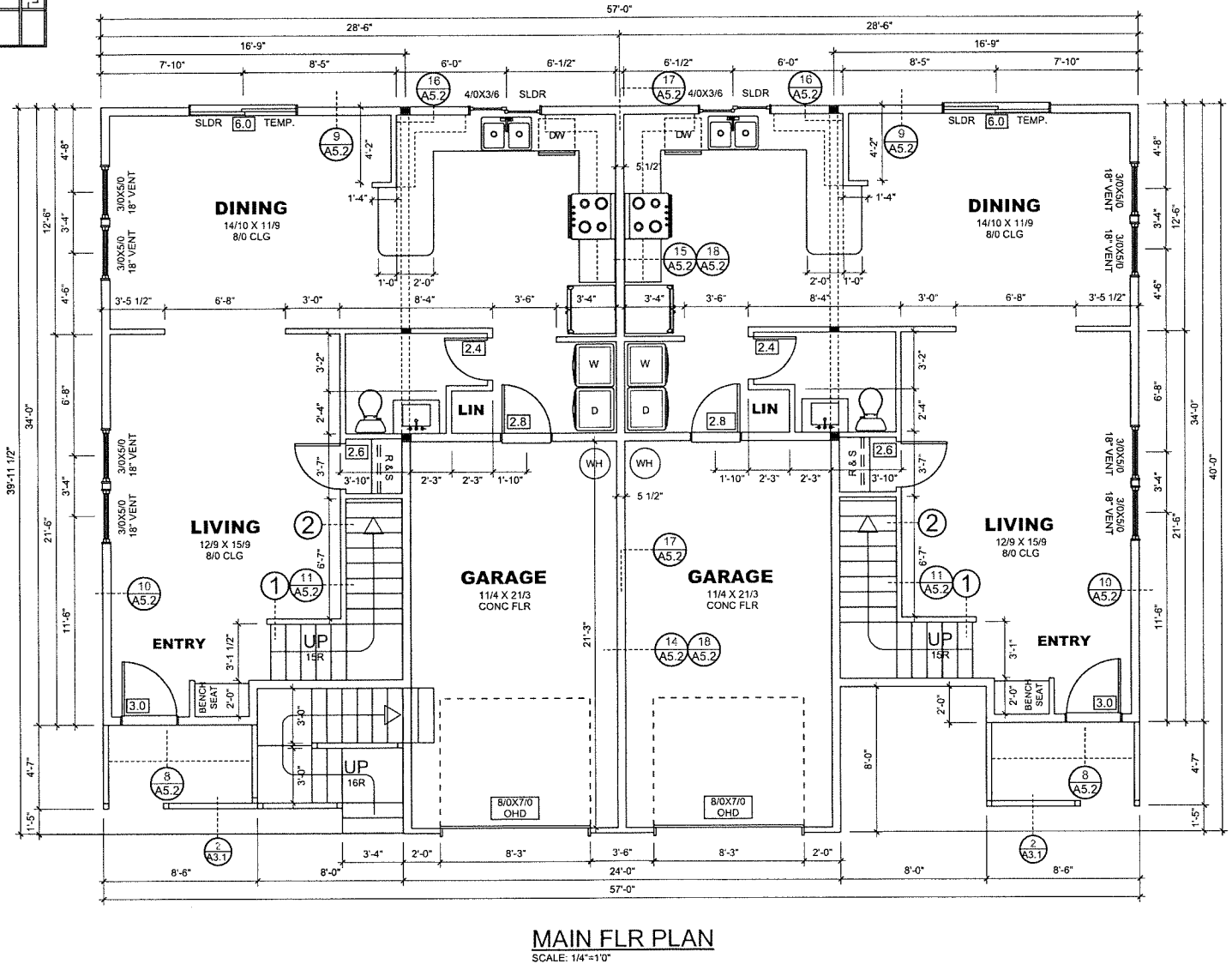
SHEET **A2.2**

FCDG LLC - 23281 SW Bosky Dell Lane, West Linn, OR, 97068 - 11.1.2015



MAXIMUM STRINGER RUN - 40 PSF LIVE LOAD & 12 PSF DEAD LOAD

1-3/4" L55E LSL Stair Stringer Depth	36 Tread Width	37 Tread Width	42 Tread Width	44 Tread Width	48 Tread Width
9.5	2 Stringers With 2x4 Reinforcmnt	3 Stringers With 2x4 Reinforcmnt	3 Stringers With 2x4 Reinforcmnt	3 Stringers With 2x4 Reinforcmnt	3 Stringers With 2x4 Reinforcmnt
11.875	7' - 6"	8' - 4"	7' - 6"	7' - 6"	7' - 6"
14	10' - 10"	12' - 6"	12' - 6"	11' - 8"	11' - 8"
	14' - 2"	14' - 2"	14' - 2"	14' - 2"	14' - 2"





