



**MILWAUKIE PLANNING**  
 6101 SE Johnson Creek Blvd  
 Milwaukie OR 97206  
 503.786.7600  
 planning@milwaukieoregon.gov

# Preapplication Request Form

File #: 23-008PA

Meeting Date: 10 / 10 / 23 Time: 11 AM Location: 6101 SE Johnson Creek Blvd Today's Date: 9 / 28 / 23

**Applicants and representatives are expected to present a detailed explanation of their proposal at the conference.**

The purpose of the preapplication conference is to acquaint the applicant or applicant's representative with the requirements of the municipal code in preparation for submission of a land use application, including relevant approval criteria, development standards, and procedures. The preapplication conference is not an exhaustive review of all potential issues or requirements. Furthermore, the information provided by the City is not binding, and it does not preclude the City from raising new issues or identifying additional requirements during the land use review process. (MMC 19.1002 Preapplication Conference)

Although the primary purpose is as stated above, preapplication conferences may also be used as part of a due diligence process to obtain a higher degree of certainty about a property development. An applicant is not required to be the property owner to request a preapplication conference.

**SITE INFORMATION:**

Site Address: 3736 SE Harvey St, Milwaukie OR Map & Tax Lot(s): 11E25DD02700 Zone: R-MD

**PROPOSAL** (brief description):

Construction of 2 cottage clusters comprising 15 detached cottages

**APPLICANT:**

Project Contact Name: Holly Kang Company: Works Progress Architecture

Mailing Address: 811 SE Stark St, Suite 210 Zip: 97214

Phone(s): (503) 234-2945 Email: holly@worksarchitecture.net

# of Expected Attendees: 5  Owner  Architect  Contractor  
 Representative  Engineer  Other: \_\_\_\_\_

**REQUESTED MEETING TYPE:**

- Preapplication Meeting—1<sup>st</sup> meeting free; 2<sup>nd</sup> meeting \$50; Subsequent meetings \$100/mtg.**
  - Optional meeting with 2 City staff. No meeting notes are provided by staff.
  - Staff will coordinate meeting date and time once Submittal Information (listed on reverse) is received.
- Preapplication Conference—\$200**
  - Optional or required meeting with 3 or more staff. Meeting notes are provided by staff 2 weeks after the conference.
  - City staff from the Planning, Building, Engineering, and Public Works departments usually attend. Other public agencies (such as the Fire District) may attend as necessary.
  - Appointment times are Thursdays from 10:00 a.m.–11:00 a.m.
  - Appointments are scheduled on a first-come, first-served basis. Preapplication Requests must be submitted during counter hours, and by 12:30 p.m. every Thursday for the first appointment available.
  - Appointments must be made no less than **three weeks** before the desired meeting date for **Major projects** (e.g. commercial, industrial, multi-family, subdivisions) and no less than **two weeks** in advance of the desired meeting date for **Minor projects\*** (e.g. single family, ADUs, partitions).
- Transportation Impact Study Review—\$100**
  - Mandatory second meeting if the project requires a Transportation Impact Study (TIS).
  - To be scheduled after completion of a TIS by the applicant's engineer.

**IMPORTANT INFORMATION ON REVERSE SIDE**

## PREAPPLICATION REQUEST CHECKLIST:

Once submitted, application materials and applicant information become public record as well as constitute permission for staff to access the site in preparation for the meeting/conference.

**Preapplication Meeting:** Please submit electronic copies of the required information.

Minimum Requirements:

- Completed Request Form and accompanying fee (if any)
- Preliminary site plan and building plans, showing existing and proposed features. (Plans do not need to be professionally prepared, just accurate and reliable.)
- A detailed narrative description of the proposal that clearly identifies the location, existing and proposed uses, and any proposed construction.
- A list of all questions or issues the applicant would like the City to address.

**Preapplication Conference:** Please submit electronic copies of the required information. Please refer to the [Development Project Checklist](#) for a list of items that may be applicable to your project.

Minimum Requirements

- Completed Request Form and accompanying fee.
- Narrative: A detailed description of your proposal and any specific questions you have. Include a brief description of the physical context of the site, including a map showing the site and surrounding properties.
- A list of all questions or issues the applicant would like the City to address.
- Proposed elevations
- Site/Plot Plan that includes (if applicable)
  - Parcel and building setback dimensions
  - Existing and proposed structures
  - Location and dimension of existing and proposed easements, access, and driveways
  - Location of existing and proposed utilities: storm, sanitary sewers, and water (including size of service and street location)
  - Width of adjacent right-of-way
  - Existing streets abutting the property
  - Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building)
  - Slope map (if slope is 25% or more)
  - Significant tree locations (all trees with a caliper over 6 inches) (Note new tree code: [www.milwaukieoregon.gov/trees](http://www.milwaukieoregon.gov/trees))
  - Proposed stormwater detention system with topographic contours
  - Location of onsite and adjacent natural resources
  - Circulation system for vehicles, pedestrians, and bicycles

**For Office Use Only:**

- \*Project Type:**
- Minor Developments (e.g. single-unit detached dwellings, ADUs, middle housing, partitions): 2 weeks required for review
  - Major Developments (e.g. commercial, industrial, multi-unit, subdivisions, and middle housing developments with more than 4 units): 3 weeks required for review

- Routing:  File                       Planning (2)                       Engineering (2)                       Building
- Development Manager                       Public Works                       Fire                       CD Director (development)

## 3736 SE Harvey St: Detailed Project Description

To: Vera Kalias  
From: Holly Kang  
Works Progress Architecture  
811 SE Stark St, Suite 210  
97214, Portland OR  
Project: 3736 SE Harvey St Cottage Cluster Project  
CC:  
Re:

### PROPERTY INFORMATION

Address: 3736 SE Harvey St  
Tax Number: Property: 11E25DD02700

### Project Description:

The project proposes 2 cottage clusters comprising 15 detached cottages in a R-MD zone. The two cottage clusters are separated by a 10'-wide separation zone and contain 4 and 11 cottages, respectively.

The site plan is largely determined by the location of the fire access lane, which extends approximately halfway into the site (149'-3"). The design intent is to use open pavers in the fire lane to create a sense of an extension of the common open space (per Cottage Cluster Design Standard) and minimize impervious surface on the site. The common open spaces directly abut the fire lane, and all the cottages have walkway access or are directly adjacent to their respective courtyards.

Each cottage contains an R-3 dwelling unit. The cottages are designed to be constructed using majority CLT panels with exposed wood finish on the interior. In addition to the required short-term bicycle spaces noted on the site plan, 2 wall-mounted long-term bicycle racks will be integrated into the covered porch at each cottage. Of the detailed design features, the cottages integrate the covered porch (Item A), roof eaves (Item E), horizontal lap siding (Item H), gabled roof (Item J), and recessed windows (Item L).



## 3736 SE Harvey St: Pre-App Conference Questions

To: Vera Kalias  
From: Holly Kang  
Works Progress Architecture  
811 SE Stark St, Suite 210  
97214, Portland OR  
Project: 3736 SE Harve St Cottage Cluster Project  
CC:  
Re:

### PROPERTY INFORMATION

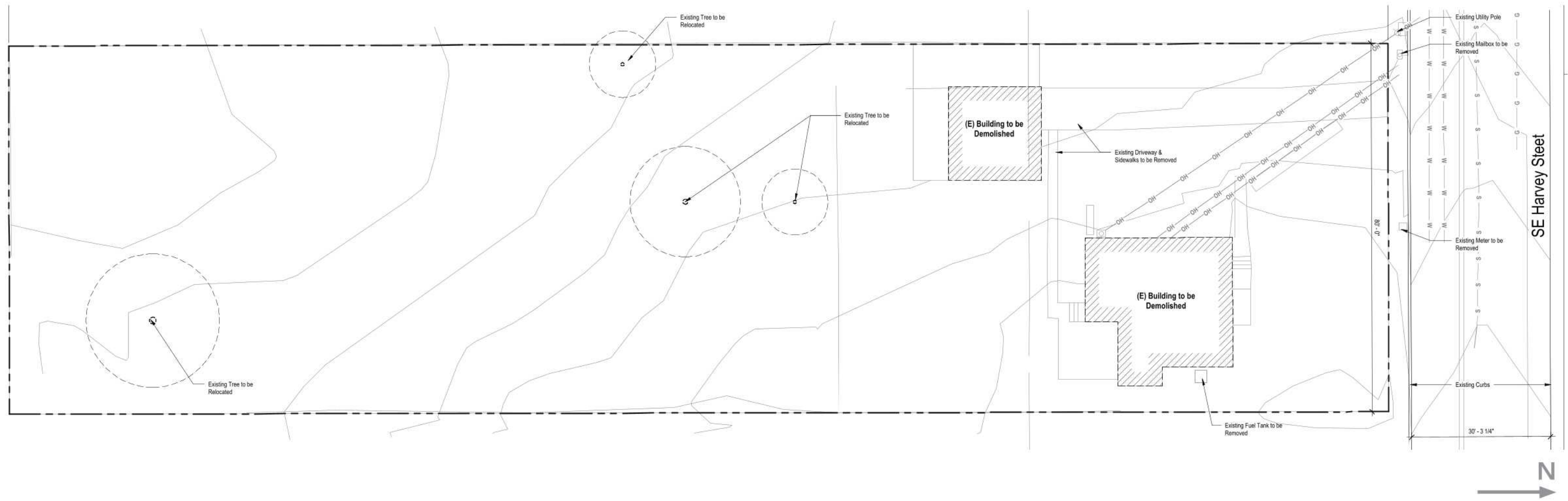
Address: 3736 SE Harvey St  
Tax Number: Property: 11E25DD02700

### Questions for the conference:

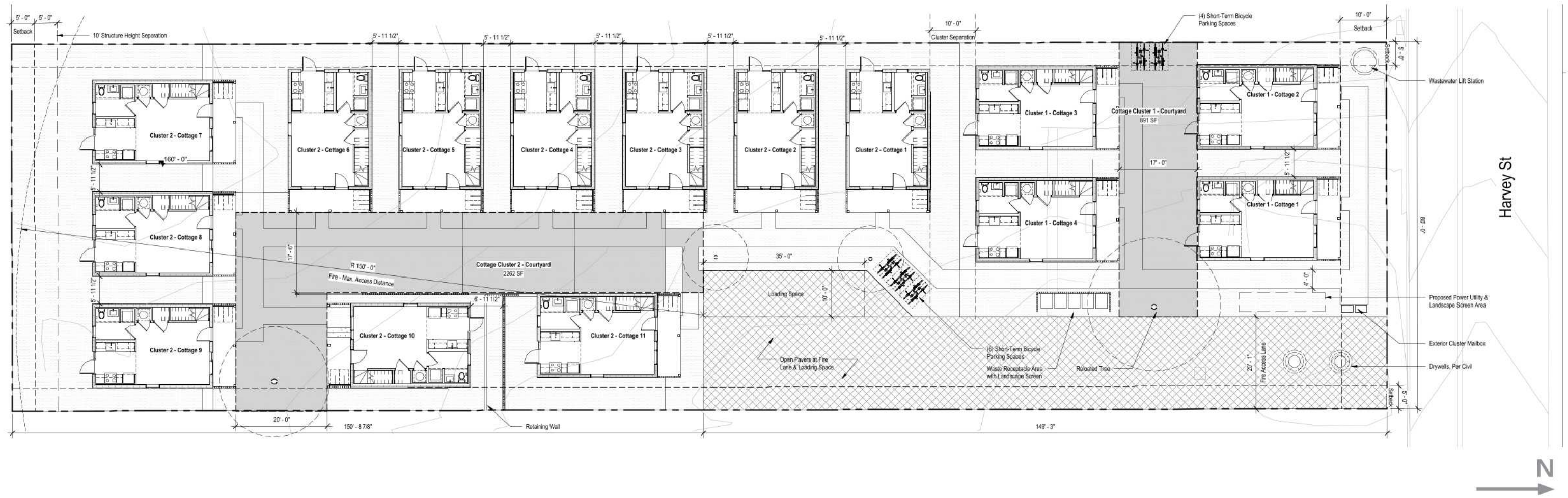
1. Parking: It is our understanding that no parking spaces are required for this site under code updates that were approved in January. Please confirm whether a TIS is required for a project that adds no parking spaces.
2. Tree Preservation/Mitigation: The existing trees on the site must be removed or relocated to work with the proposed site plan. Under title 16.032.042, please clarify if removing & replacing or relocating the existing trees/tree canopy meets the preservations & planting standards, or if the removal of existing trees and replacement of the canopy are considered separate actions.
3. Fire Access: Please confirm whether the 150' access radius as noted on the proposed site plan is an accurate reading of the Fire Code language on site access.

**3736 SE HARVEY ST**  
**Pre-Application Conference Request**  
September 28, 2023



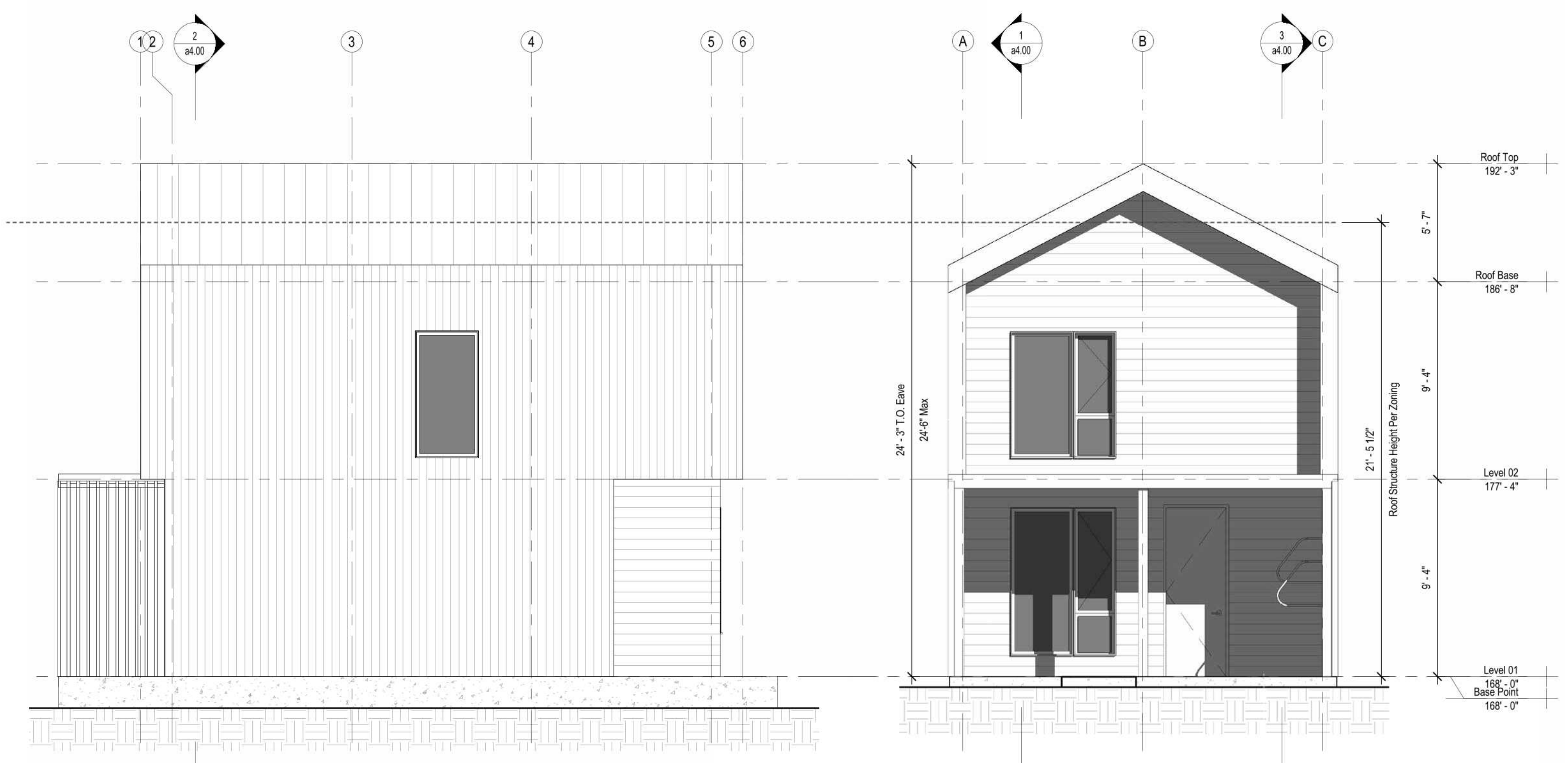


**SITE PLAN**  
Existing Conditions



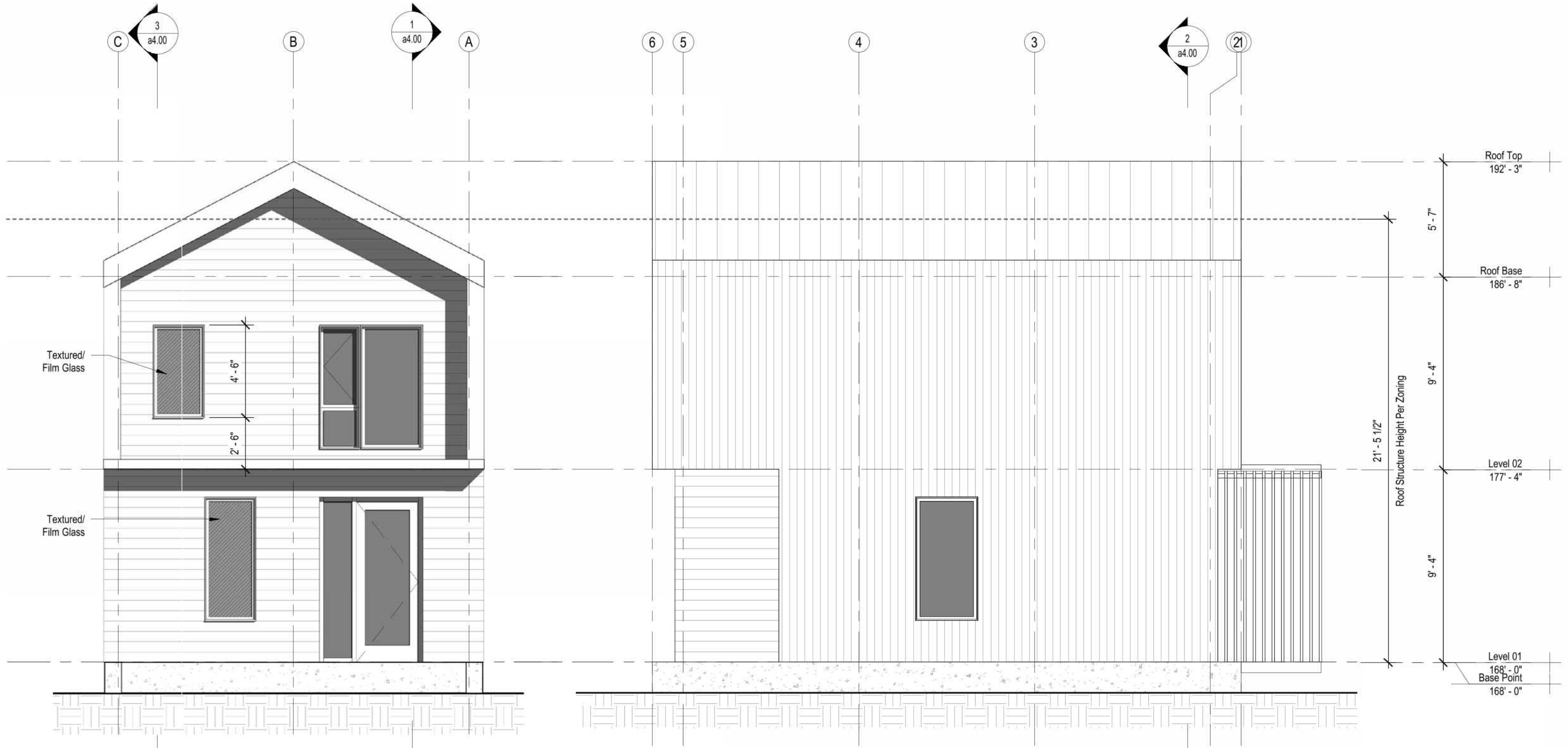
# SITE PLAN

## Proposed Architectural Site Plan

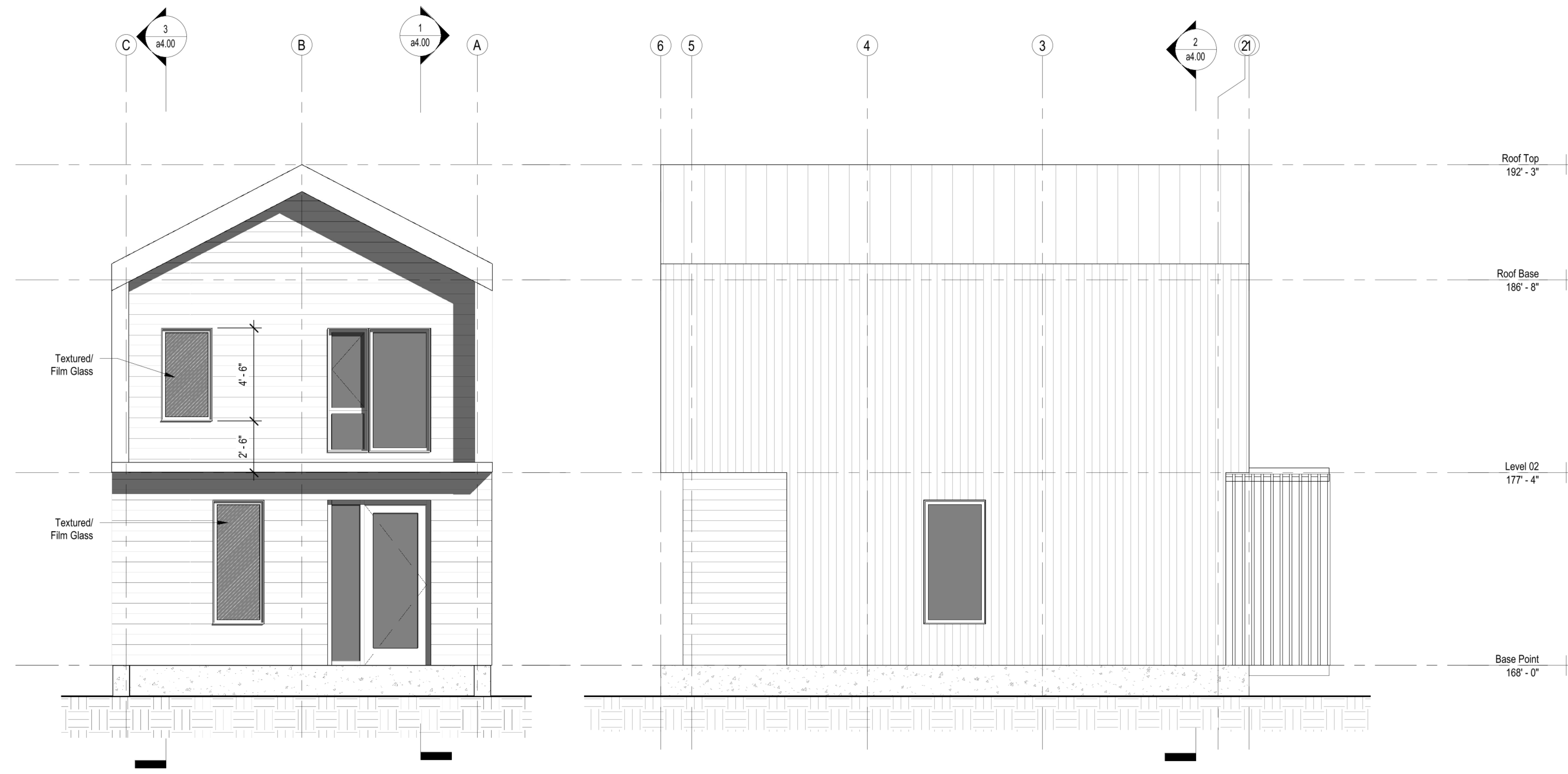


# COTTAGE ELEVATIONS





# BUILDING ELEVATIONS



3 Elevation 4 - a  
1/4" = 1'-0"

4 Elevation 3 - a  
1/4" = 1'-0"



2 Elevation 2 - a  
1/4" = 1'-0"

1 Elevation 1 - a  
1/4" = 1'-0"

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.

Legend

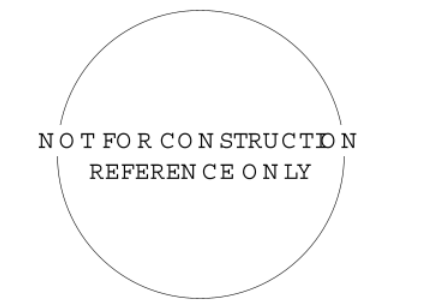
- SD-1 Vertical Siding
- SD-2 Horizontal Lap Siding

**Shortstack**

3736 SE Harvey St.  
Multnomah, OR  
WPA Job Number 1355

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Issue Date

Feasibility

SET ISSUE

Overall Exterior Elevations

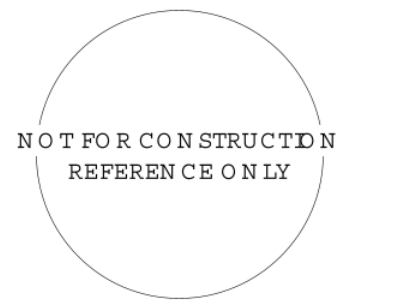
## Shortstack

3736 SE Harvey St.  
Multnomah, OR

WPA Job Number 1355

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Issue Date

Feasibility

SHEET ISSUE

Architectural  
Site Plan -  
Existing

g0.04

### Property Info:

Project Address:

Legal Description:

Property/ Lot Area: \_\_\_\_\_ sf  
Building Footprint: \_\_\_\_\_ sf  
Building Coverage: \_\_\_\_\_ %

Impervious Area:  
Hardscape: \_\_\_\_\_ sf  
Total Impervious Area: \_\_\_\_\_ sf  
Total Pervious Area: \_\_\_\_\_ sf

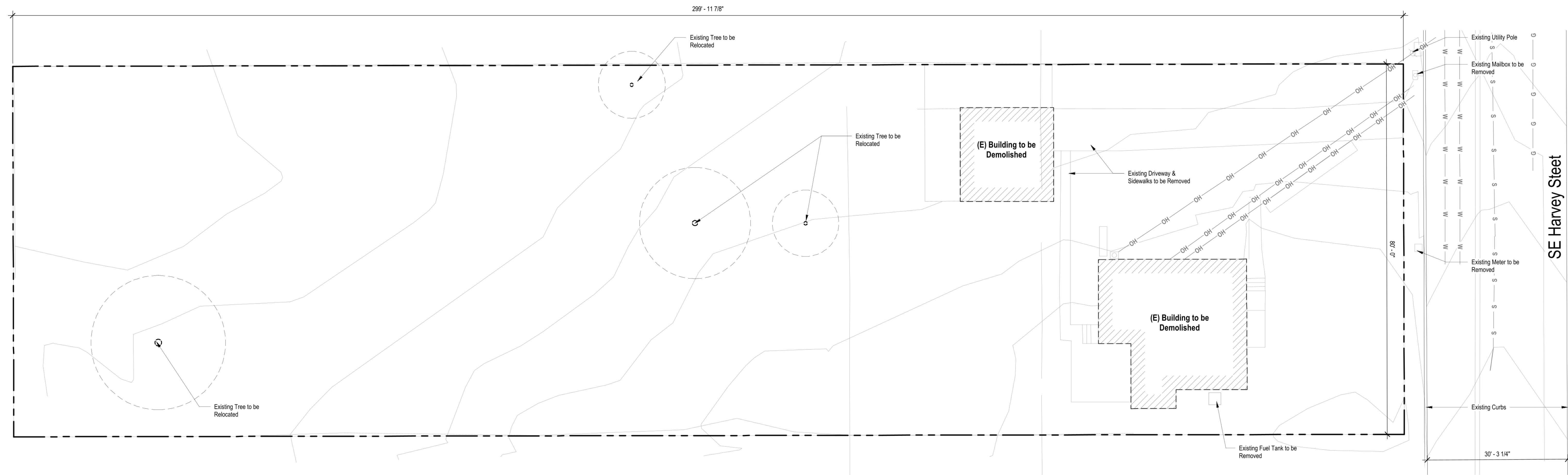
### Site Plan General Notes:

- Contractor To Verify Existing Utility Locations Prior To Construction. Typ.
- Provide erosion control per civil.
- Reference Roof Plan For Storm Drain Locations
- Reference Foundation Plan For Under Slab Utility Locations
- Water Meter and Connections to Main By \_\_\_\_\_
- Gas Meter Placement by \_\_\_\_\_
- Re: Civil for Stormwater Management Systems

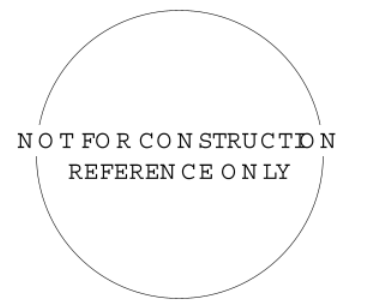
### Legend: Site Plan Symbols

_____	Property Line
_____	Fence
_____	Building / Wall to Be Demolished
_____	Curb Line
_____	Curb Line
- W - W - W	Water Line
- SS - SS - SS	Combined Storm/Sewer
- S - S - S	Storm Line
- STM - STM - STM	Sanitary Sewer Line
- G - G - G	Underground Gas Line
- OH - OH - OH	Overhead Power Line
- P - P - P	Underground Power Line
□	Storm Catch Basin
○	Manhole
⊙	Power Pole / Light Pole
⊙	Light Pole
⊙	Sign
⊙	Fire Hydrant
⊙	Water Meter
EM ⊙	Electric Meter
GM ⊙	Gas Meter
⊙	Property Corner

Background Family Clean Up Needed



1 Site Plan - Existing  
3/32" = 1'-0"



Issue Date

Feasibility

SBT ISSUE

Architectural  
Site Plan -  
Proposed

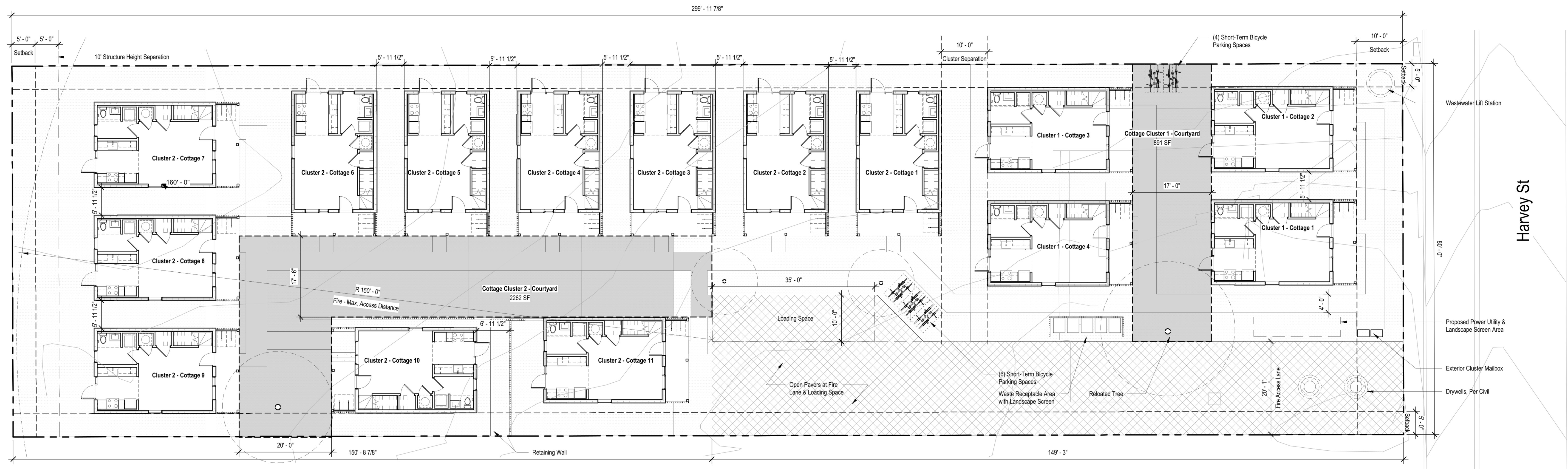
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General Notes

- Contractor to notify Architect of any discrepancies prior to start of work.
- Reference Spec for Product Information and Installation Requirements
- Reference Spec for Accessible Parking Stall Requirements
- Verify all dimensions with Structural Drawings and Specification regarding dimensional tolerances. Contract to notify Architect of any discrepancies.

Legend

- 1/2 Hour Fire Partition
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 3 Hour Fire Barrier



1 Level 01  
3/32" = 1'-0"