

MILWAUKIE PLANNING
 6101 SE Johnson Creek Blvd
 Milwaukie OR 97206
 503.786.7600
 planning@milwaukieoregon.gov

Preapplication Request Form

File #: 23-007PA

Meeting Date: 09 / 28 / 23 Time: 10 AM Location: 6101 SE Johnson Creek Blvd Today's Date: 09 / 12 / 23

Applicants and representatives are expected to present a detailed explanation of their proposal at the conference.

The purpose of the preapplication conference is to acquaint the applicant or applicant's representative with the requirements of the municipal code in preparation for submission of a land use application, including relevant approval criteria, development standards, and procedures. The preapplication conference is not an exhaustive review of all potential issues or requirements. Furthermore, the information provided by the City is not binding, and it does not preclude the City from raising new issues or identifying additional requirements during the land use review process. (MMC 19.1002 Preapplication Conference)

Although the primary purpose is as stated above, preapplication conferences may also be used as part of a due diligence process to obtain a higher degree of certainty about a property development. An applicant is not required to be the property owner to request a preapplication conference.

SITE INFORMATION:

2021-064

Site Address: 2122 SE Sparrow St Map & Tax Lot(s): 5400 Zone: _____

PROPOSAL (brief description):

Put 7 Townhomes on former parking lot on Sparrow Street.
Corner of 21st + Sparrow St

APPLICANT:

Project Contact Name: Roger EspinoR Company: _____

Mailing Address: 2122 SE Sparrow St Milwaukie Zip: 97222

Phone(s): 360-774-2223 Email: Roger@novacab.net

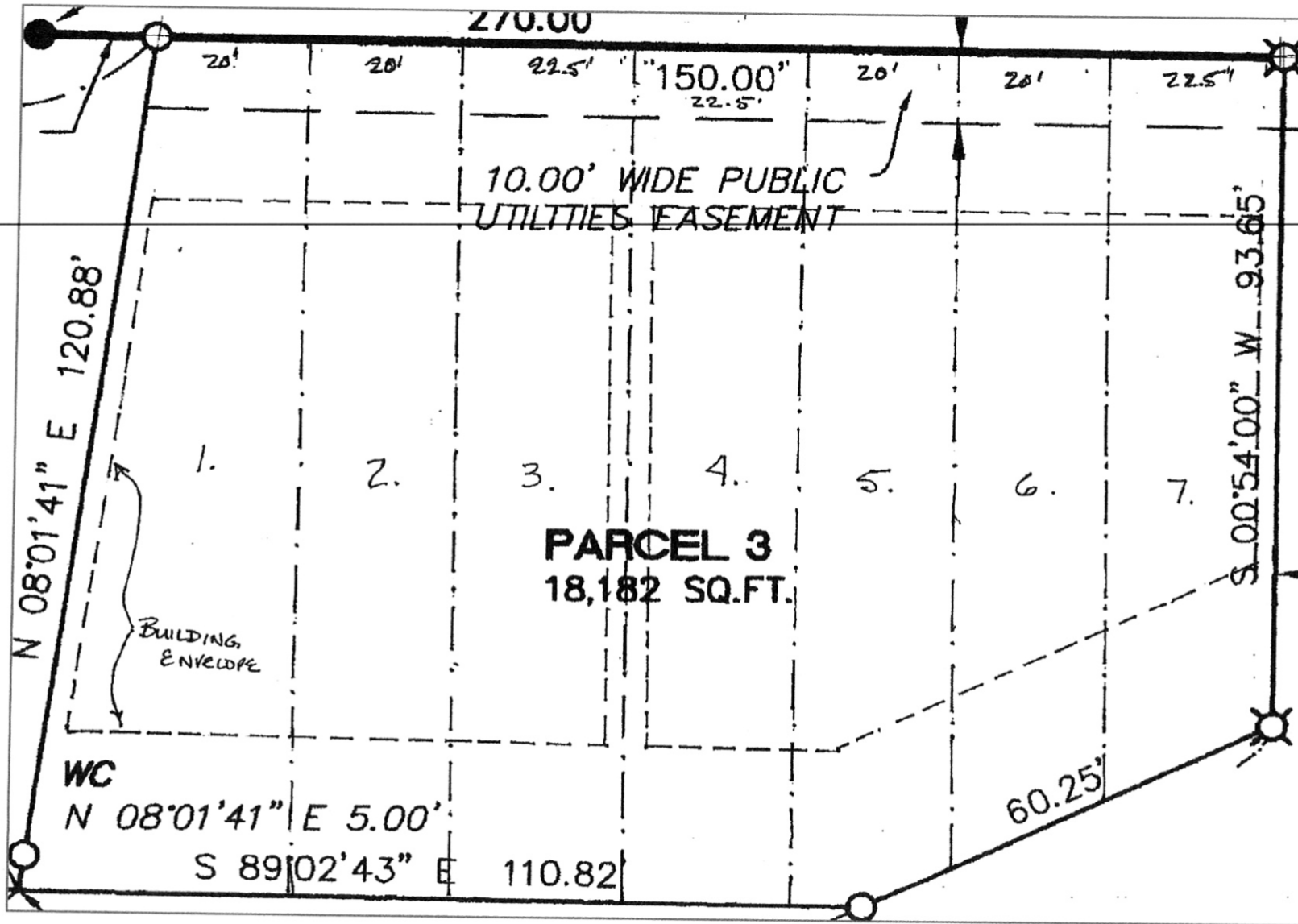
of Expected Attendees: 2
 Owner Architect Contractor
 Representative Engineer Other: _____

REQUESTED MEETING TYPE:

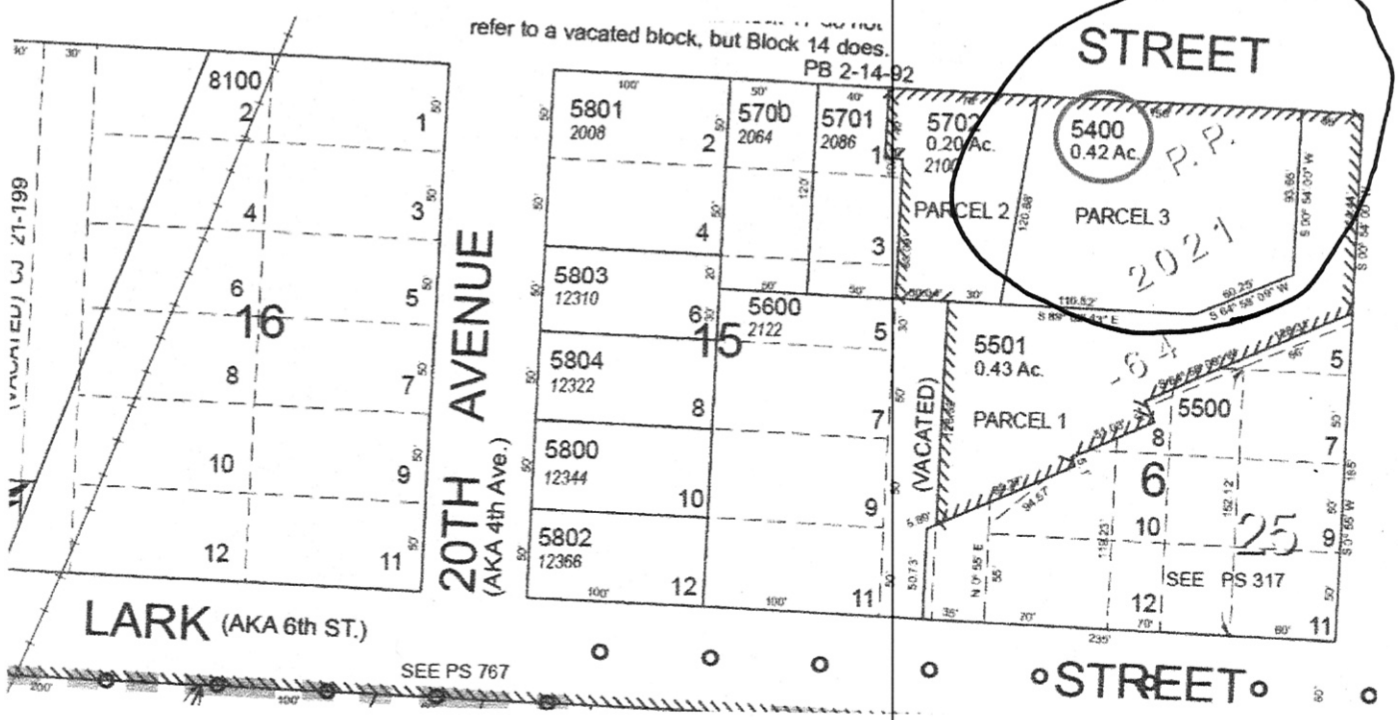
- Preapplication Meeting—1st meeting free; 2nd meeting \$50; Subsequent meetings \$100/mtg.**
 - Optional meeting with 2 City staff. No meeting notes are provided by staff.
 - Staff will coordinate meeting date and time once Submittal Information (listed on reverse) is received.
- Preapplication Conference—\$200**
 - Optional or required meeting with 3 or more staff. Meeting notes are provided by staff 2 weeks after the conference.
 - City staff from the Planning, Building, Engineering, and Public Works departments usually attend. Other public agencies (such as the Fire District) may attend as necessary.
 - Appointment times are Thursdays from 10:00 a.m.–11:00 a.m.
 - Appointments are scheduled on a first-come, first-served basis. Preapplication Requests must be submitted during counter hours, and by 12:30 p.m. every Thursday for the first appointment available.
 - Appointments must be made no less than **three weeks** before the desired meeting date for **Major projects** (e.g. commercial, industrial, multi-family, subdivisions) and no less than **two weeks** in advance of the desired meeting date for **Minor projects*** (e.g. single family, ADUs, partitions).
- Transportation Impact Study Review—\$100**
 - Mandatory second meeting if the project requires a Transportation Impact Study (TIS).
 - To be scheduled after completion of a TIS by the applicant's engineer.

IMPORTANT INFORMATION ON REVERSE SIDE

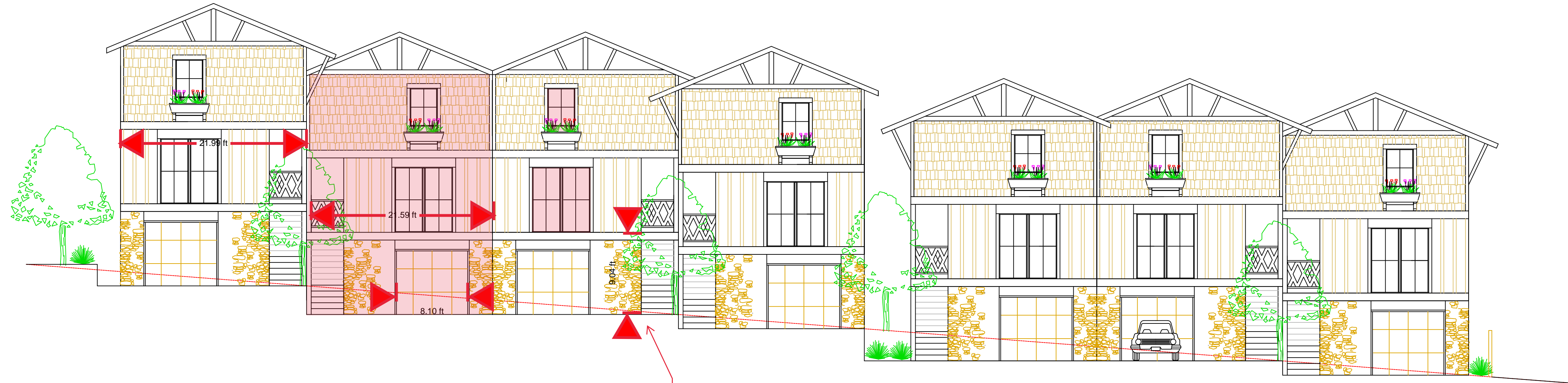
TOWNHOUSE CONCEPT - 7 Units



Parcel #	00020514	Owner	Espinor, Roger Espinor, Debra
Ref Parcel	11E35DD05400	Owner Address	2122 SE Sparrow St Milwaukie OR 97222
Site Address	Milwaukie OR 97222	Market Total Value	\$219,248.00
Lot Size	0.42 Acres (18,204 SqFt)	Assessed Total Value	\$128,168.00
Building Area	0 SqFt	Year Built	
School District	North Clackamas Milwaukie-R-5 Low Density Residential District	Sale Date	01/04/2022
Zoning		Sale Price	\$27,000.00
Bedrooms		Subdivision	Robertson
Bathrooms		Land Use	201 - Commercial land improved
Legal	PARTITION PLAT 2021-064 PARCEL 3 Y 185,216		

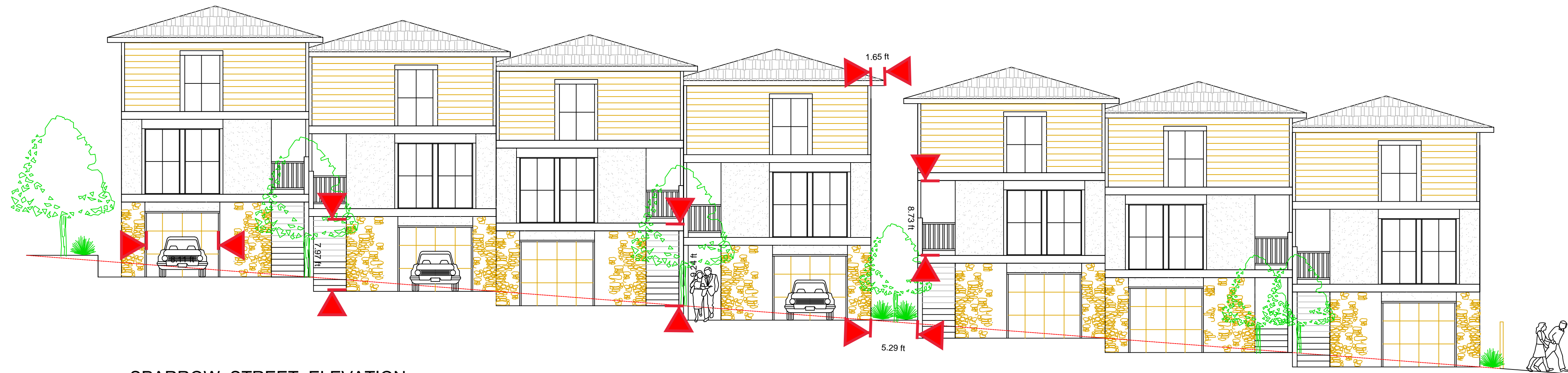


Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.




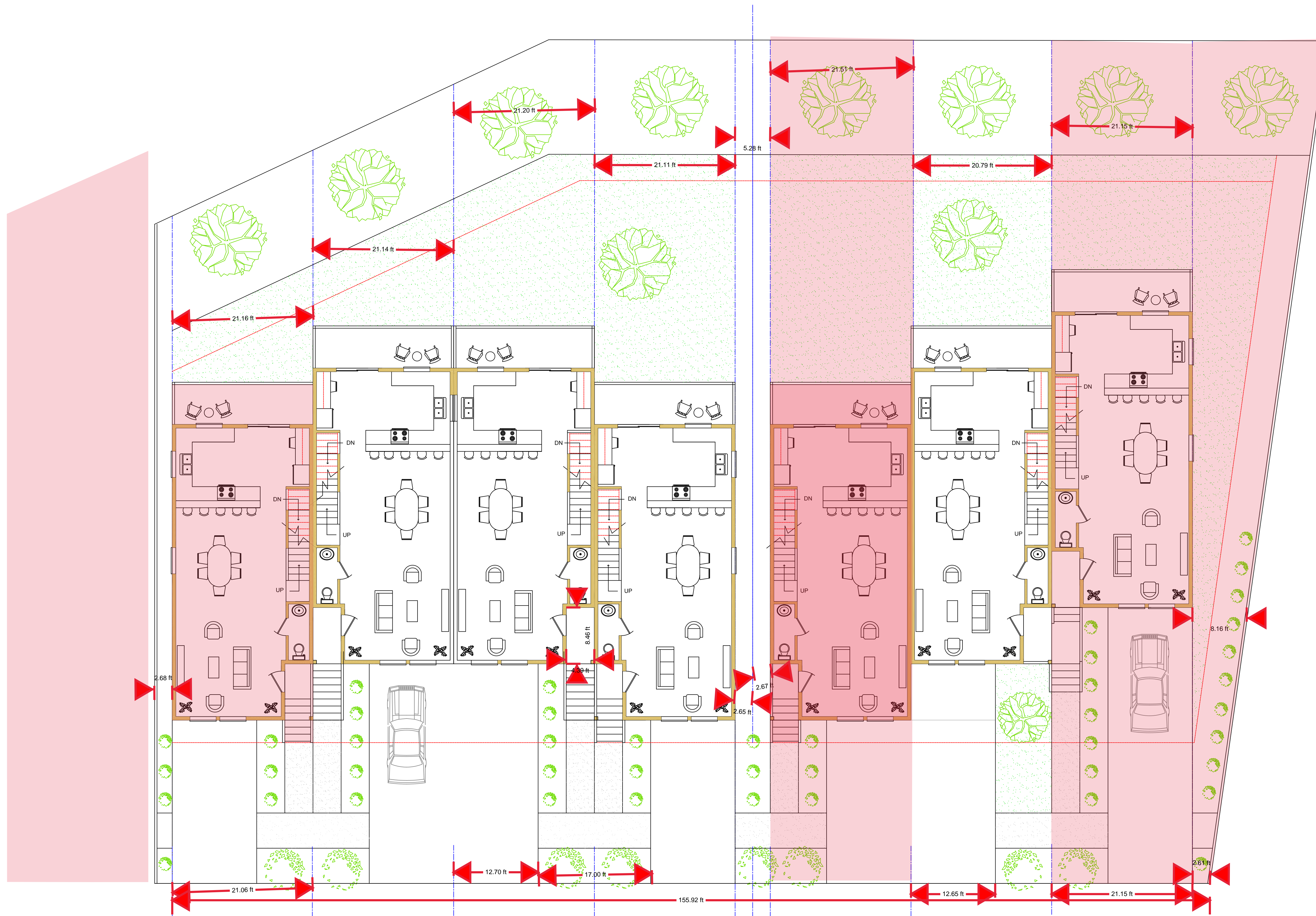
SPARROW STREET ELEVATION
OPTION A W/VARIED PLANS & ELEVATIONS

Stairs must raise
at least 3 ft but
no more than 8 ft
from grade per
MMC 19.505.5.



SPARROW STREET ELEVATION
OPTION A W/VARIED ELEVATIONS

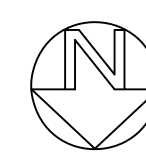
DATE	9/1/23
DESCRIPTION	PRELIM DESIGN
 TSS DESIGN SERVICES <small>FOR ARCHITECTURAL AND ENGINEERING FIRMS</small> <small>WWW.TSSDESIGNSERVICES.COM</small>	
DRAFTED BY: TSS	
SHEET CONTENTS	
SPARROW STREET ELEVATIONS OPTION A	
OWNER CONTACT (609) ROGER & DEBRA ESPINOR 2122 SE SPARROW ST. MILWAUKIE, OREGON 97222	
SPARROWS NEST TOWNHOMES SPARROW ST. SE & 21ST AVE. SE MILWAUKIE, OREGON, 97222	
SHEET A-3 OF SEVEN	



SPARROW STREET

SPARROWS NEST TOWNHOMES


SPARROW STREET, MILWAUKIE, OR



SITE PLAN OPTION A

7 LOTS - 7 UNITS SQUARE FT. TOTALS VARY W/PLAN OPTIONS

7- 3 BEDROOM - 3-1/2 BATH
 2412 SQ.FT. LIVING
 256 SQ.FT. GARAGE
 152 SQ.FT. DECKS
 2820 SQ.FT. TOTAL

DATE	9/1/23
DESCRIPTION	PRELIM DESIGN
 TSS DESIGN SERVICES <small>FOR THE BEST PROFESSIONAL DESIGN</small> <small>WWW.TSSDESIGNSERVICES.COM</small>	
SHEET CONTENTS	SITE PLAN OPTION A
OWNER CONTACT (509)	ROGER & DEBRA ESPINOR 2122 SE SPARROW ST. MILWAUKIE, OREGON 97222
SPARROWS NEST TOWNHOMES	SPARROW ST. SE & 21ST AVE. SE MILWAUKIE, OREGON, 97222
SHEET	A-1
	OF SEVEN

DRAFTED BY: TSS