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**SITE DATA**

ELEVATION: 161 ft  
 LATITUDE: 45.4475  
 LONGITUDE: -122.6164  
 GROUND SNOW LOAD: 41 PSF  
 SEISMIC CAT.: D  
 WIND SPEED: 97 MPH  
 FROST LINE: 12 IN.  
 RADON ZONE: 2

**PROJECT DATA**

CLIENT  
 DIERINGER PROPERTIES  
 PLAN  
 TRI-PLEX  
 SITE ADDRESS  
 4409 SE Llewellyn St.  
 Milwaukie, OR 97222

**TEAM DATA**  
 CONTRACTOR  
 SLH Custom Homes  
 CCB# 187138  
 STRUCTURAL ENG.

FCDG LLC  
 FIELDS CREEK DESIGN  
 503.765.6963

**PLAN ISSUES**  
 AUTHOR: BRS  
 CREATED: 02.26.24  
 REVISED: 02.26.24

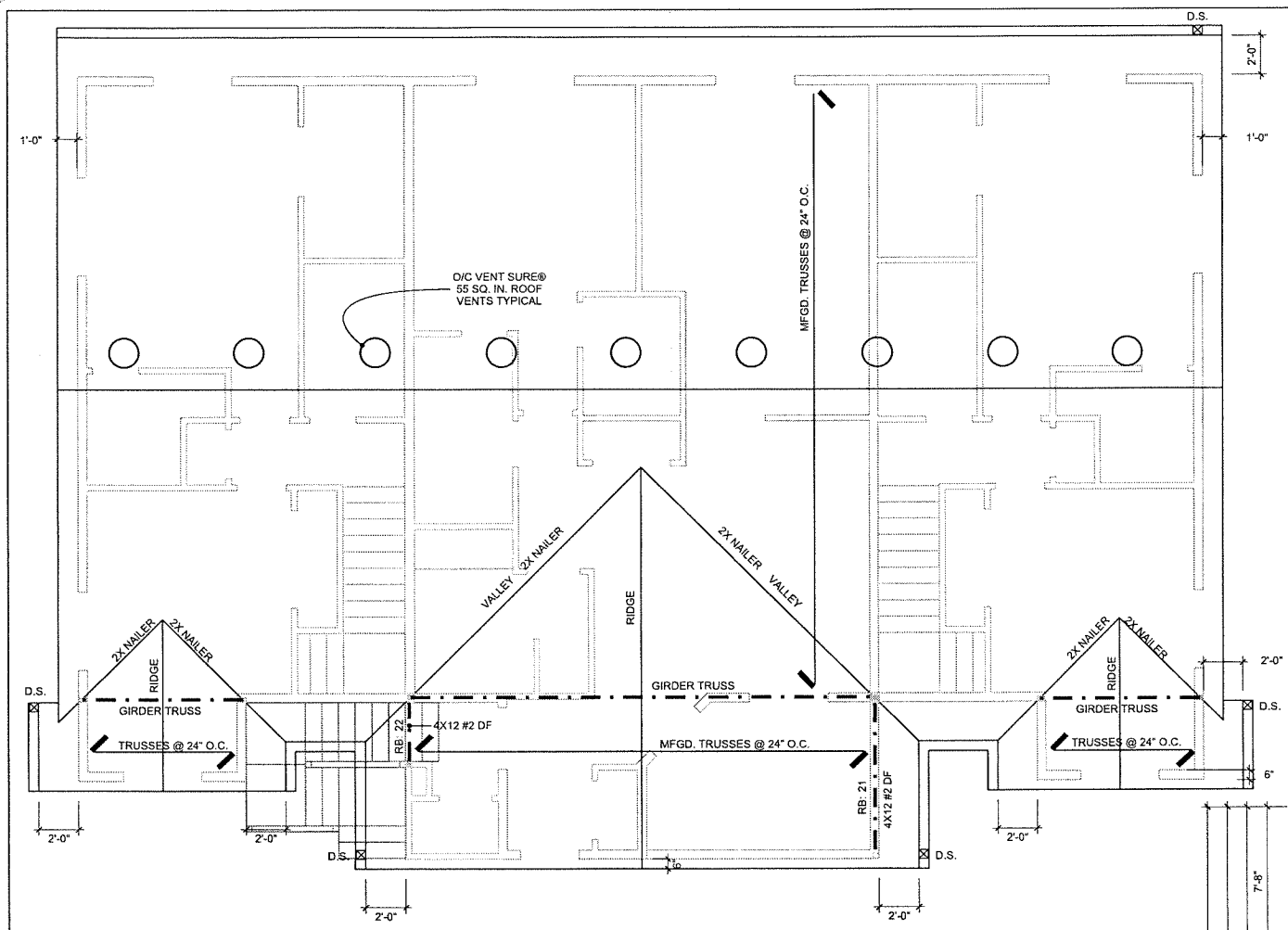
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**DETAILS**

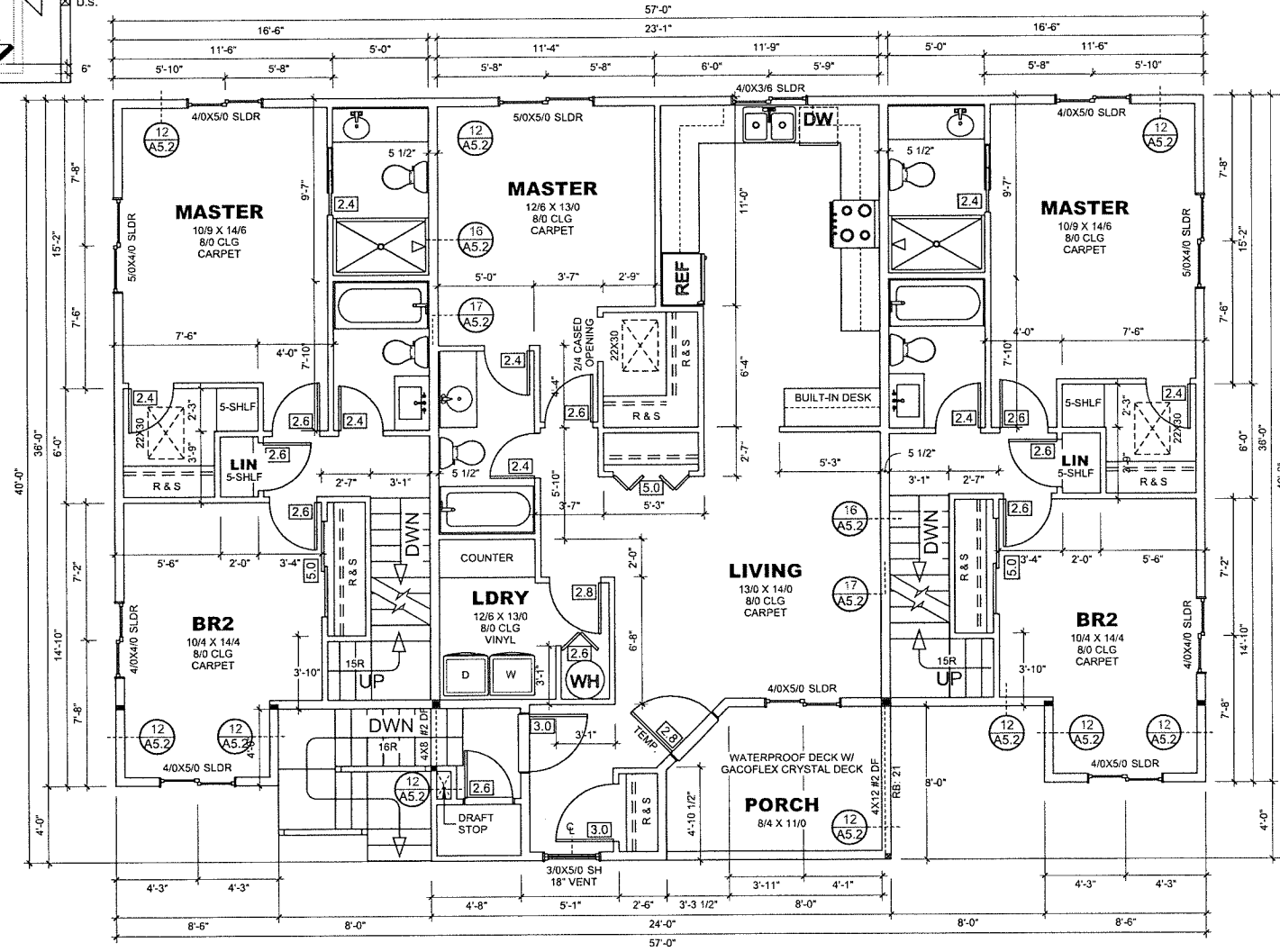
SHEET **A2.3**

FCDG LLC :: 33281 SW Beaky Dell Lane, West Linn, OR, 97088 :: 11.11.2015 ::

PROJECT TITLE ::



**ROOF PLAN**  
 SCALE: 1/4"=1'-0"



**UPPER FLR PLAN**  
 SCALE: 1/4"=1'-0"

UJ: UB: