

MILWAUKIE PLANNING
 6101 SE Johnson Creek Blvd
 Milwaukie OR 97206
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: CSU-2023-002

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| <input type="checkbox"/> Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input checked="" type="checkbox"/> Community Service Use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance: |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Director Determination | <input type="checkbox"/> Natural Resource Review** | <input type="checkbox"/> Willamette Greenway Review |
| <input type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input type="checkbox"/> Historic Resource: | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| <input type="checkbox"/> Status Deletion | | • Appeal |

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): Peter Passarelli

Mailing address: 10722 SE Main Street, Milwaukie, OR State/Zip: 97222

Phone(s): 503.786.7614 Email: PassarelliP@milwaukieoregon.gov

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above): Matt Hastie, AICP

Mailing address: 506 SW 6th Ave, Suite 400, Portland, OR State/Zip: 97204

Phone(s): 503-539-7680 Email: mhastie@migcom.com

SITE INFORMATION:

Address: 3039 SE Balfour St. Map & Tax Lot(s): 11E25CA07000

Comprehensive Plan Designation: MD Zoning: R-MD Size of property: 35,600 sf

PROPOSAL (describe briefly):

Low-impact clearing and regrading, and selective tree removal is proposed and will allow for proposed park features, which include a play area, nature play features, walking trails, a shelter, and other amenities.

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by:

Date: 06/23/2023

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.

** Natural Resource and Transportation Review applications **may require a refundable deposit.**

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT (after discount, if any)	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	CSU-2023-002	\$ 2,000	100%	City-sponsored application	Materials submitted 6/23/2023 (no payment required)
Concurrent application files		\$			
		\$			
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ ---			RECEIPT #:		RCD BY:

Associated application file #s (appeals, modifications, previous approvals, etc.):

Neighborhood District Association(s): Ardenwald-Johnson Creek

Notes:

Milwaukie Parks Land Use
Planning and Permitting
Balfour Park

Community Service Use Review
APPLICATION

Submitted to:

City of Milwaukie

Submitted by:

Matt Hastie, AICP, MIG | APG

July 2023

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List of Attachments:

- A. 30% Design Concept Drawings
- D. Stormwater Drainage Report
- G. Proof of Ownership (deed)
- H. Picnic Shelter and Play Area Amenities – Examples
- K. Tree Inventory
- N. Balfour Park Concept Plan, NCPRD, 2015

1. Introduction

Project Team

Owner

City of Milwaukie
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Land Use Planners

MIG
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Civil

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Consulting Arborist

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terry@teragan.com

Project Summary

Site Description:

The site is located at 3039 SE Balfour St. (tax lot 7000 and tax lot 6900) and defined by SE Balfour St. to the south, and residential properties to the east, west and north. The total site area is 35,600 square feet (sf) in size and is currently undeveloped although it has been planned for use as a future park since 2008 when it was purchased with funds from the Metro regional natural areas bond measure. The site was the subject of a previous concept planning process conducted by the North Clackamas Park and Recreation District in 2015 as described in more detail below.

The site is zoned Moderate Density Residential (R-MD). Per the Comprehensive Plan, the site is designated for Moderate Density residential land use. “The moderate density residential zone is intended to create, maintain, and promote neighborhoods and allow a broad range of housing types. Some non-residential uses are allowed, but overall the character is one of residential neighborhoods.” Parks are permitted in the R-MD zone as a Community Service Use, subject to Subsection 19.904 of the City of Milwaukie Zoning Ordinance.

Proposed Improvements:

A variety of changes and improvements are proposed at the site, including the following as shown on the accompanying figure:

- Low-impact clearing and regrading.
- Selective tree removal to allow for proposed park features and to removed unhealthy trees. See Attachment A, sheet L11.01 for details.
- A new play area will be constructed. It will include nature play features and other small equipment and be oriented towards younger children.
- Several new walking trails will be added. These trails will be made of pervious materials and meet the City’s minimum width requirements (five feet) to minimize impacts while ensuring accessibility.
- A new picnic shelter will be constructed. It will be approximately 17 feet x 17 feet in size and 13 feet tall (see Attachment H for an example of the type of shelter that could be installed). It will include lighting placed within the structure under the peak of the roof. It will be oriented downwards to minimize any impacts on the surrounding area.
- Other amenities will include several wooden benches for seating, bicycle parking (three spaces), picnic tables, fencing and bollards, drinking fountain, and a water play feature.
- Four new trees and a large number of new shrubs will be planted on the site. The majority of the new plants will be native species. A stormwater feature will also be constructed.

Six (6) trees are proposed for removal. All of these trees are in poor condition, exhibit extensive die-back, and have been identified as diseased or dead and recommended for

removal by the project arborist (Teragan Associates). More detailed information about the trees proposed for removal is found in the tree protection plan (Attachment A, Sheet L.11.01) and arborist observations associated with this application (see Attachment K). The City will submit a tree removal application through a separate permitting process (per MMC section 16.32.026) and will address tree removal requirements in more detail at that time.

The proposed improvements to Balfour Park build on and incorporate the results of extensive concept planning and community engagement efforts conducted by the City and its planning team in 2022 and 2023. Throughout 2022, the city hosted three large public events, multiple online surveys and focus groups with Milwaukie's Black, Indigenous and People of Color (BIPOC) community members. After preparing and refining initial concepts, a revised draft Concept Plan for the park was approved by Milwaukie City Council on December 6, 2022. The proposed design and improvements build on and are generally consistent with those efforts.

The plans also build on concept planning efforts conducted by the North Clackamas Park and Recreation District in 2015. That plan assumed a similar set of amenities and features to those proposed in this application, including new pathways, a play area and equipment, seating, bicycle parking, and a variety of new plantings (trees, shrubs and other landscaping). That Concept Plan and adoption application are included as Attachment N.

As noted above, Attachment H includes examples of the types of amenities that may be included in the park. These should be considered as examples only and not as proposed final designs. The designs for specific park amenities are still under consideration and may be further refined as the City completes the detailed design and building permit process.

2. 19.301.4 Development Standards (R-MD Base Zone)

Response: The development standards in Subsection 19.301.4 are not applicable to the proposed park development, as they are written only for residential development. This project will meet all of the standards for Subsection 19.904 – Community Service Use as detailed in Section 3 of this application narrative.

3. 19.904.7-11 Community Service Use Standards

19.904.8 Specific Standards for Institutions—Public, Private, Religious, and Other Facilities not Covered by Other Standards

- a. *Utilities, streets, or other improvements necessary for the public facility or institutional use shall be provided by the agency constructing the use.*

Response: Per Sheet C13.00 – Utility Plan, all utilities for the park will be provided. Sheet 12.01 shows the existing utilities that will be preserved and protected as part of the site demolition process. Proposed utilities will include new water connections to provide water to the proposed water feature and drinking fountain and stormwater management facilities to manage stormwater from new impervious surfaces.

- b. *When located in or adjacent to a residential zone, access should be located on a collector street if practicable. If access is to a local residential street, consideration of a request shall include an analysis of the projected average daily trips to be generated by the proposed use and their distribution pattern, and the impact of the traffic on the capacity of the street system which would serve the use. Uses which are estimated to generate fewer than 20 trips per day are exempted from this subsection.*

Response: Primary pedestrian access to the site will be located on the south end of the site, off Balfour St. This site will provide relatively modest passive and active recreational features, including a picnic shelter, modest play area, pathways, open space and natural areas which are intended to serve the residents of the neighborhood. It is not proposed as a regional or larger-scale community park and it is not anticipated to generate excessive traffic. The types of traffic associated with the proposed park will be those associated with the existing land use which will predominately consist of passenger vehicles. A majority of park users are expected to access the park by walking or bicycling.

- c. *When located in a residential zone, lot area shall be sufficient to allow required setbacks that are equal to a minimum of $\frac{2}{3}$ the height of the principal structure. As the size of the structure increases, the depth of the setback must also increase to provide adequate buffering.*

Response: The principal structure proposed for the park is the picnic shelter which is 13 feet tall. The proposed setback is approximately 35 feet which is more than $\frac{2}{3}$ of the height of the shelter structure; therefore this standard is met.

- d. *The height limitation of a zone may be exceeded to a maximum height of 50 ft provided Subsection 19.904.8.C of this subsection is met.*

Response: The picnic shelter will not exceed the by-right maximum height; therefore this standard is not applicable.

- e. *Noise-generating equipment shall be sound-buffered when adjacent to residential areas.*

Response: No permanent noise generating equipment is proposed within the park. The site is not expected to generate any excessive amount of noise outside of those typically associated with a small-scale park facility. Park hours will be set to minimize disruptions to adjacent residential areas. In general, park use is expected to be limited to daytime hours. With the exception of lighting for safety, no significant lighting to enable night-time use is proposed.

- f. *Lighting shall be designed to avoid glare on adjacent residential uses and public streets.*

Response: Lighting will be designed to avoid glare on adjacent streets and properties. Some existing light fixtures will be preserved.

- g. *Where possible, hours and levels of operation shall be adjusted to make the use compatible with adjacent uses.*

Response: Standard operating hours for Milwaukie Parks are 30 minutes before sunrise to 30 minutes after sunset. This facility will follow those hours which were set to minimize impact on neighboring residential uses. As noted above, park use is expected to be limited to daytime hours.

- h. *A spire on a religious institution may exceed the maximum height limitation. For purposes of this subsection, “spire” means a small portion of a structure that extends above the rest of the roofline, or a separate structure that is substantially smaller than the main structure and extends above the roofline of the main structure. “Spire” includes but is not limited to ornamental spires, bell towers, other towers, minarets, and other similar structures or projections. The number of spires on a religious institution property is not limited, so long as the spires remain only a small portion of the area of the structures.*

- i. *The minimum landscaping required for religious institutions is the lesser of 15% of the total site area and the percentage required by the underlying zone.*

- j. *Park-and-ride facilities may be encouraged for institutions along transit routes that do not have days and hours in conflict with weekday uses (e.g., religious institutions or fraternal organizations). Such uses may be encouraged to allow portions of their parking areas to be used for park-and-ride lots.*

Response: The proposed park project is not a religious institution or other institutional use; therefore Standards H-J do not apply.

4. 19.901.4 Approval Criteria

An application for a community service use may be allowed if the following criteria are met:

- A. The building setback, height limitation, and off-street parking and similar requirements governing the size and location of development in the underlying zone are met. Where a specific standard is not proposed in the CSU, the standards of the underlying zone are met;**

Response: As shown in the previous sections, standards for the underlying R-MD zone related to height and setbacks will be met. No off-street parking is proposed for the park, given that most visitors are expected to access the park by walking or bicycling, on-street parking is available on Balfour Street, and a passenger drop-off area is proposed to be located at the southwest corner of the park. As a result, this approval criterion is met.

- B. Specific standards for the proposed uses as found in Subsections 19.904.7-11 are met;**

Response: As shown in Section 3 of this application, all standards for the Community Service Use are met and this approval criterion is met.

- C. The hours and levels of operation of the proposed use are reasonably compatible with surrounding uses;**

Response: Standard operating hours for Milwaukie Parks are 30 minutes before sunrise to 30 minutes after sunset. As described in previous sections of this narrative, park use is expected to be limited to daytime hours and operating hours for the park will be set accordingly. As a result, this approval criterion is met.

- D. The public benefits of the proposed use are greater than the negative impacts, if any, on the neighborhood; and**

Response: No negative neighborhood impacts are anticipated as part of this project and the nature of the area will be improved as the lot is currently vacant. This project provides recreational opportunities that are currently lacking in the surrounding neighborhood. The project is designed to be accessible for all ages and abilities and will provide the community with opportunities to play and connect with nature through a combination of passive and active recreational activities. The level of use and associated traffic, noise and other impacts will be similar to and compatible with surrounding residential uses and will enhance the overall character and livability of the surrounding neighborhood. Minimal exterior lighting or other features that would impact surrounding homes are proposed. As a result, this approval criterion is met.

E. The location is appropriate for the type of use proposed.

Response: *The proposed park is located on a currently undeveloped parcel in a residential neighborhood. A park facility is an improvement on the vacant lot and will improve the overall quality of the neighborhood by providing recreation and play facilities, plus opportunities for community gathering. As a result, this approval criterion is met.*

Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit A – 30% Design Drawings

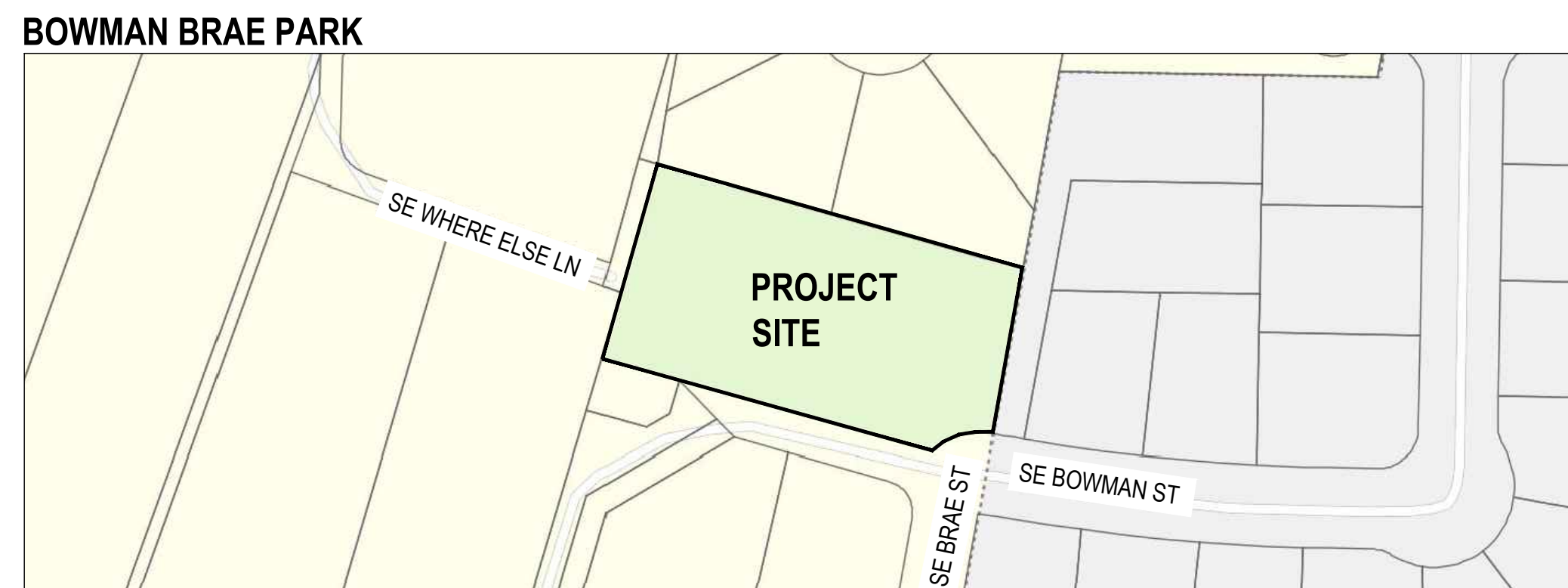
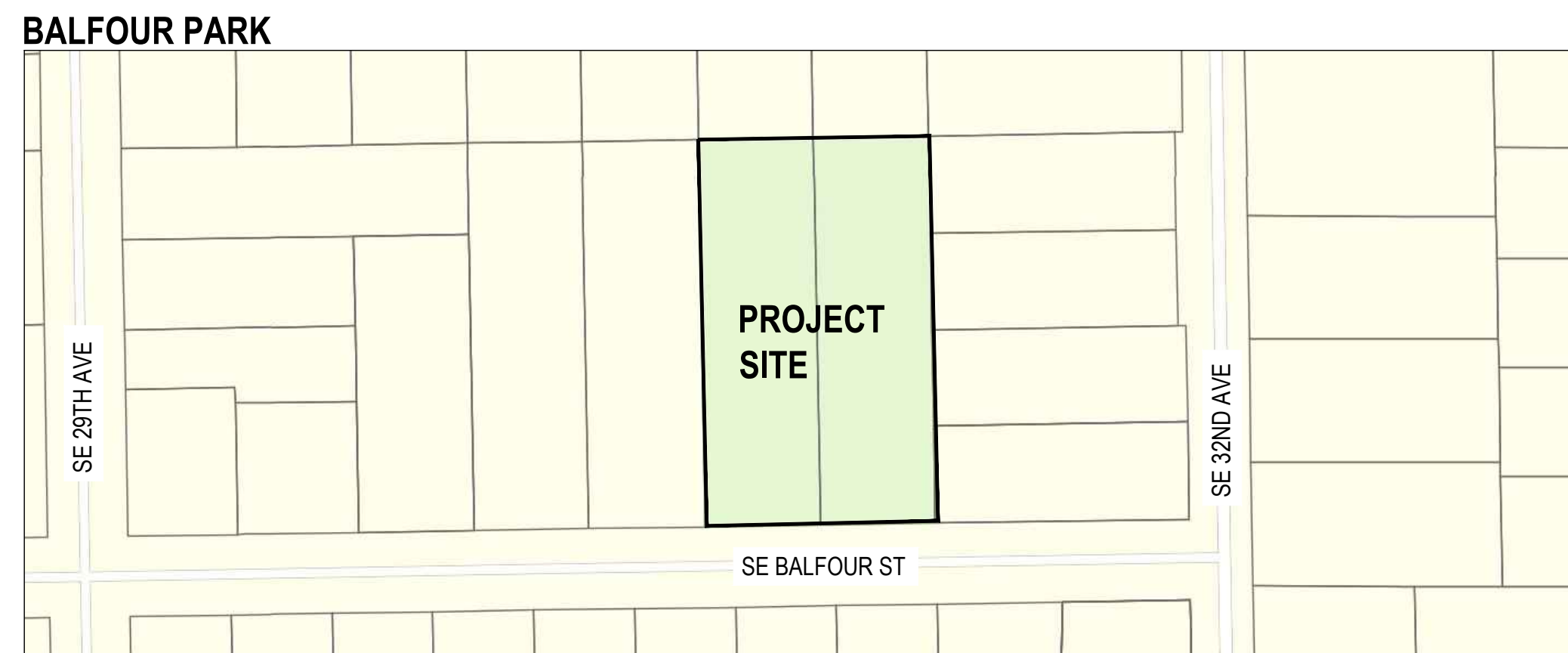
PROJECT DESCRIPTION

SCOTT PARK: LOCATED AT 10660 SE 21ST AVE. AND DEFINED BY LEDDING LIBRARY TO THE SOUTH, POND TO THE EAST AND ADJACENT DEVELOPMENTS AND PARKING AREAS TO THE NORTH AND WEST. TOTAL SITE AREA IS 20,400 SF. THE EXISTING PATH AND PART OF THE LAWN WILL BE DEMOLISHED FOR THE PLANNED SITE FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, POND OVERLOOK AND OTHER AMENITIES. THE EXISTING PARKING, SIDEWALK, AMPHITHEATER AND WAR MEMORIAL WILL REMAIN.

BALFOUR PARK: LOCATED AT 3039 SE BALFOUR ST. AND DEFINED BY SE BALFOUR ST TO THE SOUTH, AND RESIDENTIAL PROPERTIES TO THE EAST, WEST AND NORTH. THE TOTAL SITE AREA IS 35,600 SF. LOW-IMPACT CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, NATURE PLAY FEATURES, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

BOWMAN BRAE PARK: LOCATED AT 4267 SE BOWMAN ST. AND DEFINED BY SE BOWMAN ST TO THE SOUTH, PRIVATE DRIVE TO THE EAST AND ADJACENT RESIDENTIAL PROPERTIES TO THE NORTH AND WEST. TOTAL SITE AREA IS 30,000 SF. CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

VICINITY MAPS

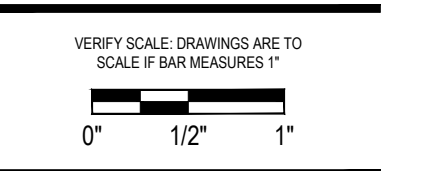


Scott Park, Balfour Park, & Bowman Brae Park

Milwaukie, OR 97222

SHEET INDEX

SHEET #	SHEET TITLE	SHEET COUNT	SHEET #	SHEET TITLE	SHEET COUNT
ALL PARKS					
G0.00	COVER SHEET & SHEET INDEX	01	C22.00	UTILITY PLAN	34
G0.01	GENERAL NOTES AND ABBREVIATIONS	02	C22.01	FRONTAGE IMPROVEMENTS	35
			C22.02	EROSION CONTROL PLAN AND DETAILS	36
SCOTT PARK					
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L2.01	TREE PROTECTION PLAN	04	L22.01	MATERIALS PLAN	38
L3.01	DEMOLITION PLAN	05	L23.01	LAYOUT PLAN	39
			L24.01	GRADING PLAN	40
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C3.01	EROSION CONTROL PLAN AND DETAILS	07	L25.01	IRRIGATION PLAN	42
			L26.00	PLANT SCHEDULE AND NOTES	43
L4.00	MATERIALS NOTES	08	L26.01	PLANTING PLAN	44
L4.01	MATERIALS PLAN	09	L27.01	SITE SECTIONS	45
L5.01	LAYOUT PLAN	10	ALL PARKS		
L6.01	GRADING PLAN	11	C28.01	CIVIL DETAILS	46
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L9.01	SITE SECTIONS	16	L29.02	IRRIGATION DETAILS	51
			L30.01	PLANTING DETAILS	52
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L10.01	EXISTING CONDITIONS PLAN	17			
L11.01	TREE PROTECTION PLAN	18			
L12.01	DEMOLITION PLAN	19			
C13.00	UTILITY PLAN	20			
C13.01	EROSION CONTROL PLAN AND DETAILS	21			
L13.00	MATERIALS NOTES	22			
L13.01	MATERIALS PLAN	23			
L14.01	LAYOUT PLAN	24			
L15.01	GRADING PLAN	25			
L16.00	IRRIGATION SCHEDULE AND NOTES	26			
L16.01	IRRIGATION PLAN	27			
L17.00	PLANT SCHEDULE AND NOTES	28			
L17.01	PLANTING PLAN	29			
L18.01	SITE SECTIONS	30			
BOWMAN BRAE PARK					
L19.01	EXISTING CONDITIONS PLAN	31			
L20.01	TREE PROTECTION PLAN	32			
L21.01	DEMOLITION PLAN	33			



Project:
Scott Park, Balfour Park,
& Bowman Brae Park
City of Milwaukie
10722 SE Main Street
Milwaukie, OR 97222
503-786-7555

Submittal: Design Development
Sheet Title:
Cover

PROJECT DIRECTORY

OWNER / CONTACT	LANDSCAPE ARCHITECT	CIVIL ENGINEER	SITE SURVEY	ARBORIST
CITY OF MILWAUKIE 10722 SE MAIN ST MILWAUKIE, OR 97222 PROJECT CONTACT: Adam Moore PHONE: 503-786-7624 EMAIL: moorea@milwaukieoregon.gov	GREENWORKS, P.C. 110 SE MAIN ST, SUITE 100 PORTLAND, OR 97214 PROJECT CONTACT: Ben Johnson PHONE: 503-222-5612 EMAIL: benj@greenworkspc.com	KPFF 111 SW 5TH AVE, SUITE 2400 PORTLAND, OR 97204 PROJECT CONTACT: Jessica Zink PHONE: 503-542-3860 EMAIL: jessica.zink@kpff.com	KPFF 111 SW 5TH AVE, SUITE 2400 PORTLAND, OR 97204 PROJECT CONTACT: John R. Davis PHONE: 503-542-3860 EMAIL: john.davis@kpff.com	TERAGAN & ASSOCIATES 3145 WESTVIEW CIRCLE LAKE OSWEGO, OR 97034 PROJECT CONTACT: Terrence P. Flanagan PHONE: 503-697-1975 EMAIL: terry@teragan.com

SUBMITTAL

30% CONSTRUCTION DOCUMENTS
ISSUE DATE: APRIL 11, 2023
REVISION DATE:

GENERAL NOTES

- ALL WORK PERFORMED IN CONNECTION WITH THE CONTRACT DOCUMENTS, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, PRACTICES AND REQUIREMENTS OF THE APPLICABLE FEDERAL, STATE AND LOCAL AUTHORITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH ALL CONSTRUCTION ACTIVITIES. THE LOCATIONS AND IDENTIFICATION OF UTILITIES WITHIN THIS DOCUMENT IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. ANY DISCREPANCIES BETWEEN SURVEY INFORMATION AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT SHALL BE UNDERSTOOD THAT THE IMPROVEMENTS SHOWN ON THE DRAWINGS AND SPECIFICATIONS ARE MEANT TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. MODIFICATIONS, CONFLICTS, OR ISSUES THAT WOULD CONTRADICT RELEVANT CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- COMPLY WITH OREGON LAW REQUIRING ADHERENCE TO THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. NOTIFY THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. PHONE CONTACT FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344 (or 811).
- REPAIR AT OWN EXPENSE ANY DAMAGE DONE TO UTILITY SYSTEMS, SURFACE PAVEMENTS, SITE FEATURES, AND STRUCTURES, WHETHER INSIDE OR OUTSIDE OF THE PROJECT LIMITS, THAT ARE NOT DIRECTLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION.
- ALL QUANTITIES SHOWN ON THE DRAWINGS OR SPECIFICATIONS ARE FOR CONVENIENCE ONLY.
- UPON PROJECT COMPLETION, THE PROJECT AREA AND ADJACENT SPACES SHALL BE FREE AND CLEAR OF ALL CONSTRUCTION MATERIALS, WASTE AND DEBRIS. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL MATERIALS AS INDICATED IN THE PROJECT CONTRACT DOCUMENTS AND MUST MEET ALL APPLICABLE REGULATIONS OVERSEEING WASTE DISPOSAL.

GENERAL LEGEND

SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		BUILDING OUTLINE WITH DOOR
	SIGN		CONCRETE SURFACE
	BOLLARD		ASPHALT SURFACE
	BIKE RACK		WALL
	ROOF DRAIN		BUILDING OVERHANG
	ELECTRICAL JUNCTION BOX		CURB LINE
	ELECTRICAL METER		EDGE OF ASPHALT
	ELECTRICAL OUTLET		ELECTRICAL LINE
	ELECTRICAL CABINET		STORM LINE
	ELECTRICAL SWITCH		WATER LINE
	ELECTRICAL VAULT		EDGE OF WATER
	TRANSFORMER		CHAIN LINK FENCE
	LUMINAIRE		WOOD FENCE
	GROUND FLOOD LIGHT		MAJOR CONTOUR
	OVERHEAD LIGHT		MINOR CONTOUR
	STORM MANHOLE WITH STRUCTURE		DECIDUOUS TREE
	SANITARY/STORM CLEAN OUT		CONIFEROUS TREE
	SANITARY STORM STRUCTURE		SHRUB
	WATER VALVE		HOSE BIB
	FIRE HYDRANT		IRRIGATION CONTROL VALVE
	WATER METER		PROJECT CONTROL POINT

TABLE OF ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS REFERENCED IN DRAWINGS. ABBREVIATIONS MAY BE SHOWN WITH OR WITHOUT PERIODS.

@	AT	MIN	MINIMUM
ALUM	ALUMINUM	MH	MANHOLE
APPROX	APPROXIMATE	NIC	NOT IN CONTRACT
ARCH	ARCHITECT	NOM	NOMINAL
AC	ASPHALT CONCRETE	NPS	NOMINAL PIPE SIZE
BC	BOTTOM OF CURB	NTS	NOT TO SCALE
B&B	BALLED AND BURLAP	OH	OVER HEAD
BLDG	BUILDING	OC	ON CENTER
BM	BENCHMARK	OD	OUTSIDE DIAMETER
BPRD	BEND PARKS & RECREATION DISTRICT	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
BS	BOTTOM OF STAIR	PA	PLANTING AREA
BR	BOTTOM OF RAMP	PC	POINT OF CURVATURE
BOW	BOTTOM OF WALL (ELEV. BELOW FINISH GRADE)	PCC	POINT OF COMPOUND CURVATURE / PORTLAND CEMENT CONCRETE
BW	BOTTOM OF WALL (ELEV. AT FINISH GRADE)	PI	POINT OF INTERSECTION
CB	CATCH BASIN	PIP	POURED-IN-PLACE
CF	CUBIC FEET	PL	PLATE
CAL	CALIPER	PLS	PURE LIVE SEED
CJ	CONTRACTION JOINT	POT	POINT OF TANGENCY
CLR	CLEAR	PT	PRESSURE TREATED
CIP	CAST-IN-PLACE	PERF	PERFORATED
CONT	CONTAINER / CONTINUOUS	PK	POINT KNOWN
CL / €	CENTER LINE	PP	POWER POLE
CP	CENTER POINT	PVC	POLYVINYL CHLORIDE PIPE
CT	CURRENT TRANSFORMER	R	RADIUS
DIM	DIMENSION	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCED / REINFORCEMENT
DEMO	DEMOLISH	REQ'D	REQUIRED
DOM	DOMESTIC WATER LINE	ROW	RIGHT-OF-WAY
(E)	EXISTING	RPZ	ROOT PROTECTION ZONE
EA	EACH	RT	RIGHT
EJ	EXPANSION JOINT	SAN	SANITARY
ELC	EXTERIOR LIGHTING CONTROL	SD	STORM DRAIN
ELEV	ELEVATION	SEC	SECONDARY
ENG	ENGINEER	SIM	SIMILAR
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EQ	EQUAL	SSTL	STAINLESS STEEL
EST	ESTIMATE	STA	STATION
FB	FLAT BAR	STD	STANDARD
FD	FIELD DRAIN	STR	STRUCTURAL
FG	FINISH GRADE	TD	TRENCH DRAIN
FL	FLOW LINE	TEL	TELEPHONE
FOC	FACE OF CURB	THK	THICK
FTG	FOOTING	TOPO	TOPOGRAPHY
GALV	GALVANIZED	TC	TOP OF CURB
GA	GAUGE	TR	TOP OF RAMP
GFI	GROUND FAULT INTERRUPTER	TS	TOP OF STAIR
GB	GROUND BREAK	TPZ	TREE PROTECTION ZONE
GND	GROUND	TYP	TYPICAL
HDG	HOT DIP GALVANIZED	TW	TOP OF WALL
HMAC	HOT MIX ASPHALT CONCRETE	UG	UNDERGROUND
MHMAC	MINOR HOT MIX ASPHALT CONCRETE	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	VAR	VARIABLE
HP	HIGH POINT	VC	VERTICAL CURVE
HSS	HOLLOW STRUCTURAL SECTION	VOL	VOLUME
ID	INSIDE DIAMETER	W	WITH
IE	INVERT ELEVATION	W/O	WITHOUT
INT	INTERMEDIATE	WM	WATER METER
IR	IRON ROD	WP	WORK POINT
JT	JOINT	WT	WEIGHT
LT	LEFT	WWM	WELDED WIRE MESH
LF	LINEAR FEET	YD	YARD
LP	LOW POINT		
MAX	MAXIMUM		

SYMBOLS LEGEND

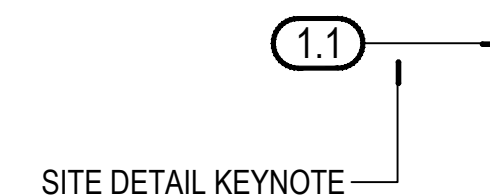
SYMBOL	ITEM
XXX ———→	LEADER LABEL
TYP (1) ———→	REFERENCE KEYNOTE
XXX (X) LX.XX ———→	DETAIL REFERENCE
(X) LX.XX ———→	ELEVATION DETAIL REFERENCE
(X) LX.XX ———→	SECTION DETAIL REFERENCE
(X) ———→	SECTION REFERENCE (WITHIN DETAIL)
(X) ———→	ELEVATION REFERENCE (WITHIN DETAIL)
(X) LX.XX []	ENLARGEMENT REFERENCE
1'-0"	LINEAR DIMENSION
R=3"	RADIUS DIMENSION
90°	ANGLE DIMENSION
MATCHLINE SEE SHEET LX.XX	SHEET MATCHLINE
SCALE: 1" = 10'-0"	SCALE BAR
NORTH	NORTH ARROW
# []	REVISION TRIANGLE AND CLOUD
LIMIT OF WORK	LIMIT OF WORK LINE

SITE DETAIL KEYNOTE SYSTEM LEGEND

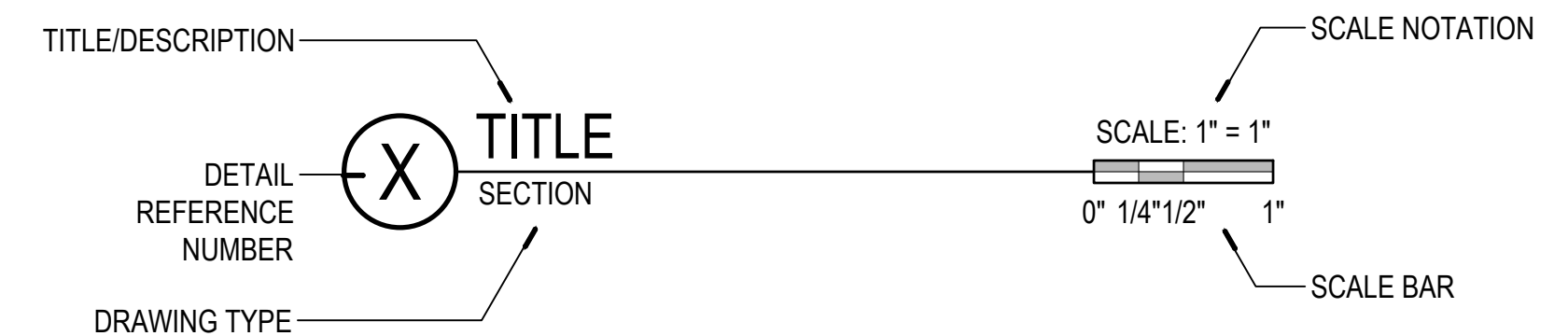
SITE DETAIL KEYNOTES			
KEYNOTE CATEGORY HEADING NUMBER AND TITLE	NUMBER	ITEM	DETAIL / SHEET
(1.0) PAVING / CURBS / RAMPS	1.1		XX / LX.XX
	1.2		XX / LX.XX
	1.3		XX / LX.XX
	1.4		XX / LX.XX
	1.5		XX / LX.XX
	1.6		XX / LX.XX
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			000000
			000000
			000000
			000000
			000000

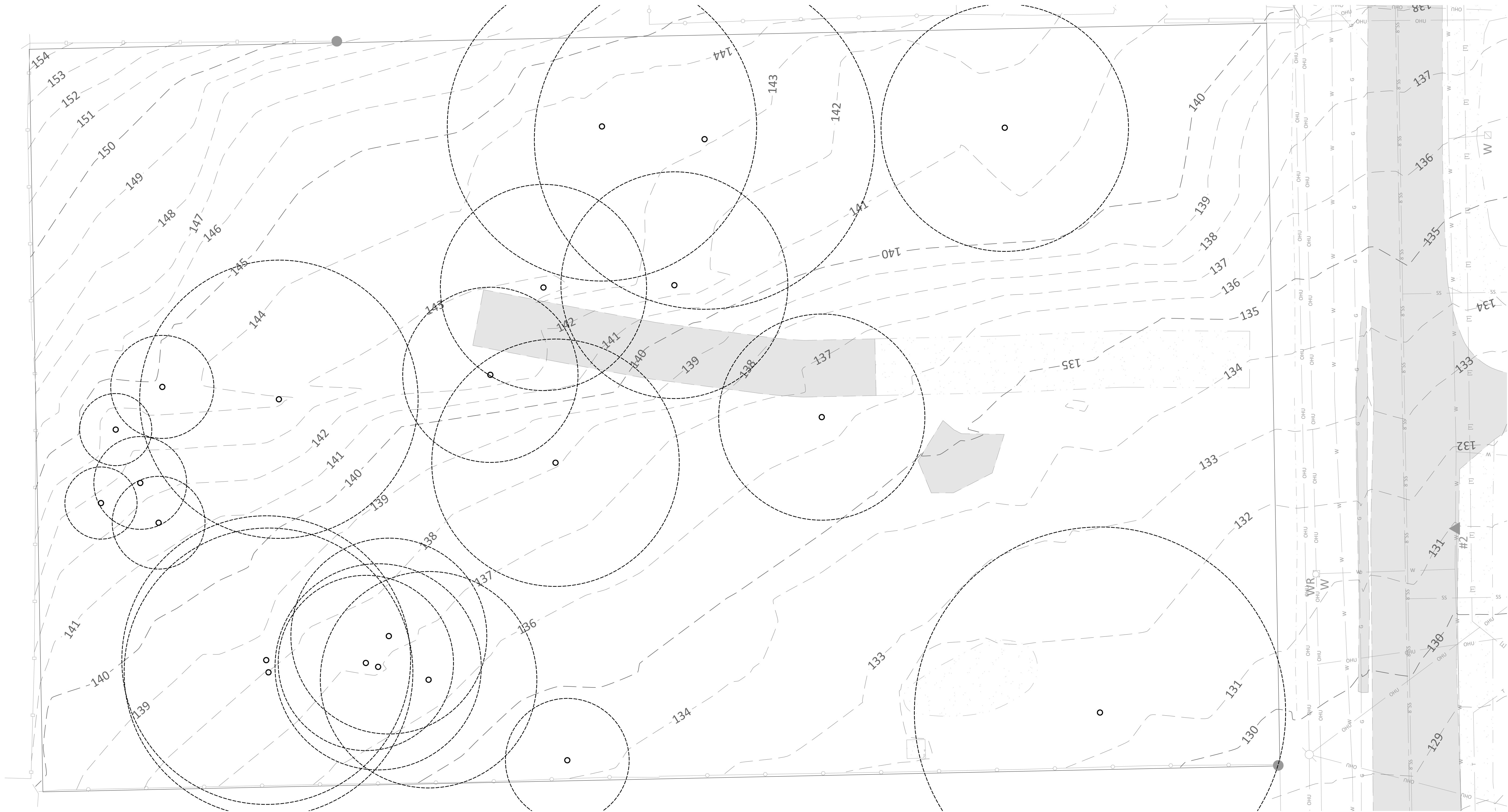
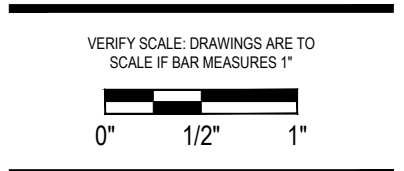
THE FOLLOWING KEYNOTE CATEGORIES HAVE BEEN PROPOSED IN THIS PROJECT:

- 1.0 PAVING / CURBS / RAMPS
- 2.0 JOINTING
- 3.0 STAIRS
- 4.0 WALLS
- 5.0 SITE FURNISHINGS
- 6.0 RAILINGS
- 7.0 DRAINAGE
- 8.0 IRRIGATION
- 9.0 PLANTING
- 10.0 PLAY
- 11.0 LIGHTING



DETAIL FRAME LEGEND





UTILITY LOCATES

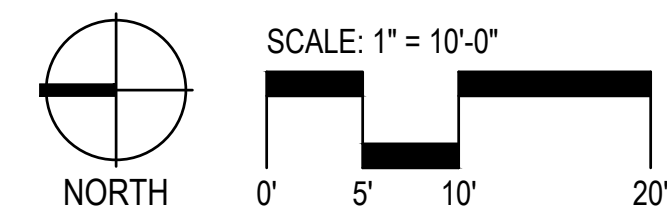
1. UTILITY LOCATIONS SHOWN ARE PER FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.

BASIS OF ELEVATION

1. THE VERTICAL DATUM IS NAVD 88 (GEOD 12A). ELEVATION WAS ESTABLISHED THROUGH A GPS OBSERVATION ON CONTROL POINT NO. 1 USING THE OREGON REAL-TIME GPS NETWORK (ORGN).
2. BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON COORDINATE REFERENCE SYSTEM (OCRS), PORTLAND ZONE. THE RESULTANT BEARING FROM CONTROL POINT 1 TO CONTROL POINT 2 IS SOUTH 06°38'53" EAST..

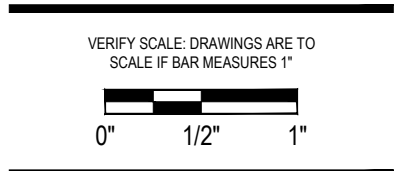
EXISTING CONDITIONS GENERAL NOTES

1. REFER TO SHEETS L10.00 - L10.01 FOR EXISTING CONDITIONS PLANS.
2. SURVEY PROVIDED BY KPFF ON APRIL 12, 2022
3. THE SCALE OF THE EXISTING CONDITIONS DRAWINGS ARE HALF THE SCALE INDICATED ON THE PLANS WHEN THE DRAWINGS ARE SIZE 11"x17".



EXISTING CONDITIONS LEGEND

SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		BUILDING OVERHANG		SANITARY SEWER LINE		EXISTING TREE
	SANITARY STRUCTURE		CURB LINE		WATER LINE		PROJECT CONTROL POINT
	SANITARY MANHOLE WITH STRUCTURE		EDGE OF ASPHALT		GAS LINE		CONCRETE SURFACE
	SANITARY CLEAN OUT		RIGHT-OF-WAY LINE		OVERHEAD UTILITY LINES		ASPHALT SURFACE
	POWER POLE		EASEMENT LINE		CHAIN LINK FENCE		WALL
	TELECOM RISER		LOT LINE		TELECOM LINE		WOOD FENCE
	WATER METER		PROPERTY LINE		MAJOR CONTOUR		
	WATER RISER		ELECTRICAL LINE		MINOR CONTOUR		



Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park

City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

Submittal: Design Development
 Sheet Title - Balfour Park :
 Tree Protection Plan

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Date: 06/15/2023

Revisions:

Drawn By: GM/YC

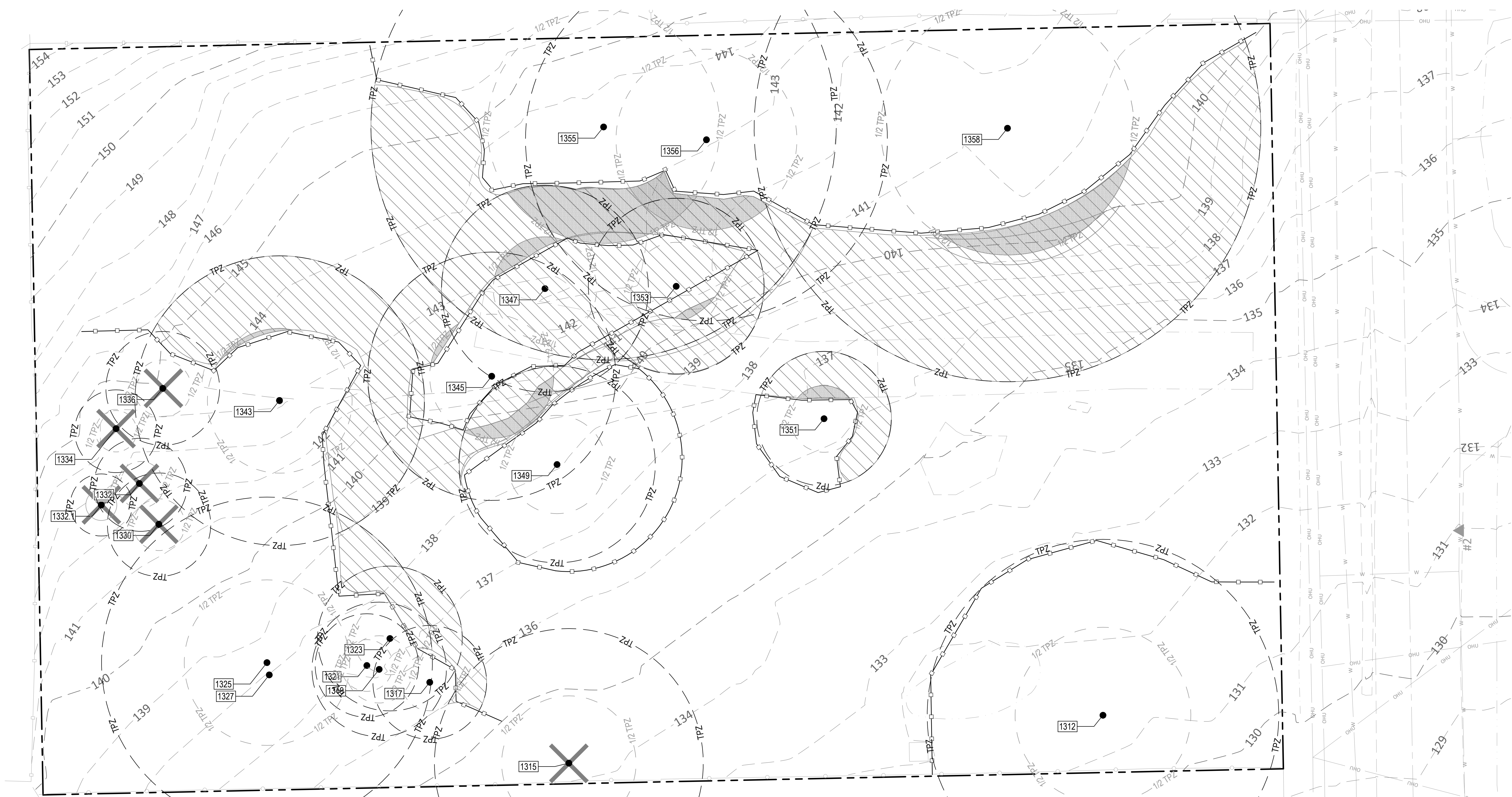
Checked By: BJ/GM

Job No. 210234.1

Approved: GW

L11.01

Sheet No. 18 of 52

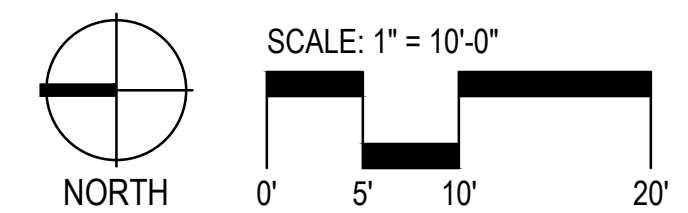


TREE PROTECTION GENERAL NOTES

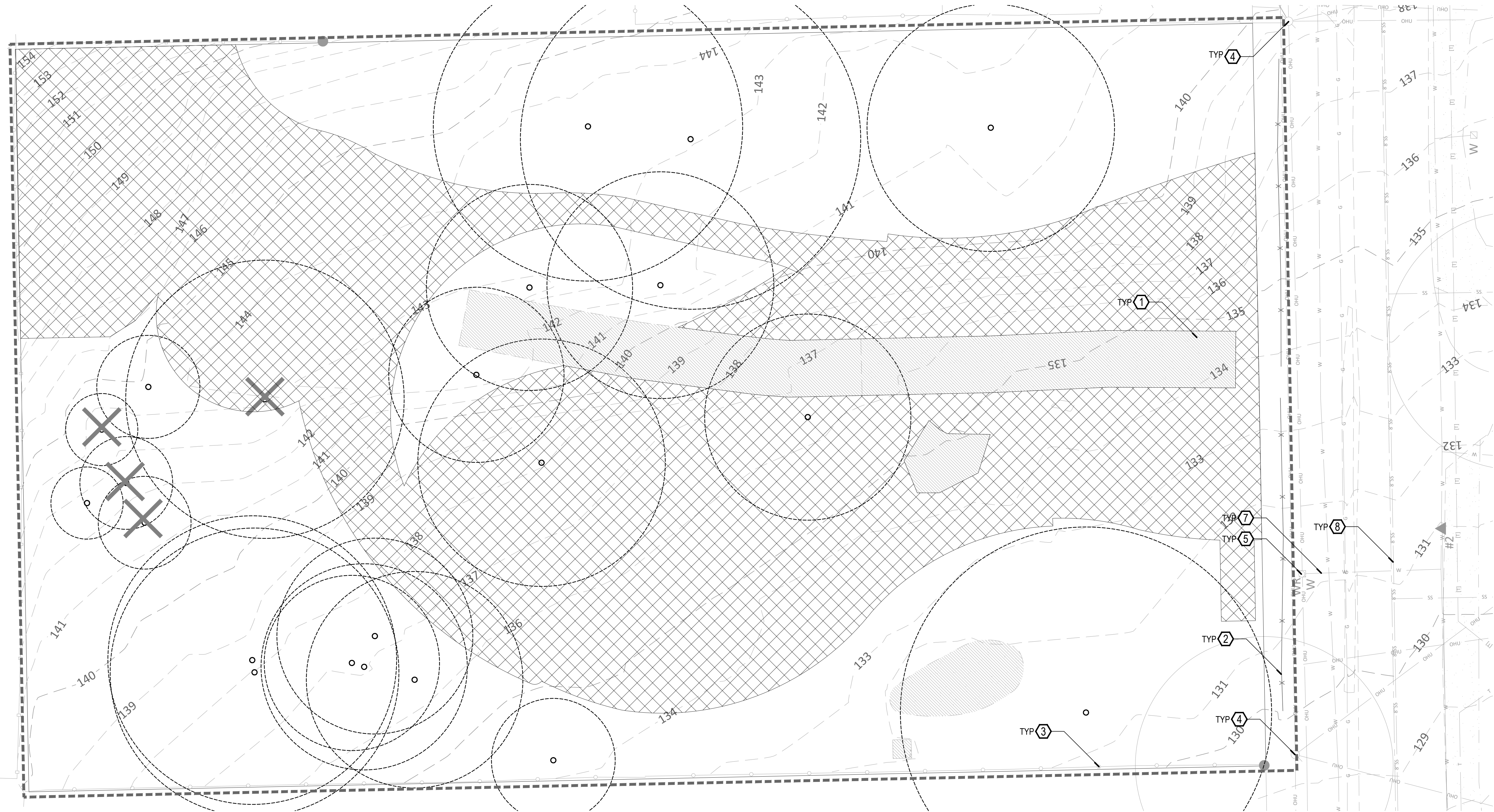
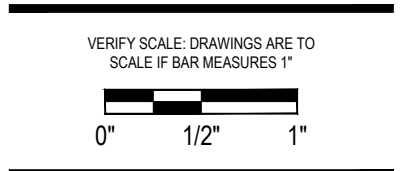
1. REFER TO 'TREE PROTECTION PLAN' FOR ALL TREE NUMBERS, SPECIES IDENTIFICATION, AND TREE HEALTH.
2. NO CONSTRUCTION ACTIVITIES ALLOWED TO IMPACT ONE-HALF TREE PROTECTION ZONE (TPZ) AREA.
3. TRUNK PROTECTION AND SUPPLEMENTAL WATERING MAY BE REQUIRED AT THE DISCRETION OF THE PROJECT ARBORIST.
4. ANY CONSTRUCTION WORK INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING AND TRENCHING IN ANY TPZ SHALL ONLY BE DONE WITH WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE. CUT AND GRIND ALL STUMPS EXCEPT AS NOTED.
5. NO PARKING, EXCAVATION, TRENCHING, GRADING, ROOT PRUNING, STOCKPILING OF ANY MATERIALS OR OTHER ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION FENCING UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
6. TREE PROTECTION FENCING NOT TO BE MOVED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.

TREE PROTECTION LEGEND

SYMBOL	ITEM
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	TREE IDENTIFICATION LABEL
	TREE PROTECTION FENCING
	WORK AREA IN THE TREE PROTECTION ZONE
	WORK AREA IN THE CRITICAL ROOT ZONE
	TREE PROTECTION ZONE (TPZ)



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SITE DEMOLITION REFERENCE NOTES

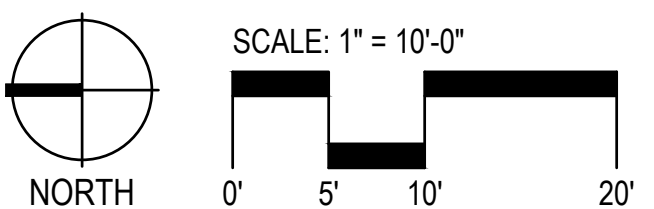
1. REMOVE AND DISPOSE OF PAVEMENT OR GRAVEL IN ITS ENTIRETY, INCLUDING SUB-BASES.
2. REMOVE AND DISPOSE OF EXISTING CHAIN STANCHION WITHIN LIMIT OF WORK AREA.
3. PRESERVE AND PROTECT EXISTING FENCE.
4. PRESERVE AND PROTECT EXISTING POWER LINE.
5. PRESERVE AND PROTECT EXISTING UTILITY STRUCTURE. REFERENCE CIVIL DRAWINGS.
6. PRESERVE AND PROTECT EXISTING STORM DRAIN. REFERENCE CIVIL DRAWINGS.
7. PRESERVE AND PROTECT EXISTING WATER MAIN.
8. PRESERVE AND PROTECT EXISTING STORM AND SEWER LINE.

SITE DEMOLITION GENERAL NOTES

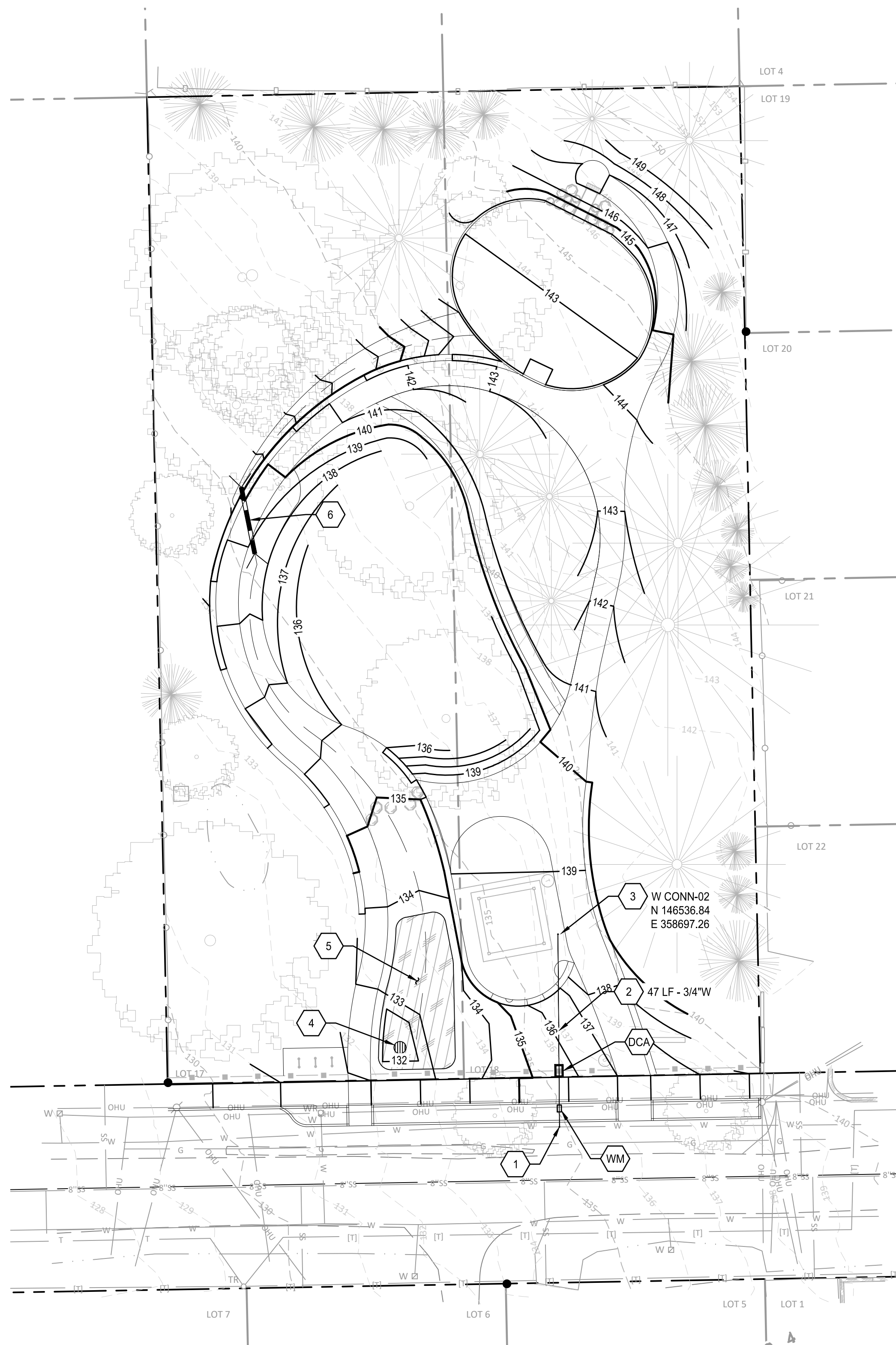
1. ITEMS ENCOUNTERED ON SITE (INCLUDING BELOW GRADE) WITHIN THE LIMITS OF WORK OR OTHERWISE FORTHCOMING WORK AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
2. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO COMPLETING BEGINNING ANY DEMOLITION WORK TO VERIFY WORK LIMITS AND IDENTIFY VEGETATION TO REMAIN.
3. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS IS APPROXIMATE AND MAY VARY IN THE FIELD. ADDITIONAL UTILITIES MAY EXIST ON SITE THAT ARE NOT SHOWN ON THE DRAWINGS. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.
4. SEE SPECIFICATIONS FOR GENERAL DEMOLITION, SALVAGE, CLEARING AND GRUBBING REQUIREMENTS.
5. ALL TREES EXCEPT THOSE SPECIFICALLY DESIGNATED ON THIS DRAWING TO BE REMOVED SHALL BE PROTECTED IN-PLACE. ADD TREE PROTECTION FENCING PRIOR TO DEMOLITION.
6. EROSION CONTROL FENCING SHALL BE INSTALLED BY CONTRACTOR PRIOR TO SITE DEMOLITION AND MUST REMAIN IN PLACE DURING ALL CONSTRUCTION PHASES.
7. SEE NOTES BELOW FOR HANDLING AND REUSE OF SALVAGED MATERIAL.
8. SEE GRADING PLAN AND DETAILS FOR REQUIRED EXCAVATION DEPTHS FOR SIDEWALKS, PAVEMENTS, PLAYGROUNDS AND LANDSCAPE AREAS.
9. ELEMENTS ON THE DRAWINGS SHOWN TO BE REMOVED SHALL BE REMOVED TO THE FULL DEPTHS OF THEIR CONSTRUCTION.
10. WORK AREAS INDICATED BY THE LIMIT OF WORK LINE SHALL BE COMPLETELY ENCLOSED WITH ABOVE GROUND SUPPORTED TEMPORARY CHAIN LINK FENCING A MINIMUM OF 6 FEET IN HEIGHT.
11. ALL SALVAGED ITEMS SHALL BE REUSED OR RETURNED TO THE OWNER'S REPRESENTATIVE AS INDICATED ON THE DRAWINGS.
12. DISPOSE ALL REMOVED MATERIALS OFF SITE IN AN APPROVED MANNER.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE CONSTRUCTION SITE, CONSTRUCTION EQUIPMENT, AND TO KEEP THE PUBLIC FROM HARM DUE TO CONSTRUCTION ACTIVITIES AND WORK IN PROGRESS.

DEMOLITION LEGEND

SYMBOL	ITEM
	LIMIT OF WORK
	PAVING, GRAVEL, OR PAVER TO BE REMOVED
	CLEAR AND GRUB
	CHAIN LINK TO BE REMOVED
	TREE TO BE REMOVED

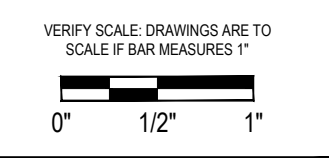


G:\PROJECTS\210234_1_MILWAUKEE_PARKS_CE_DESIGN_DEVELOPMENT_SERVICES\02_PRODUCTION\01_CAD\02_BALFOUR_PARK\01_PLOT_SHEETS\210234_1_BALF_DEMO.DWG



SHEET NOTES

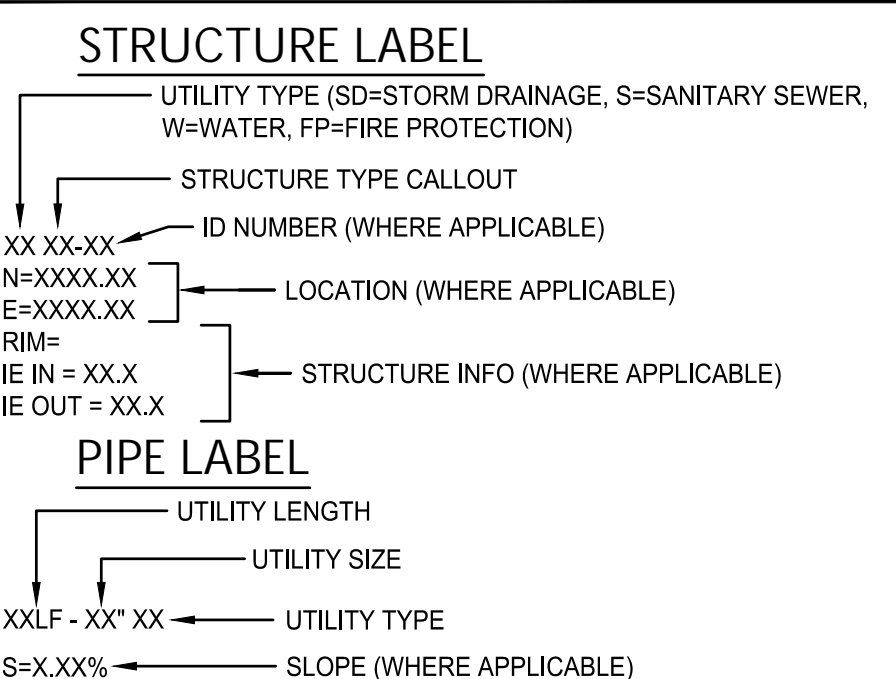
1. PIPE BEDDING AND BACKFILL FOR ALL UTILITIES PER CITY OF MILWAUKIE STANDARD DETAIL 510/C28.00.
2. STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE.
3. INSTALL THRUST BLOCK ON WATER LINES PER DETAIL 1/C28.00.



UTILITY KEY NOTES

NOTE	DESCRIPTION	DETAIL REF.
1	INSTALL NEW WATER SERVICE CONNECTION TO CITY MAIN.	401/C28.00
2	INSTALL NEW 3/4" WATER LINE	
3	CONNECT TO WATER FOUNTAIN FEATURE, SEE LANDSCAPING PLANS FOR DETAILS.	
4	INSTALL OVERFLOW INLET.	
5	STORMWATER PLANTER	
6	INSTALL 10" CULVERT	
WM	INSTALL WATER METER.	401/C28.00
DCA	INSTALL DOUBLE CHECK BACKFLOW ASSEMBLY.	2/C28.00
!!	UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.	3/C28.00

UTILITY LABEL LEGEND



STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
CO	CLEANOUT TO GRADE	
DCA	DOUBLE CHECK BACKFLOW ASSEMBLY	2/C28.00
OF	OUTFALL	
OV	OVERFLOW INLET	
WM	WATER METER	401/C28.00

Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7555

Submittal: Design Development
Sheet Title - Balfour Park:
UTILITY PLAN

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Date: 03/21/2023

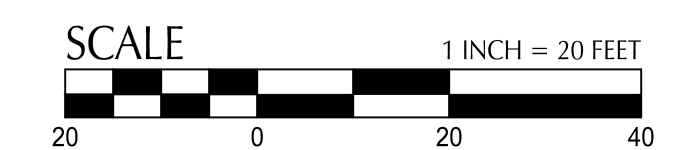
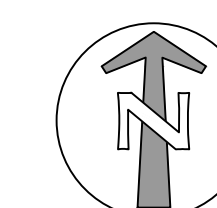
Revisions:

Drawn By: CK/RC

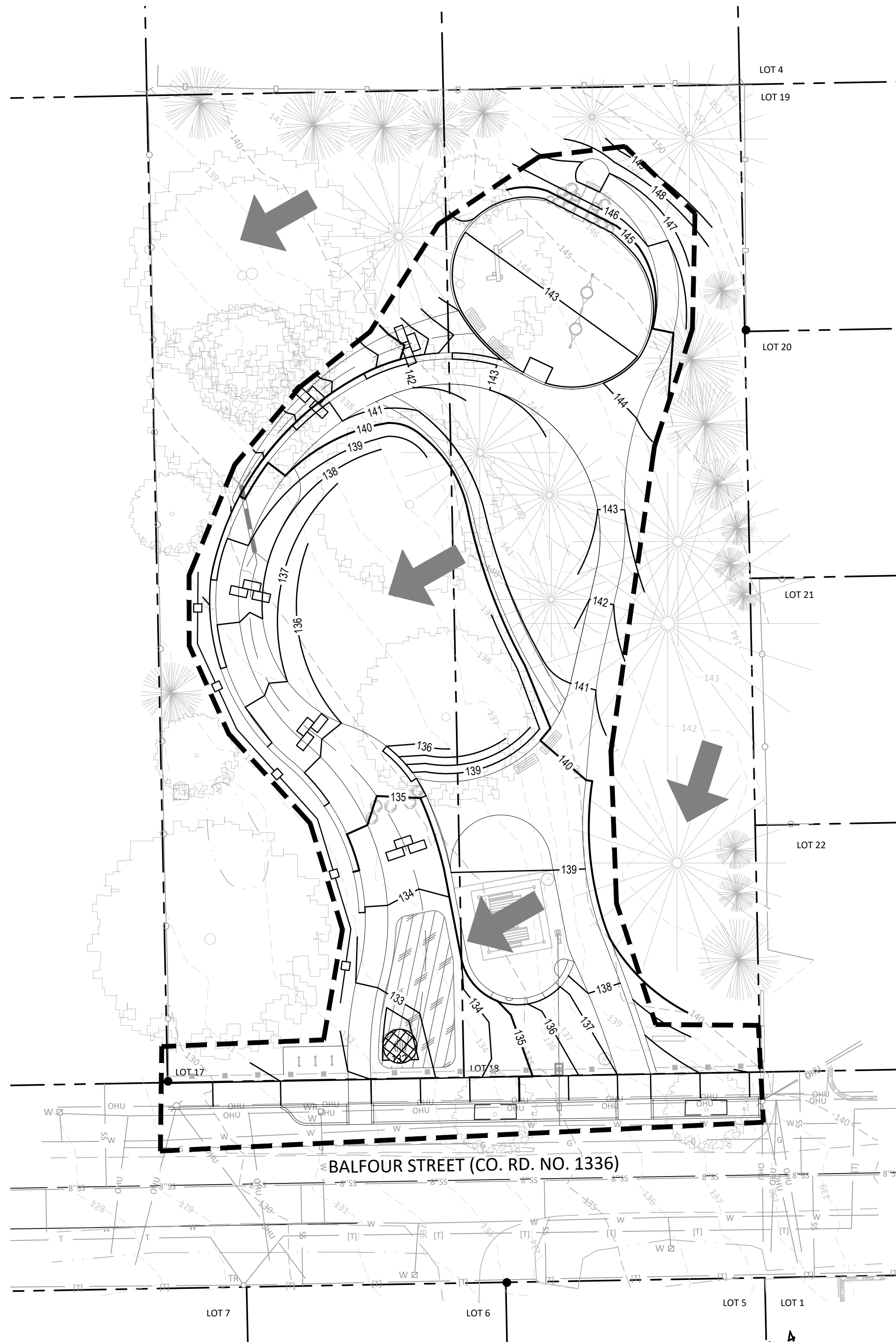
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Job No. 210234.1

Approved: CV

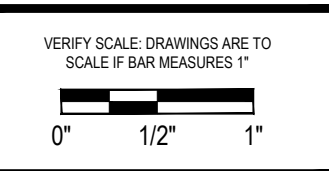


C13.00
Sheet No. 20 of 52



EROSION PREVENTION AND SEDIMENT CONTROL (ECS) NOTES:

- ALL EROSION PREVENTION MEASURES SHALL BE IN PLACE, FUNCTIONAL, AND APPROVED IN ACCORDANCE WITH THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. ALL SOIL DISTURBING AND CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH MMC CHAPTER 16.28 EROSION CONTROL AND ANY APPLICABLE LOCAL, STATE OR FEDERAL REQUIREMENTS.
- ALTERNATIVE SEDIMENT CONTROLS MUST PROVIDE A DISCHARGE THAT IS CLEAN AND FREE OF SEDIMENT, SURFACTANTS, AND OTHER POLLUTANTS PRIOR TO ENTERING THE STORM SYSTEM. APPROVAL OF ALTERNATIVE SEDIMENT CONTROLS BY THE CITY OF MILWAUKIE WASTEWATER DIVISION MANAGER IS REQUIRED PRIOR TO INSTALLATION.
- WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES SHALL BE DEVELOPED, MAINTAINED, AND IMPLEMENTED ON THE CONSTRUCTION SITE.
- DUMPING OR DISPOSAL OF SPOIL MATERIALS INTO ANY STREAM CORRIDOR, WETLANDS, SURFACE WATERS OR ON ANY PUBLIC OR PRIVATE PROPERTY NOT SPECIFIED FOR SAID PURPOSE IS PROHIBITED.
- SEDIMENT AND POLLUTANTS SHALL NOT BE WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES. DRY SWEEPING SHALL BE IMPLEMENTED TO CLEAN UP CONSTRUCTION AREAS TO PREVENT RELEASE OF SEDIMENTS INTO THE STORM SYSTEM.
- DISPOSAL OF SEDIMENT LADEN WATER INTO THE WASTEWATER SYSTEM IS PROHIBITED, UNLESS PRIOR WRITTEN APPROVAL IS RECEIVED FROM THE CITY OF MILWAUKIE WASTEWATER DIVISION MANAGER. SEDIMENT LADEN WATER SHALL BE PUMPED THROUGH AN APPROVED SEDIMENT CONTROL BMP PRIOR TO DISPOSAL INTO THE WASTEWATER SYSTEM.
- SAWCUTTING SLURRY AND DEBRIS SHALL BE VACUUMED AND REMOVED FROM ALL IMPERVIOUS SURFACES. VACUUMED SAWCUTTING SLURRY SHALL BE PROPERLY DISPOSED OF AND NOT DISCHARGED INTO THE STORM SYSTEM.
- WATER TIGHT TRUCKS SHALL BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE.
- TEMPORARY STABILIZATION AND COVERING OF SOIL STOCKPILES SHALL OCCUR AT THE END OF EACH WORK DAY.
- ALL TOXIC OR HAZARDOUS MATERIALS SHALL BE PROPERLY STORED, APPLIED, AND DISPOSED.
- AN AREA SHALL BE DESIGNATED FOR WASHING OUT CONCRETE TRUCKS SUCH THAT RUNOFF FROM WASHING ACTIVITIES ARE CONTAINED AND DO NOT LEAVE THE SITE OR ENTER THE STORM SYSTEM.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE WASHED TO THE STREET OR STORM SYSTEM. SWEEPINGS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN THE TRASH.
- PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUNOFF INTO THE STORM SYSTEM IS PROHIBITED.
- TRACKING OF DIRT AND DEBRIS ONTO IMPERVIOUS SURFACES, SUCH AS STREETS AND PARKING LOTS, IS PROHIBITED. IMPERVIOUS SURFACES SHALL BE KEPT FREE OF DIRT AND DEBRIS AT ALL TIMES IF IT CAN BE SPREAD BY TRAFFIC OR CAN ENTER THE STORM SYSTEM.
- GRAVEL OR DIRT CURB RAMPS ARE PROHIBITED. ONLY WOOD STEP STYLE CURB RAMPS ARE ALLOWED.
- UPON COMPLETION OF SITE RESTORATION AND APPROVAL FROM THE CITY OF MILWAUKIE ENGINEERING DIRECTOR, ALL TEMPORARY EROSION CONTROL MEASURES MAY BE REMOVED.
- DRAINAGE FROM SPRINGS OR GROUNDWATER MUST BE ADDRESSED DURING CONSTRUCTION BY THE CONTRACTOR. DISCHARGE FROM GROUNDWATER ENCOUNTERED ON THE SITE MUST BE CLEAN OF SEDIMENT OR POLLUTANTS.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCH, OR OTHER APPROVED MEASURES.
- DATES OF IMPLEMENTATION OF WET WEATHER MEASURES ARE OCTOBER 1ST TO APRIL 30TH.
- MATERIALS SHALL NOT BE STOCKPILED ON PUBLIC STREETS OR IN THE RIGHT OF WAY FOR LONGER THAN IMMEDIATE USE.



Project:
Scott Park, Balfour Park,
& Bowman Brae Park
City of Milwaukee
10722 SE Main Street
Milwaukee, OR 97222
503-786-7555

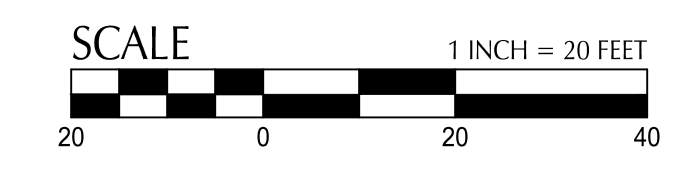
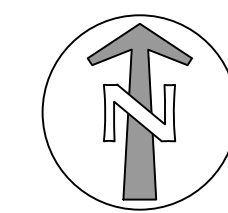
Submit: Design Development
Sheet Title - Balfour Park:
EROSION CONTROL PLAN

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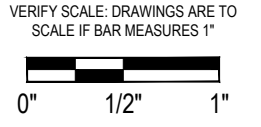
Date: 03/21/2023
Revisions:

Drawn By: CK/RC
Checked By: JZ
Job No. 210234.1
Approved: CV



SHEET LEGEND

	PROPERTY LINE		INLET PROTECTION		2
	EX. CONTOUR MINOR		SURFACE FLOW DIRECTION		2
	EX. CONTOUR MAJOR		TREE PROTECTION FENCE		524
	PROP. CONTOUR MINOR		TEMPORARY GRASS SEED MIX		SEE LANDSCAPE PLANS FOR MORE INFORMATION.
	PROP. CONTOUR MAJOR				
	EXTENT OF WORK				
	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).				1
	BIO BAGS				



VERIFY SCALE. DRAWINGS ARE TO
SCALE IF BAR MEASURES IT

SITE MATERIALS KEY NOTES

ITEM	DETAIL /SHEET(S)	SPEC SECTION
1.0 PAVEMENTS, CURBS, SURFACING		
1.1	PERMEABLE CONCRETE PAVING	1/L28.01
1.2	WOOD FIBER PLAY SURFACING	7/L28.01
1.3	CONCRETE CURB	8/L28.01
2.0 JOINTING, STRIPING		
2.1	DOWELED EXPANSION JOINT	2/L28.01
2.2	CONTRACTION JOINT	2/L28.01
2.3	DUMMY JOINT	2/L28.01
3.0 RAMPS		
3.1	PLAY AREA RAMP	
4.0 WALLS		
4.1	CONCRETE RETAINING WALL	9/L28.01
5.0 FENCES		
5.1	SPLIT RAIL FENCE	
6.0 SITE LIGHTING		
6.1	EXISTING LAMP	
6.2	PROPOSED LAMP	
7.0 MISCELLANEOUS SITE FEATURES		
7.1	PICNIC TABLE	3/L28.02
7.2	6' BENCH	1/L28.02
7.3	BICYCLE RACK	2/L28.02
7.4	BOULDER	
7.5	DRINKING FOUNTAIN	
7.6	PARK SIGN	
7.7	WATER PUMP FEATURE	

SITE MATERIALS GENERAL NOTES

- REFER TO SHEET L13.00 FOR SITE MATERIALS NOTES AND LEGEND.
- GENERAL MATERIALS NOTES APPLY TO ALL SITE MATERIALS DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE MATERIALS PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.

Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, OR 97222
503-786-7555

Submittal: Design Development
Sheet Title – Balfour Park :
Materials Notes

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC

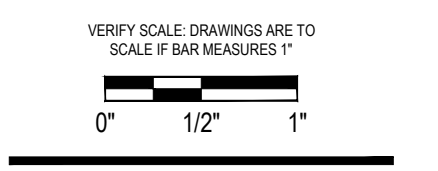
Checked By: BJ/GM

Job No. 210234.1

Approved: GW

L13.00

Sheet No. 22 of 52



Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

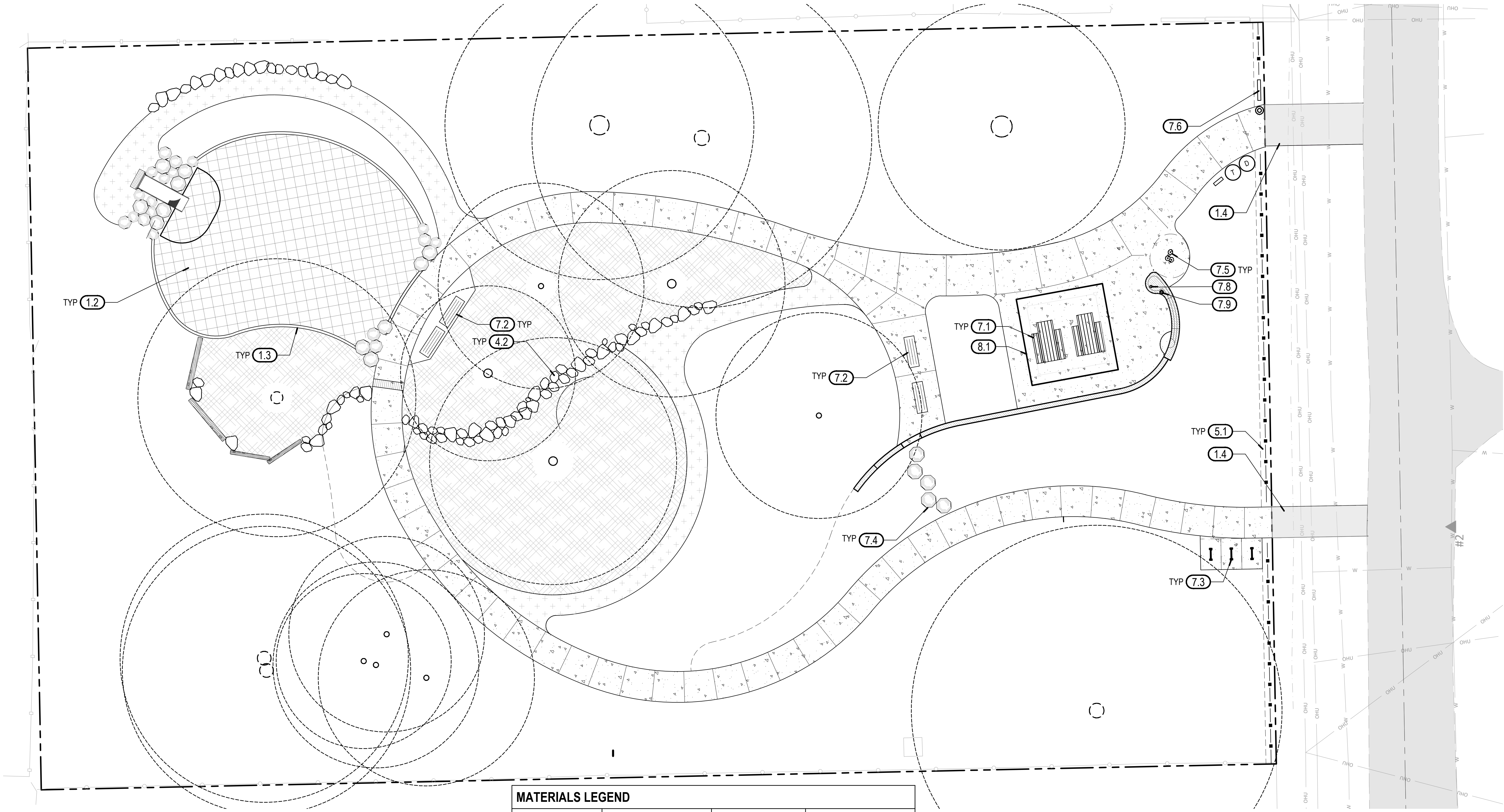
Submital: Design Development
Sheet Title – Balfour Park :
Materials Plan

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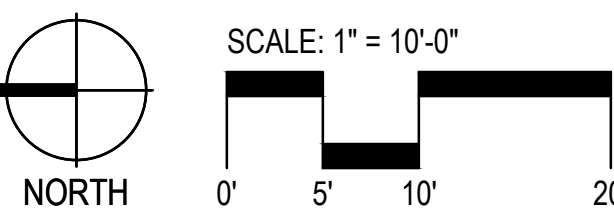
Date: 06/15/2023
 Revisions:

Drawn By: GM/YC
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 Job No. 210234.1
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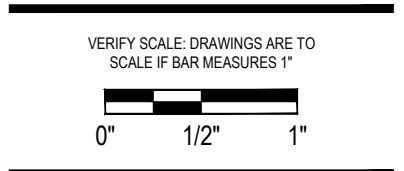
L13.01
 Sheet No. 23 of 52



MATERIALS LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	PERMEABLE CONCRETE PAVING		DOWELED EXPANSION JOINT
	COMPACTED GRAVEL PATH		CONTRACTION JOINT
	RUBBER TILE		DUMMY JOINT
	CONCRETE CURB OR WALL		WOOD BENCH
	BOLLARD & CABLE FENCE		BICYCLE RACK
	PICNIC TABLE		NATURE PLAY BOULDER
	ENGINEERED WOOD FIBER - 6" DEPTH		LOG EDGE



G:\PROJECTS\210234_1_MILWAUKEE_PARKS_CE_DESIGN_DEVELOPMENT_SERVICES\02_PRODUCTION\1_CAD\02_BALFOUR_PARK\01_PLOT_SHEETS\210234_1_BALF_MATL.DWG



Project:
**Scott Park, Balfour Park,
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 City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

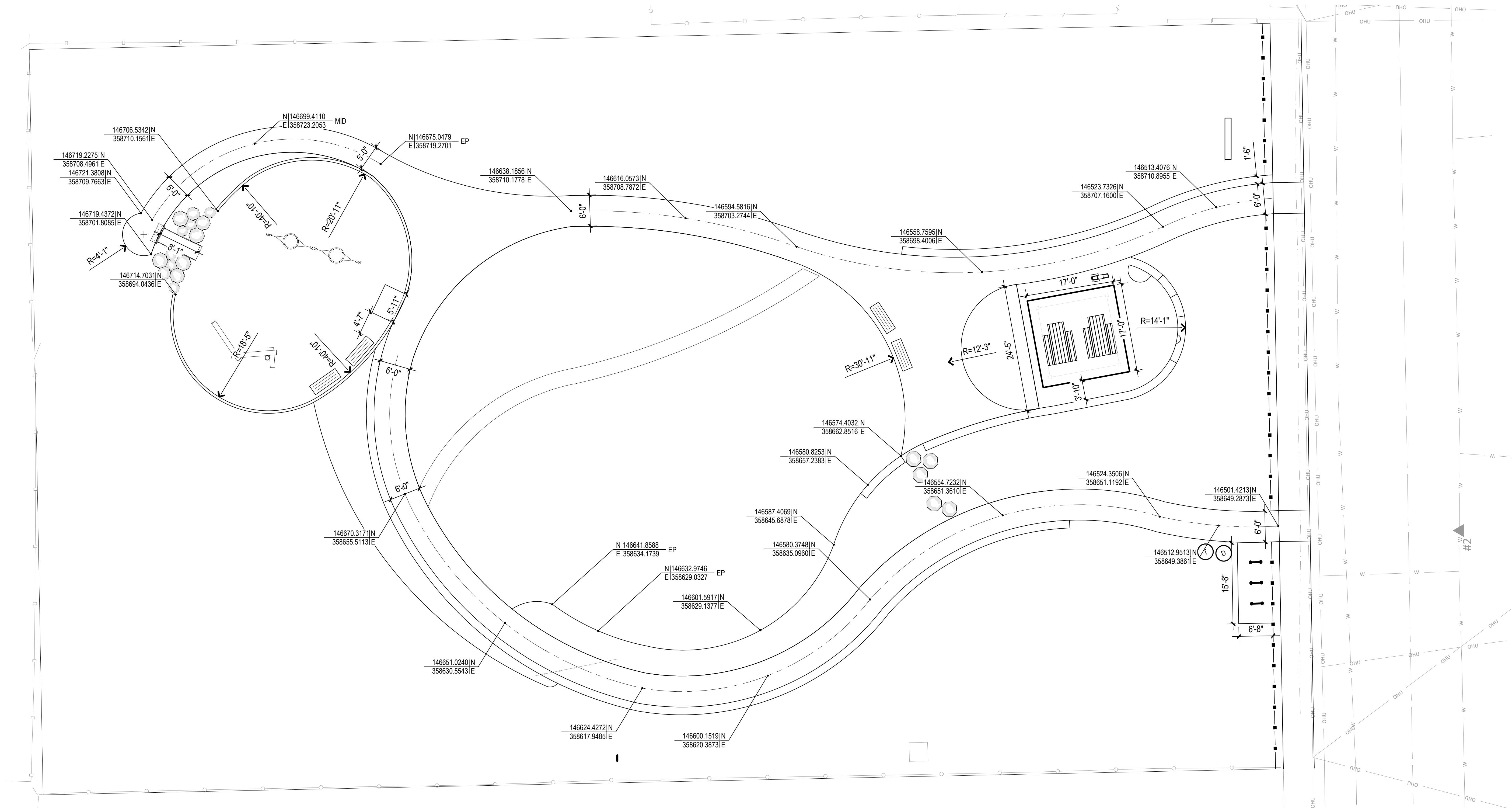
Submittal: Design Development
**Sheet Title – Balfour Park :
 Layout Plan**

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 Revisions:

Drawn By: GM/YC
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 Approved: GW

L14.01
 Sheet No. 24 of 52

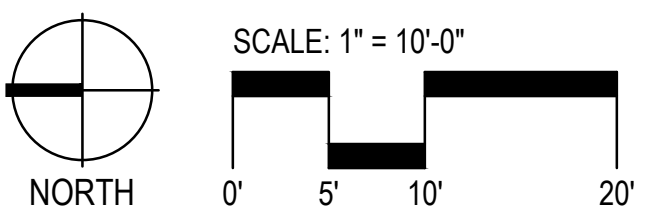


SITE LAYOUT GENERAL NOTES

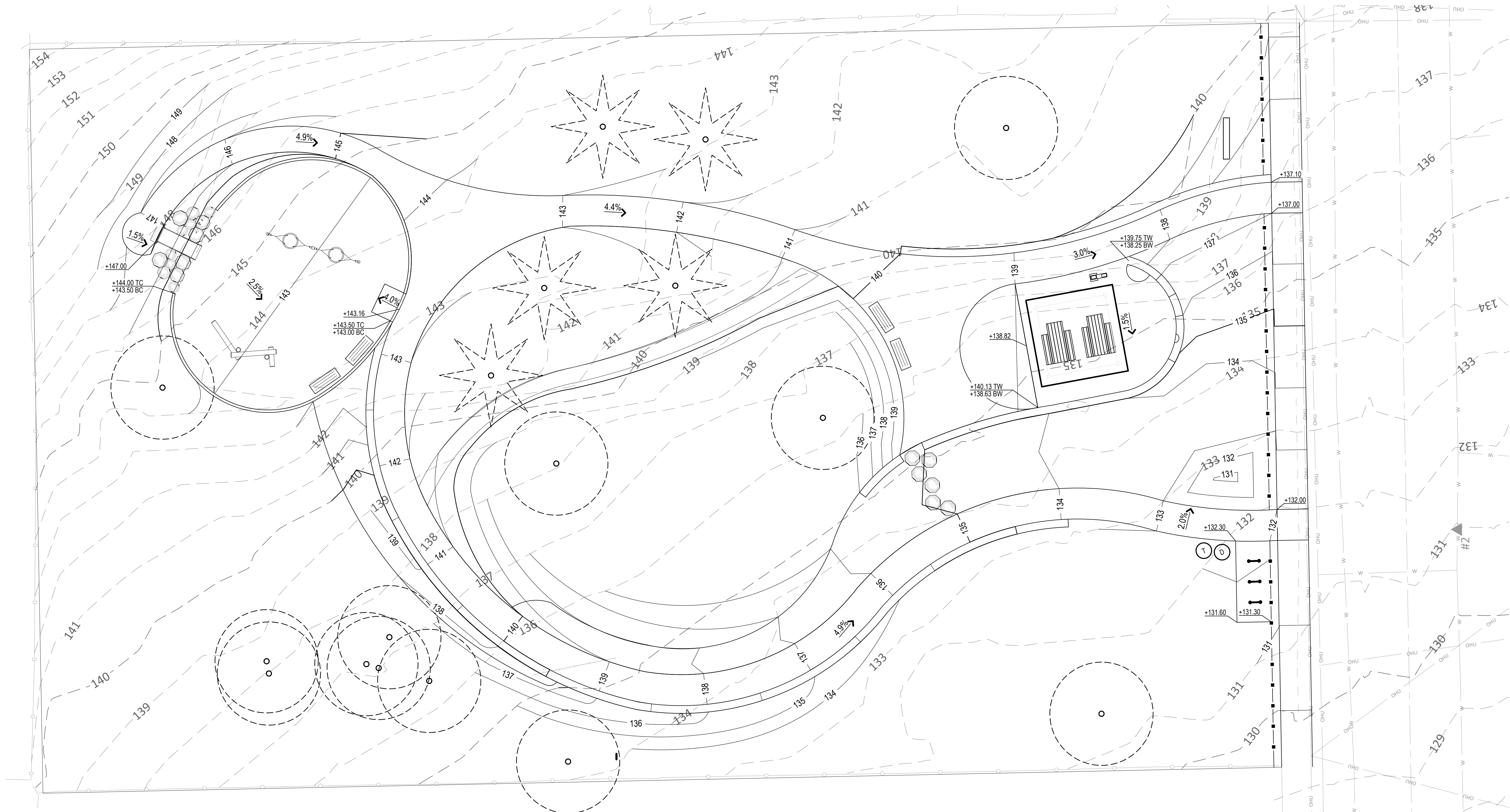
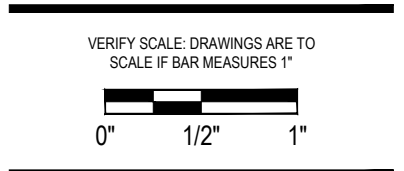
1. REFER TO SHEET L5.00 FOR SITE LAYOUT NOTES AND LEGEND.
2. GENERAL LAYOUT NOTES APPLY TO ALL SITE LAYOUT DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE LAYOUT PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.
3. VERIFY ALL DIMENSIONS AND PROJECT LAYOUT PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF MATERIALS. IF LAYOUT CONFLICTS ARISE, CONTACT THE OWNER'S REPRESENTATIVE.
4. DIMENSIONS ARE TO FACE OF BUILDING, PAVING, WALLS, AND CURBS, ETC. UNLESS INDICATED OTHERWISE.
5. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE OF PLANS
6. DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF LAYOUT CONFLICTS ARISE IN FIELD, CONTACT OWNER'S REPRESENTATIVE FOR RESOLUTION.
7. ALL CURVED WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED.
8. CONTRACTOR SHALL STAKE PATHS AND PAVING AREAS. FINAL LAYOUT WILL BE APPROVED BY OWNER'S REPRESENTATIVE.
9. OWNER'S REPRESENTATIVE TO APPROVE FORMWORK FOR PATHS PRIOR TO CONTRACTOR PLACING CONCRETE.

LAYOUT LEGEND

SYMBOL	ITEM
	CENTERLINE
	LINEAR DIMENSION
	RADIAL DIMENSION
	NORTHING AND EASTING COORDINATES

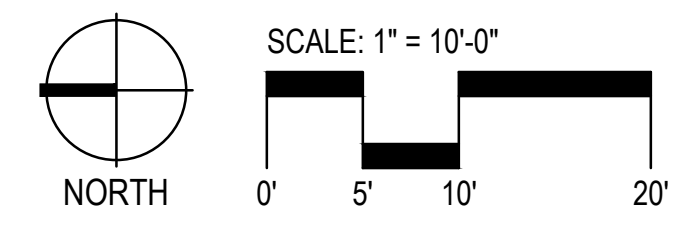


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- # GRADING REFERENCE NOTES**
- ALL CONCRETE PATHS SHALL NOT EXCEED 5% RUNNING SLOPE AND MUST MAINTAIN 1%-2% CROSS SLOPE.
 - ALL GRAVEL AREAS AND TRAILS SHALL NOT EXCEED 5% RUNNING SLOPE AND MUST MAINTAIN 2% CROSS SLOPE.

- GRADING GENERAL NOTES**
- GENERAL GRADING NOTES APPLY TO ALL SITE GRADING DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE GRADING PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.



GRADING LEGEND	
SYMBOL	ITEM
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR

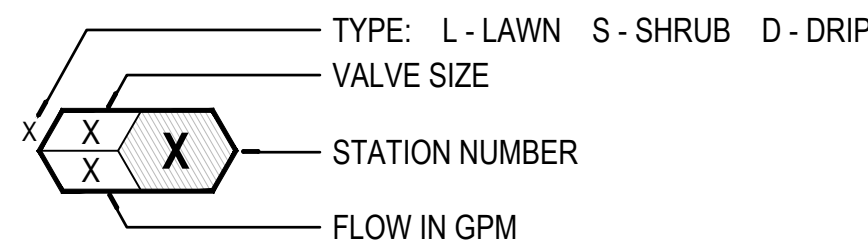
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IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY	PRECIP	PSI	GPM
	LAWN ROTATOR	3,691 S.F.	0.45 in/h	40	17
	SHRUB ROTATOR	4,492 S.F.	0.45 in/h	40	21

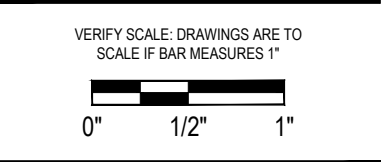
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD PEB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.
	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.
	POINT OF CONNECTION 2"
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40

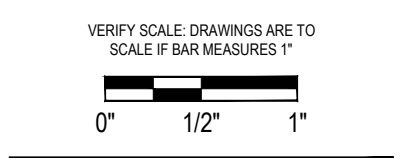
CONTROL VALVE TARGET



IRRIGATION GENERAL NOTES

- REFER TO SHEETS L16.01 FOR IRRIGATION PLANS AND SHEET L17.01 FOR PLANTING PLAN.
- REFER TO SHEETS L29.01, L29.02, L29.03 FOR IRRIGATION DETAILS.
- GENERAL IRRIGATION NOTES APPLY TO ALL IRRIGATION DRAWINGS. NUMBERS IN HEXAGONS () REFER TO IRRIGATION PLAN KEY NOTES AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO CONSTRUCTION AND VERIFY THE EXTENT OF THE WORK REQUIRED. COMMENCEMENT OF CONSTRUCTION BY THE CONTRACTOR DESIGNATES ACCEPTANCE OF THE SITE CONDITIONS APPARENT AT OUTSET. THE CONTRACTOR SHALL OBTAIN APPROVAL TO ACCESS EXISTING SYSTEM COMPONENTS FOR INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY, LOCATE AND PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATION OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OF WORK DEFINED ON THE DRAWINGS AND ANY EXISTING ON-SITE VEGETATION, STRUCTURES, UTILITIES, ETC. ALL DAMAGE AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT THE EXISTING SYSTEM AND MAINTAIN ITS PERFORMANCE AT ALL TIMES DURING THE WORK OF THIS SECTION UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CAP ALL LINES THAT ARE CUT BY NEW CONSTRUCTION AND/OR RE-ROUTE TO MAINTAIN SYSTEM PERFORMANCE. UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL RETURN TO THE OWNER ALL SALVAGED HEADS, ELECTRICAL COMPONENTS AND VALVE BOXES NOT USED IN THIS CONSTRUCTION.
- WHEN NECESSARY DURING CONSTRUCTION THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR IRRIGATION SHUTOFF THROUGH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE COMPLETE TEMPORARY IRRIGATION TO ALL LANDSCAPE AREAS AFFECTED BY THE SHUT-OFF, DURING NORMAL WATERING SEASONS.
- THE CONTRACTOR SHALL MAINTAIN, REPAIR OR REPLACE CONTROLLER WIRING AFFECTED BY CONSTRUCTION AND INTEGRATE NEW SYSTEM REQUIREMENTS INTO THE EXISTING CONTROLLER. VERIFY WHETHER OR NOT THE EXISTING CONTROLLER WILL ACCOMMODATE THE ADDITION OF NEW IRRIGATION ZONES OR ANY OTHER NEW WATERING REQUIREMENTS.
- SYSTEM OPERATION AND DESIGN IS BASED ON XX POUNDS OF PRESSURE AND XX GALLONS PER MINUTE AT THE SHUTOFF VALVE. THE CONTRACTOR SHALL VERIFY THE DESIGN PRESSURE AND VOLUME BEFORE INSTALLATION AND NOTIFY OWNER IF THERE IS A DISCREPANCY.
- CONTRACTOR SHALL REFERENCE PLANTING PLAN(S) PRIOR TO INSTALLATION OF VALVES. LOCATE VALVES IN PLANTING BEDS WHEREVER POSSIBLE. ADJUST VALVE LOCATIONS TO ELIMINATE CONFLICT WITH PROPOSED PLANTINGS AND PLANTING PATTERNS.
- VALVE LOCATIONS AND MAINLINE TRENCHES SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF NEW IRRIGATION SYSTEM. PLACE ALL VALVES IN VALVE BOXES IN A MANNER THAT FACILITATES ACCESS FOR MAINTENANCE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY.
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND LAYOUT OF ALL NEW PLANTING AND LAWN AREAS ON SITE BEFORE STARTING WORK AND IMMEDIATELY NOTIFY OWNER OF ANY DEVIATIONS FROM PLAN.
- NEW TREE LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF NEW IRRIGATION SYSTEM.
- THE CONTRACTOR SHALL INSTALL QUICK COUPLING VALVES A MINIMUM OF 200' ALONG MAINLINE AND AS SHOWN ON PLANS AND DETAILS.
- MAIN AND LATERAL LINES MAY BE SHOWN DIAGRAMMATICALLY FOR CLARITY. MAIN AND LATERAL LINES SHOWN IN PAVED AREAS SHALL BE PLACED IN ADJACENT PLANTING BEDS UNLESS SPECIFICALLY SHOWN AS PASSING UNDER PAVING IN SLEEVE (SEE LEGEND FOR SLEEVE SYMBOL). THE CONTRACTOR SHALL OBTAIN THE OWNER'S REPRESENTATIVE APPROVAL BEFORE MAKING CHANGES IN ROUTING OF PIPE OR LOCATION OF VALVES.
- INSTALL AND ADJUST ALL COMPONENTS OF IRRIGATION SYSTEM TO PROVIDE UNIFORM COVERAGE AND MINIMIZE OVER SPRAY ONTO WALLS AND PAVING. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE OPERATIONAL / WORKING IRRIGATION SYSTEM.
- INSTALL TRACING WIRE OVER ALL PIPE. ROUTE FROM POINT OF CONNECTION TO ENDS OF PIPE.
- INSTALL PE-89 COMMUNICATION WIRE IN SEPARATE TRENCH FROM ELECTRICAL WIRING TRENCHING.
- ALL SURGE PROTECTION AND WIRE SPLICES SHALL BE CONTAINED WITHIN A VALVE BOX.
- CONSULT PROJECT ARBORIST PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES NEAR EXISTING TREES OR WITHIN THE SPECIFIED TREE CRITICAL ROOT ZONE.
- THE SCALE OF THE IRRIGATION DRAWINGS ARE HALF THE SCALE INDICATED ON THE PLANS WHEN THE DRAWINGS ARE SIZE 11"X17".





Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
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Sheet Title – Balfour Park :
Irrigation Plan

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Date: 04/11/2023

Revisions:

Drawn By: MM

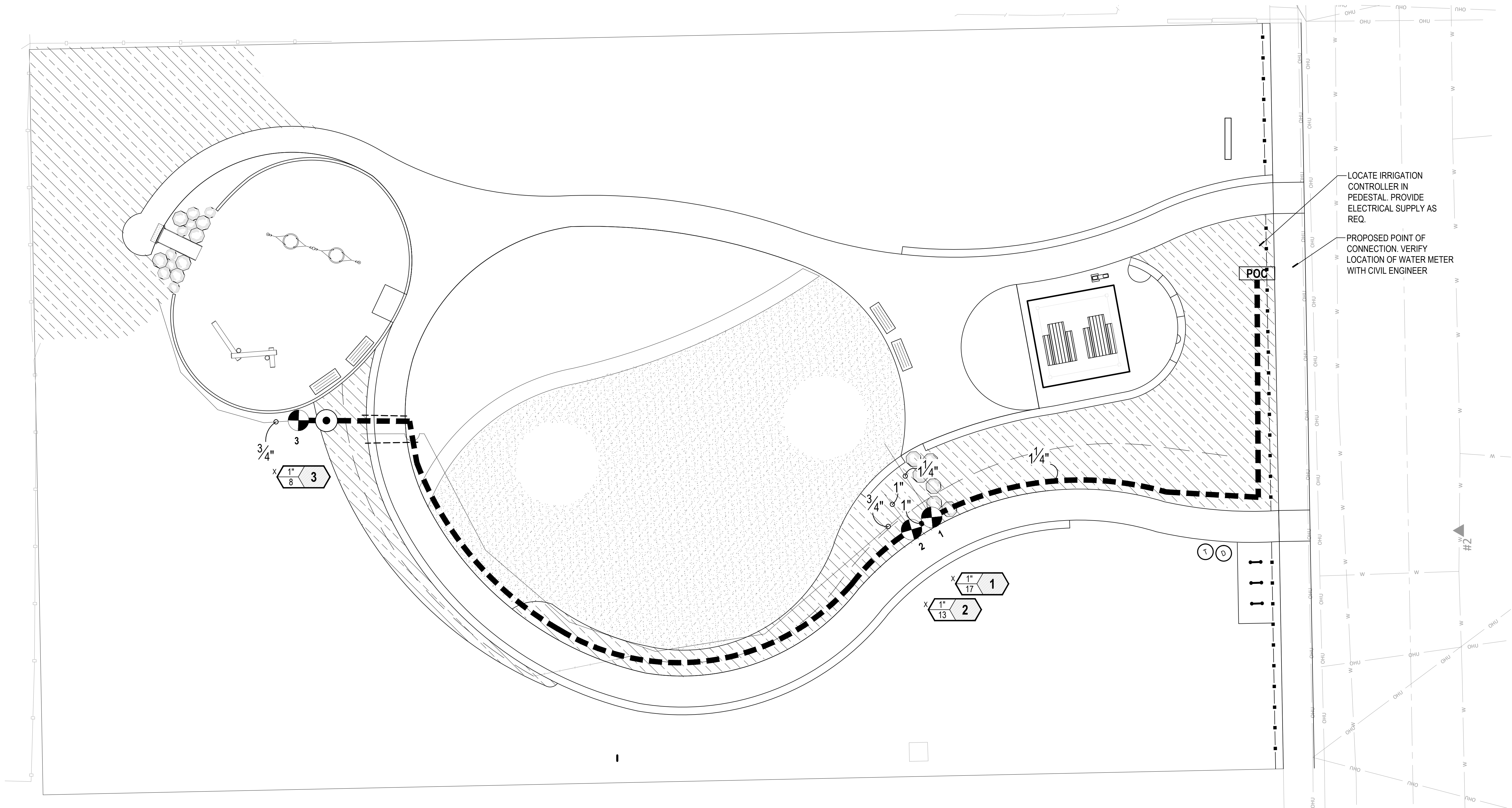
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Job No. 210234.1

Approved: GW

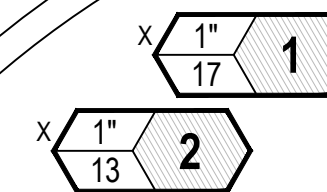
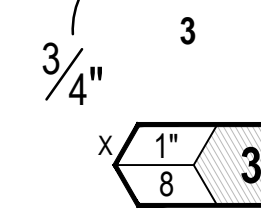
L16.01

Sheet No. 27 of 52



LOCATE IRRIGATION CONTROLLER IN PEDESTAL. PROVIDE ELECTRICAL SUPPLY AS REQ.

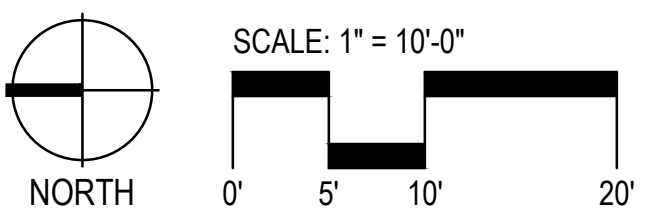
PROPOSED POINT OF CONNECTION. VERIFY LOCATION OF WATER METER WITH CIVIL ENGINEER



1

2

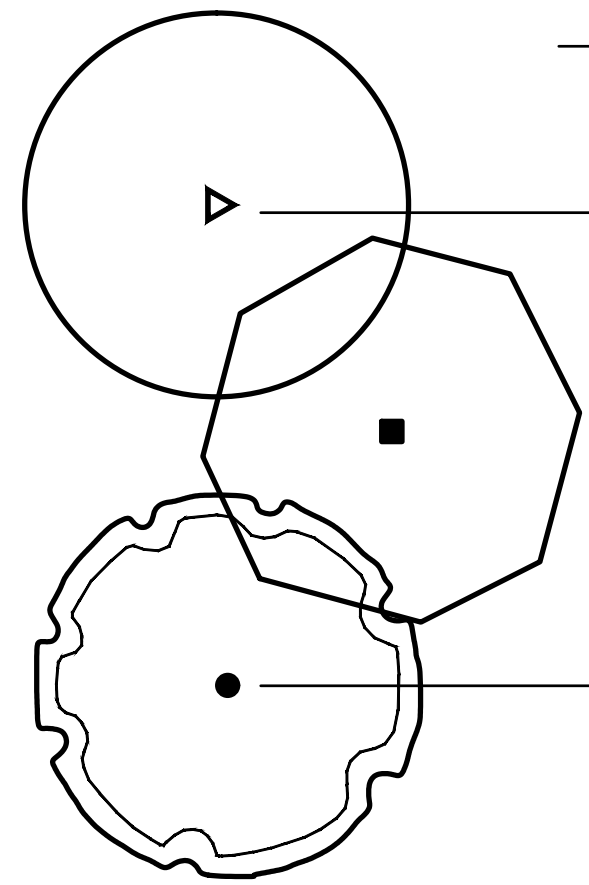
3



SCALE: 1" = 10'-0"

G:\PROJECTS\210234_1_MILWAUKIE PARKS_CE_DESIGN_DEVELOPMENT_SERVICES\210234_1_PLOT_SHEETS\210234_1_BALF_IRRG.DWG

PLANT SCHEDULE



TREES

BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
PSEUDOTSUGA MENZIESII	DOUGLAS-FIR	4' HT, B&B	AS SHOWN	1
ACER MACROPHYLLUM	BIGLEAF MAPLE	2.0" CAL., B&B	AS SHOWN	1
PICEA PUNGENS	BLUE SPRUCE	2.0" CAL., B&B	AS SHOWN	2

SHRUBS / GROUNDCOVERS



BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
TURF SEED MIX:				
LOLIUM PERENNE	PERENNIAL RYEGRASS			
FESTUCA ARUNDINACEA	FINE FESCUE			
POA PRATENSIS	KENTUCKY BLUEGRASS			

SEE MANUFACTURER SPECS FOR APPLICATION RATE



BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
WOODLAND MIX:				
ARTEMISIA FRIGIDA	FRINGED SAGEBRUSH	PLUG-1" DIA., 6" HT.	18" O.C.	20%
ARTEMISIA CANA	SILVER SAGEBRUSH	PLUG-1" DIA., 6" HT.	18" O.C.	20%
ERIGERON PULCHELLUS	ROBIN'S PLANTAIN	PLUG-1" DIA., 6" HT.	24" O.C.	30%
GEUM TRIFLORUM	PRAIRIE SMOKE	PLUG-1" DIA., 6" HT.	12" O.C.	30%

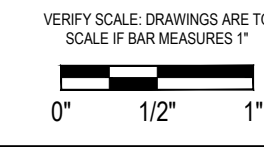


BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
BIOSWALE MIX:				
LUZULA SYLVATICA	GREATER WOOD RUSH	PLUG-1" DIA., 6" HT.	24" O.C.	20%
LIRIOPE MUSCARI	SILVERY SUNPROOF	PLUG-1" DIA., 6" HT.	12" O.C.	20%
'SILVERY SUNPROOF'	LILYTURF			
CAREX CARYOPHYLLEA	THE BEATLES	PLUG-1" DIA., 6" HT.	12" O.C.	15%
'THE BEATLES'	VERNAL SEDGE			
DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	PLUG-1" DIA., 6" HT.	24" O.C.	15%
MIMULUS GUTTATUS	SEEP-SPRING	PLUG-1" DIA., 6" HT.	12" O.C.	30%
	MONKEY FLOWER			

PLANT SAME SPECIES IN GROUPS OF 3, 5, OR 7

PLANTING REFERENCE NOTES

- EXISTING PLANTING AREA TO REMAIN, PRESERVE AND PROTECT.
- SEED ALL DISTURBED AREAS.



PLANTING GENERAL NOTES

- PROVIDE PLANTING SOIL AND BARK MULCH TO THE COMPOSITION AND DEPTHS IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- INSTALL PLANTS IN ACCORDANCE WITH THE DRAWINGS AND THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- PLANT QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. ALL COUNTS MUST BE VERIFIED PRIOR TO INSTALLATION. IN THE CASE OF A DISCREPANCY BETWEEN THE LEGEND AND THE PLAN, PLANTS INDICATED ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN THE LEGEND.
- UTILITY LOCATIONS SHOWN ON PLANS MAY DIFFER FROM FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE INSTALLATION. CONFLICTS BETWEEN ANY EXISTING AND PROPOSED UTILITIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- PLANTS INDICATED TO BE INSTALLED IN STORMWATER FACILITIES DESIGNED TO BE FREQUENTLY INUNDATED (TO WATER DEPTHS ABOVE THE SMALLEST INSTALLED PLANT HEIGHT) SHALL BE ENTIRELY DEWATERED PRIOR TO PLANT INSTALLATION. PLANTS INSTALLED IN STORMWATER FACILITIES WITH ANTICIPATED HIGH WATER LEVELS MAY BE INSTALLED OUTSIDE THE SPECIFIED PLANT INSTALLATION WINDOW IF ADDITIONAL SUPPLEMENTAL IRRIGATION IS PROVIDED.

Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukee
 10722 SE Main Street
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Submittal: Design Development
 Sheet Title - Balfour Park :
 Plant Schedule
 and Notes

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Date: 04/11/2023

Revisions:

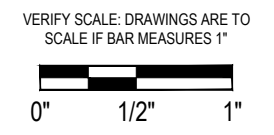
Drawn By: GM/YC

Checked By: BJ/GM

Job No. 210234.1

Approved: GW

L17.00
 Sheet No. 28 of 52



VERIFY SCALE DRAWINGS ARE TO SCALE IF BAR MEASURES 1"

Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7555

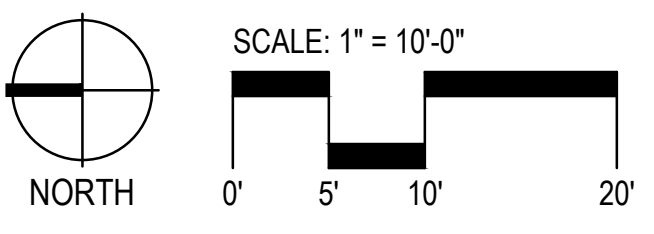
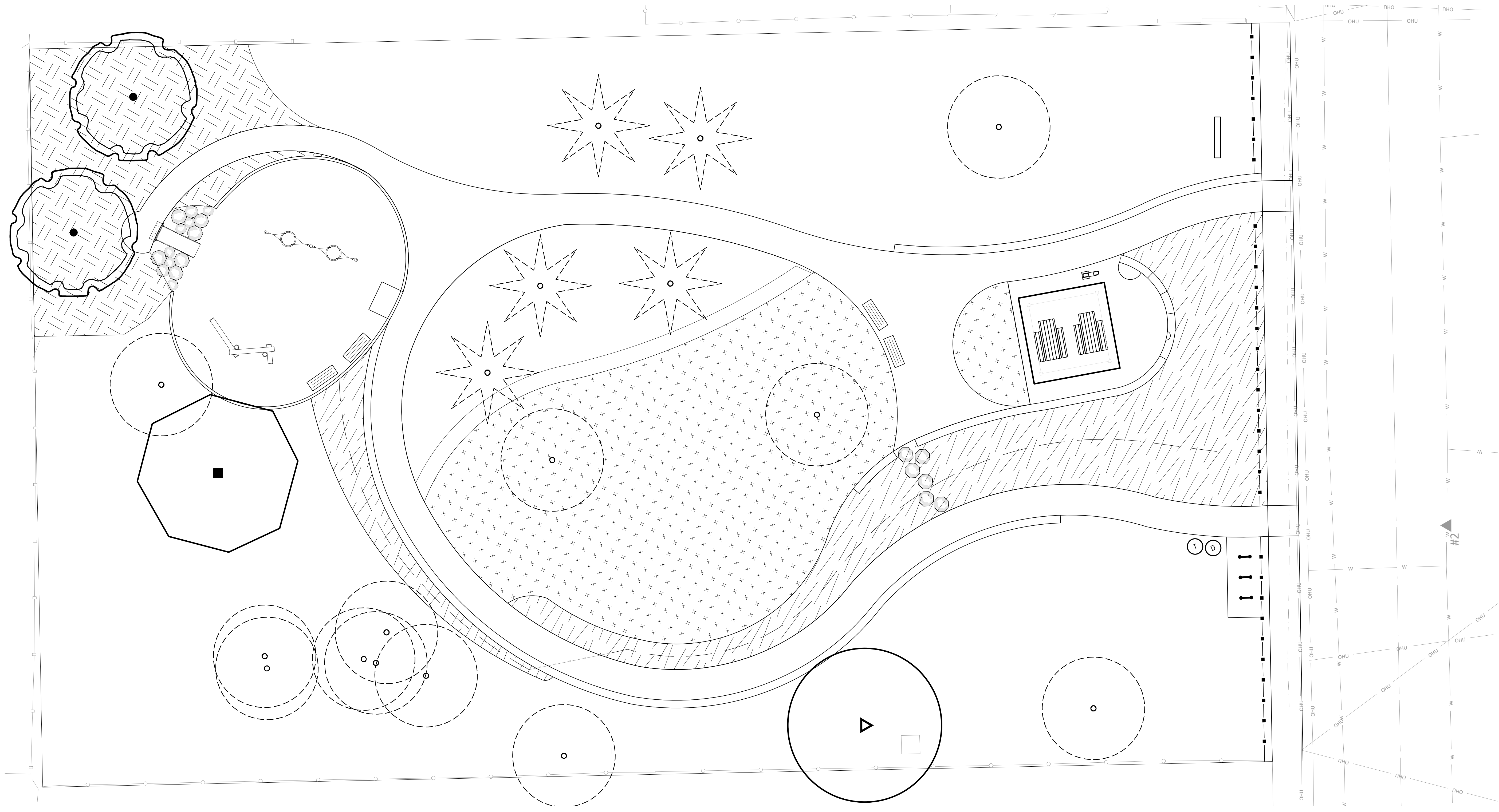
Submital: Design Development
Sheet Title – Balfour Park :
Planting Plan

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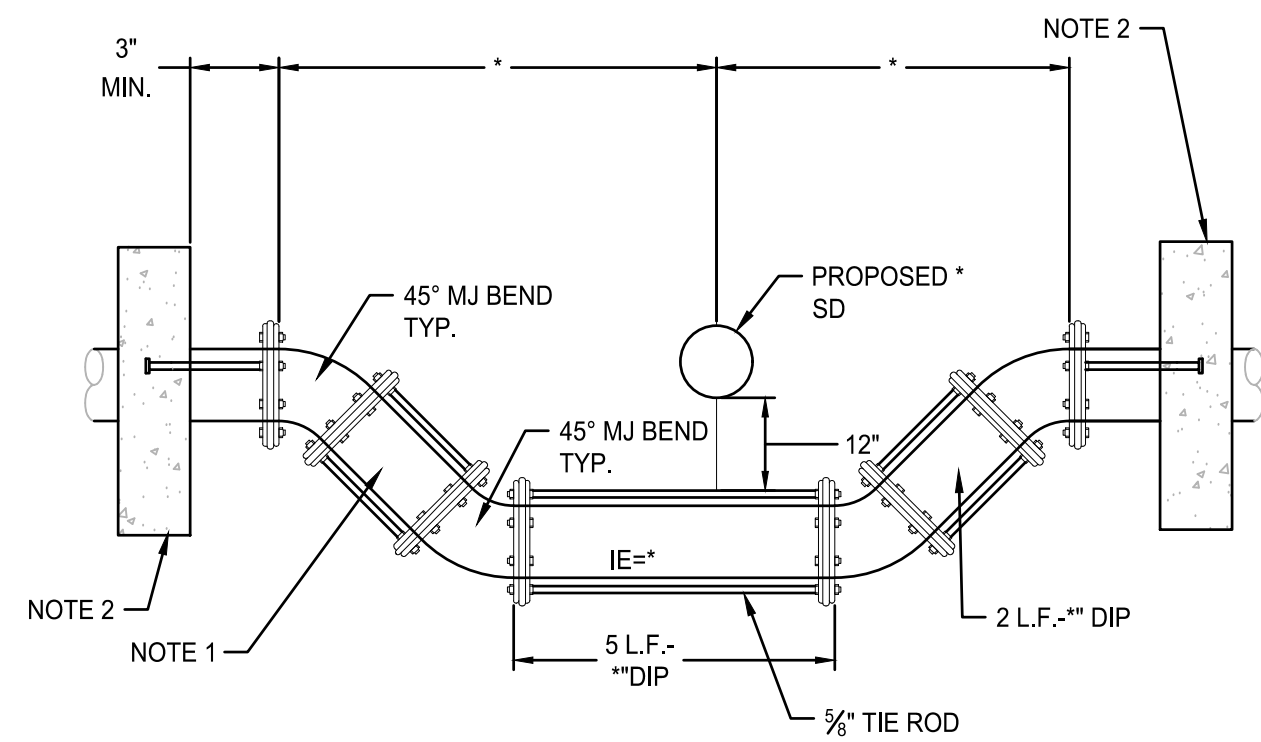
Date: 04/11/2023
Revisions:

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Checked By: BJ/GM
Job No. 210234.1
Approved: GW

L17.01
Sheet No. 29 of 52



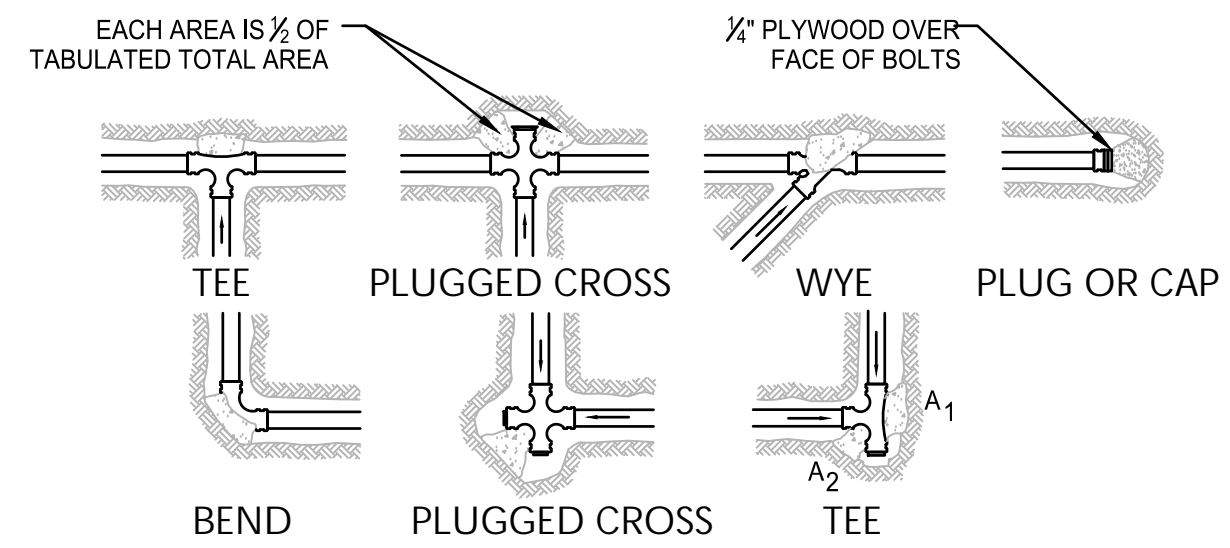
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- NOTES:
- DIP MJ SPOOL, * L.F.-* DIP CONTRACTOR TO VERIFY LENGTH OF * DIP NECESSARY TO MEET WATERLINE CLEARANCE TYP.
 - CONC. ANCHOR BLOCK W/ TIE BOLTS, DUCT LUGS OR STEEL PLATE AS APPROVED

3 TYPICAL WATERLINE UTILITY CROSSING

SCALE: NTS



- CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
- KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
- THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENCIRCLED ON THE PLAN; e.g. 15 INDICATES 15 SQUARE FEET BEARING AREA REQUIRED.
- IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW, ADJUST IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS (ES) STATED IN THE SPECIAL SPECIFICATIONS.
- BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.

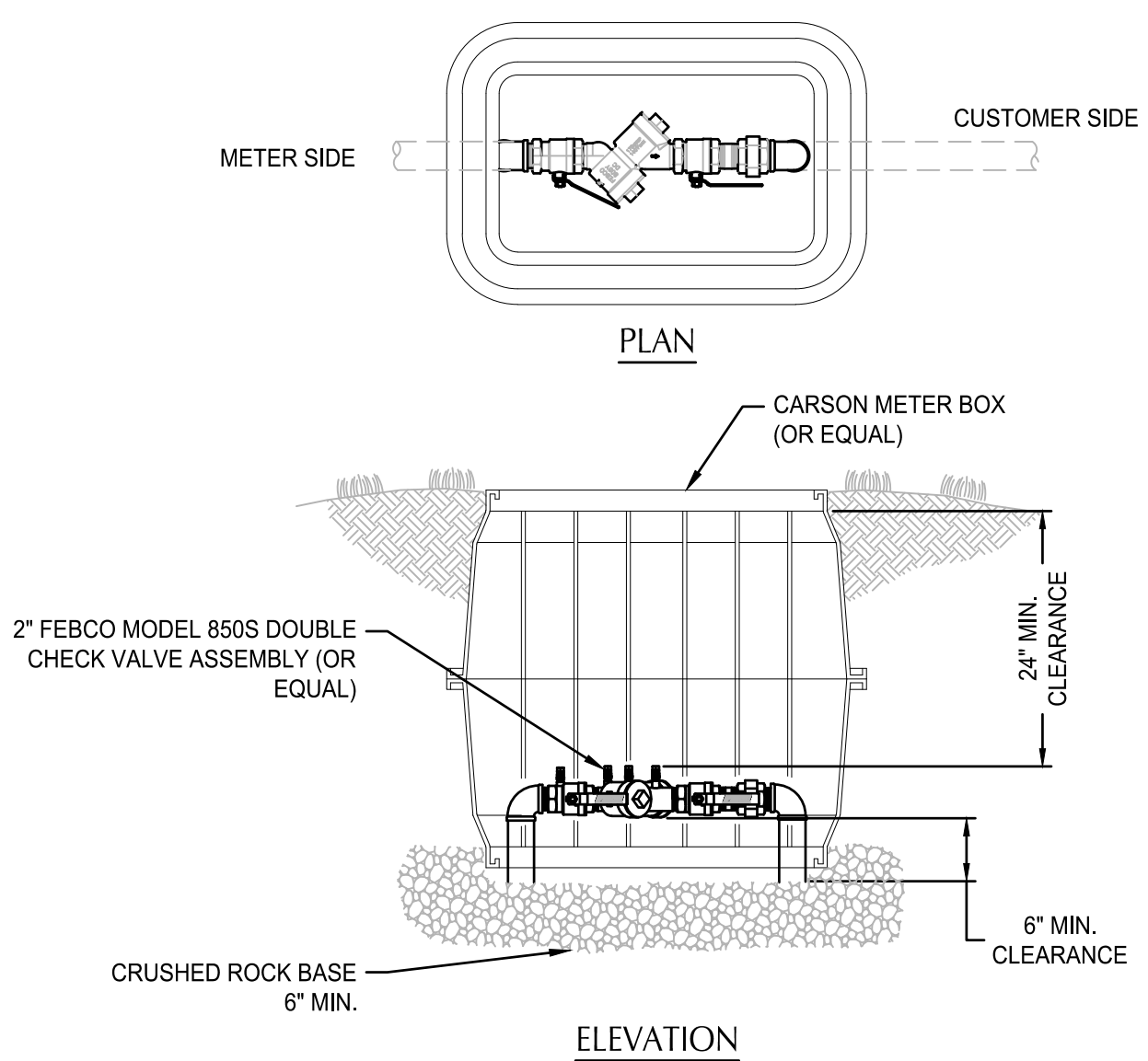
BEARING AREA OF THRUST BLOCK IN SQUARE FOOT

FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22 1/2° BEND	11 1/2° BEND
			A1	A2			
4	1.0	1.4	1.9	1.4	1.0		
6	2.1	3.0	4.3	3.0	1.6	1.0	
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0
10	5.9	8.4	11.8	8.4	4.6	2.4	1.2

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 p.s.i. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 p.s.i. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURE AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150)(X)/2000/ SOIL BEARING STRESS(X)TABLE VALUE).

1 THRUST BLOCK

SCALE: NTS



NOTE: INSTALLATION SHOWN IS ONLY A SUGGESTION. THE DISTANCE FROM BOTTOM OF DEVICE TO FINISH GRADE, FREEZE PROTECTION, AND CLEARANCE FOR TESTING & REPAIR ARE THE MAJOR CONSIDERATIONS FOR INSTALLATION. PLUGS TO BE INSTALLED IN TEST COCKS OF BELOW GROUND INSTALLATIONS (NO DISSIMILAR METALS). IF FREEZE PROTECTION IS PROVIDED, THE 24" MIN CLEARANCE MAY BE REDUCED.

2 DOUBLE CHECK BACKFLOW ASSEMBLY

SCALE: NTS

CLASSIFICATION	DEPTH (IN.) WHICH EVER IS GREATER
ARTERIAL/INDUSTRIAL	8 OR EXISTING
COLLECTOR	6 OR EXISTING
LOCAL	4 OR EXISTING

NOTES:

- ADDITIONAL REPAIR IS REQUIRED FOR STREETS PAVED WITHIN THE LAST 5 YEARS; SEE STANDARD DETAIL NO. 511.
- FINAL SAWCUTS MUST BE 6" WIDER THAN THE WIDTH OF THE ROLLER USED FOR COMPACTION
- PAVING TO CONSIST OF LEVEL 3 ASPHALT CONCRETE AND BE PLACED IN LIFTS. EACH LIFT MUST HAVE A MAXIMUM DEPTH OF 3" & MINIMUM DEPTH OF 2".
- INFRARED ASPHALT REPAIRS MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER.
- UNDERMINED, BROKEN OR CRACKED PAVEMENT EDGES MUST BE SAWCUT AND REMOVED AT THE DISCRETION OF THE CITY ENGINEER.
- CONTROL DENSITY FILL (CDF) MAY BE REQUIRED AT CITY ENGINEER'S DISCRETION.
- ALL ROCK AND BACKFILL TO BE COMPACTED TO 95% MAX. DENSITY AASHTO T-180.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.

Trench Patch

DRAWING NO. 510

NO.	REVISIONS	DATE	BY
3	ADDED T-CUT LANGUAGE	12/14	AKR
4	DRAWING NUMBER CHANGED	11/18	TAP
5	UPDATED NOTES, DRAWING NUMBER CHANGE	06/19	TAP

APPROVED: [Signature] 01/2021 DATE: 01/2021 CITY ENGINEER

UNTHREADED GALVANIZED PIPE CONNECTION:

COMPONENT	DESCRIPTION
ROMAC STYLE 511 COUPLING OR APPROVED EQUAL	M.I.P. THREAD C.T.S. BRASS COUPLING FORD C84-44
GALVANIZED NIPPLE	COPPER PIPE
GALVANIZED BUSHING TO MATCH SERV. SIZE	DIELECTRIC UNION WATTS SERIES LF3003 OR APPROVED EQUAL

NOTES:

- IF COPPER TUBING CROSSES CATHODICALLY PROTECTED LINE, ENCASE COPPER IN POLYETHYLENE TUBING FOR 24" (CENTERED AT THE CROSSING LINE) AND FASTEN WITH 2" WIDE ADHESIVE TAPE THAT IS COMPATIBLE WITH POLYETHYLENE.
- PLACE METER BOXES (1) LOCATED BEHIND THE SIDEWALK WHERE THERE IS SUFFICIENT RIGHT-OF-WAY; (2) WITHIN THE PLANTER STRIP, EXCLUDING WATER QUALITY FACILITIES; (3) WITHIN THE SIDEWALK WITH THE BACK OF THE METER BOX AT THE BACK EDGE OF THE SIDEWALK.
- CONNECT GALVANIZED SERVICE PIPE; (1) AT EXISTING THREADED FITTING WITHIN 5 FEET OF WATER METER; (2) RETHREAD EXISTING GALVANIZED SERVICE PIPE; (3) IF EXISTING PIPE IS IN POOR CONDITION AND CANNOT BE RETHREADED, USE UNTHREADED GALVANIZED PIPE CONNECTION DETAIL.
- IF METER BOX IS LOCATED IN THE SIDEWALK, DIELECTRIC UNION WILL BE INSTALLED (1) 6" FROM BACK OF METER INSIDE OF METER BOX, (2) BEHIND BACK OF SIDEWALK.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.

3/4 to 1 Inch Water Service

DRAWING NO. 401

NO.	REVISIONS	DATE	BY
5	ADDED DIELECTRIC UNION NOTE	12/14	AKR
6	ADDED 3/4" WATER SERVICE	11/18	TAP
7	TITLE CHANGE	06/19	TAP

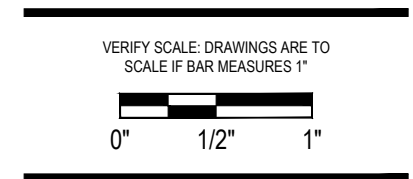
APPROVED: [Signature] 01/2021 DATE: 01/2021 CITY ENGINEER



111 SW Fifth Ave., Suite 2600
Portland, OR 97204
O: 503.542.3860
F: 503.274.4681
www.kpff.com



110 SE Main St., Suite 100
Portland, OR 97214
Ph: 503.222.5612
Fax: 503.222.2283
Email: info@greenworkspc.com



Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7555

Submittal: Design Development
Sheet Title: DETAILS

GREENWORKS, P.C.
2023. ALL RIGHTS RESERVED.
THESE DRAWINGS ARE THE PROPERTY OF GREENWORKS, P.C. AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER EXCEPT WITH THE PRIOR WRITTEN PERMISSION OF GREENWORKS, P.C.

Date: 03/21/2023

Revisions:

Drawn By: CK/RC

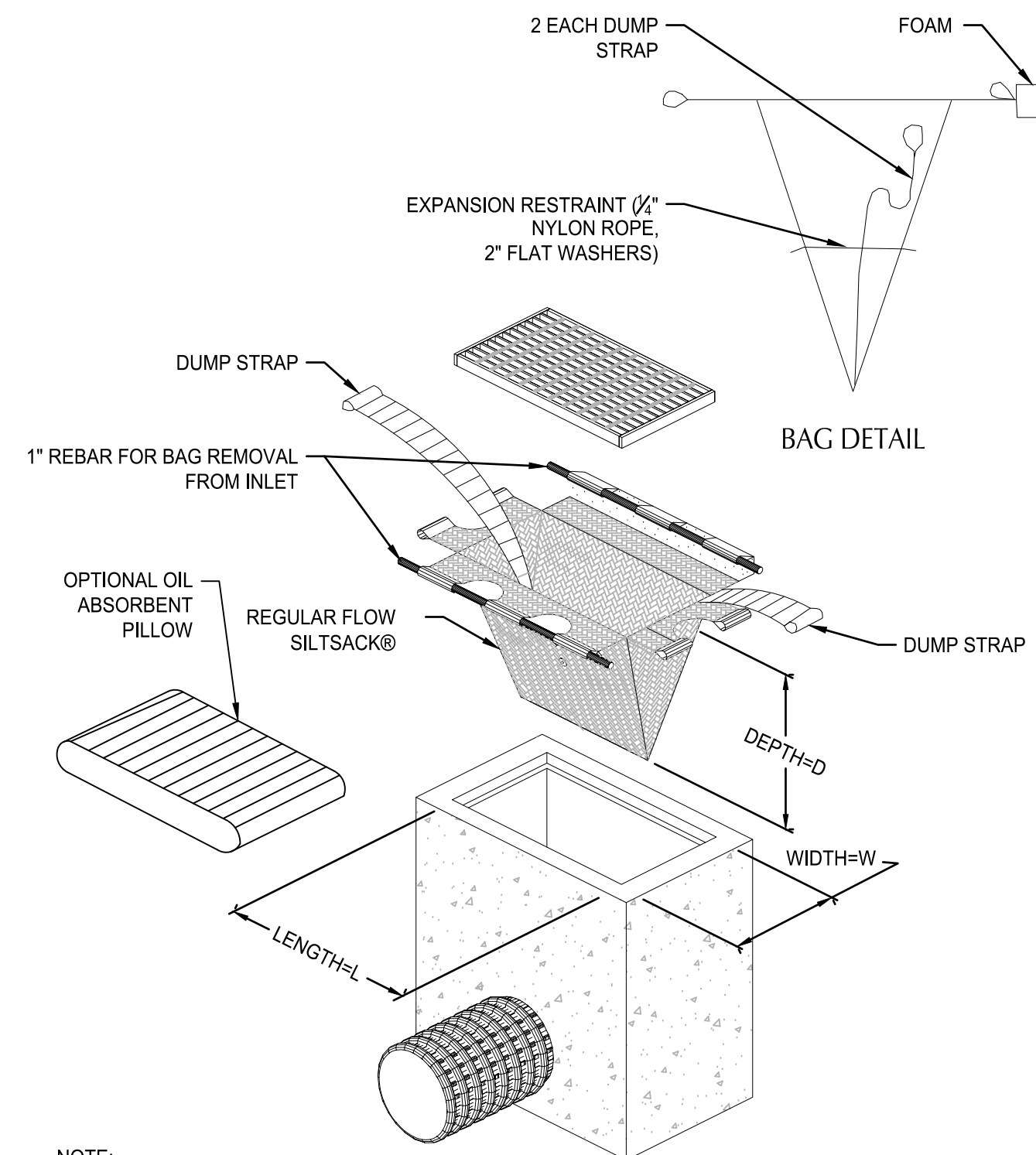
Checked By: JZ

Job No. 210234.1

Approved: CV

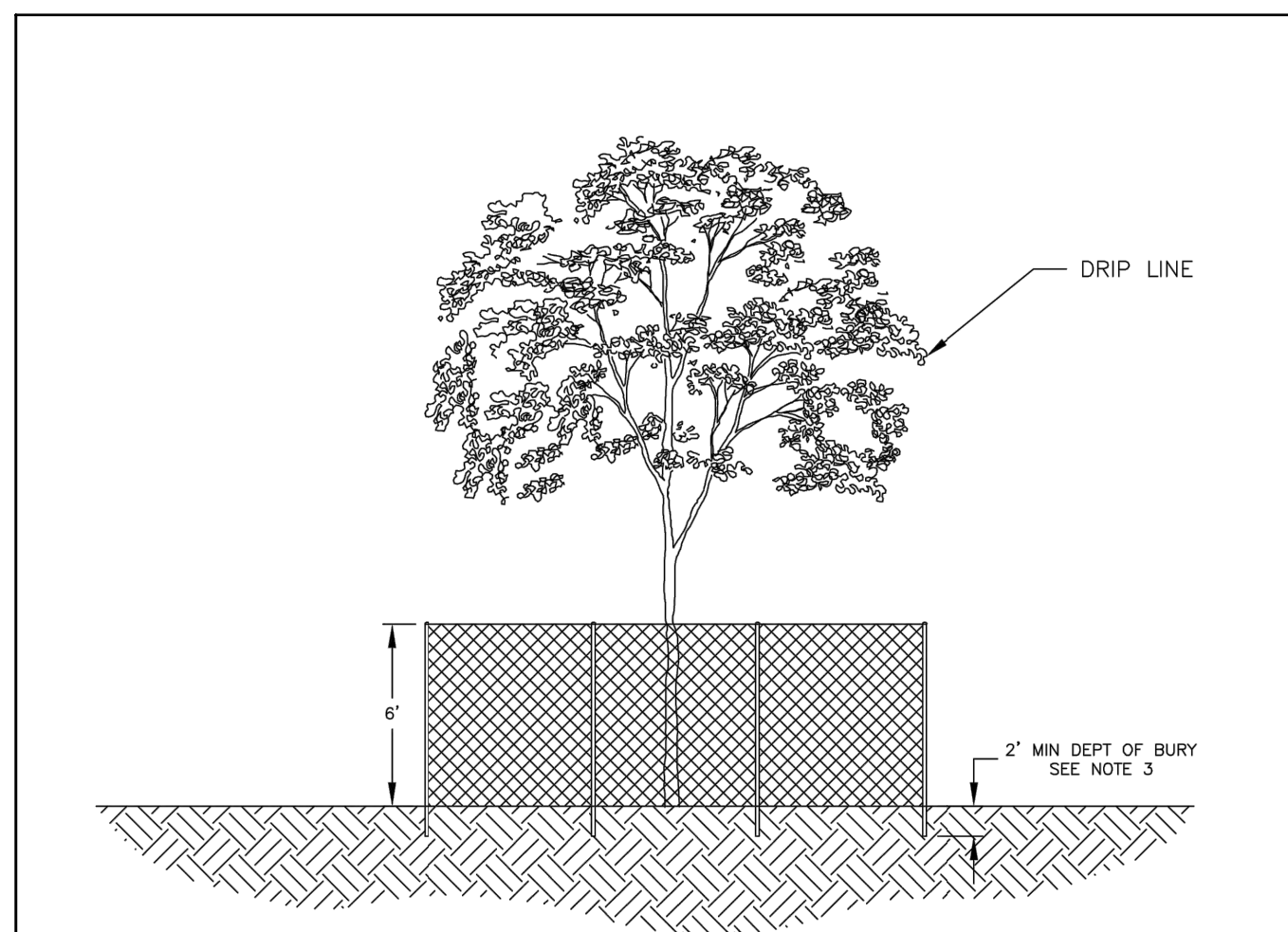
C28.00

Sheet No. 46 of 52



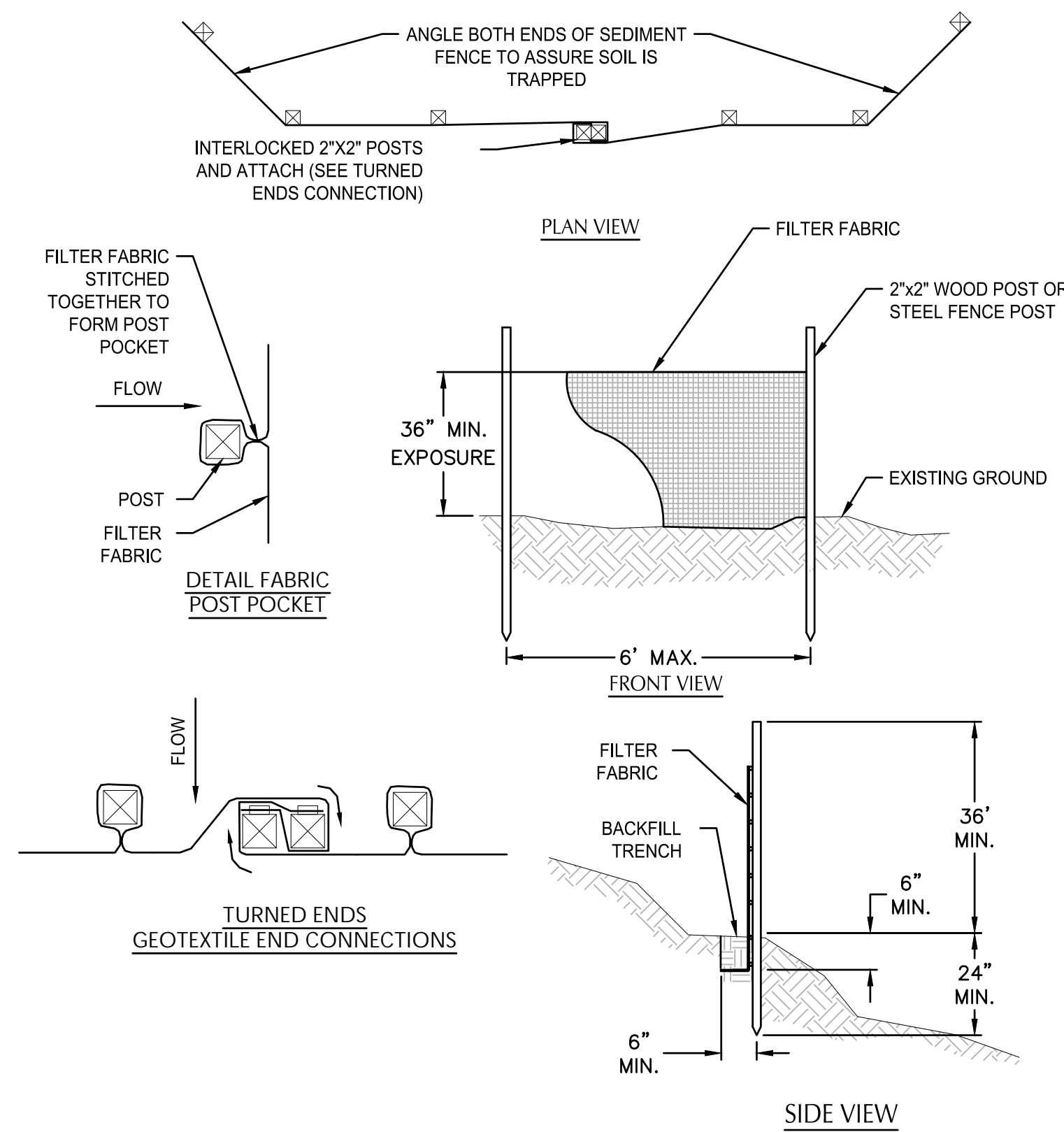
NOTE:
1. DO NOT USE HIGH FLOW
INSERT BAGS.

2 INLET SEDIMENT PROTECTION
SCALE: NTS



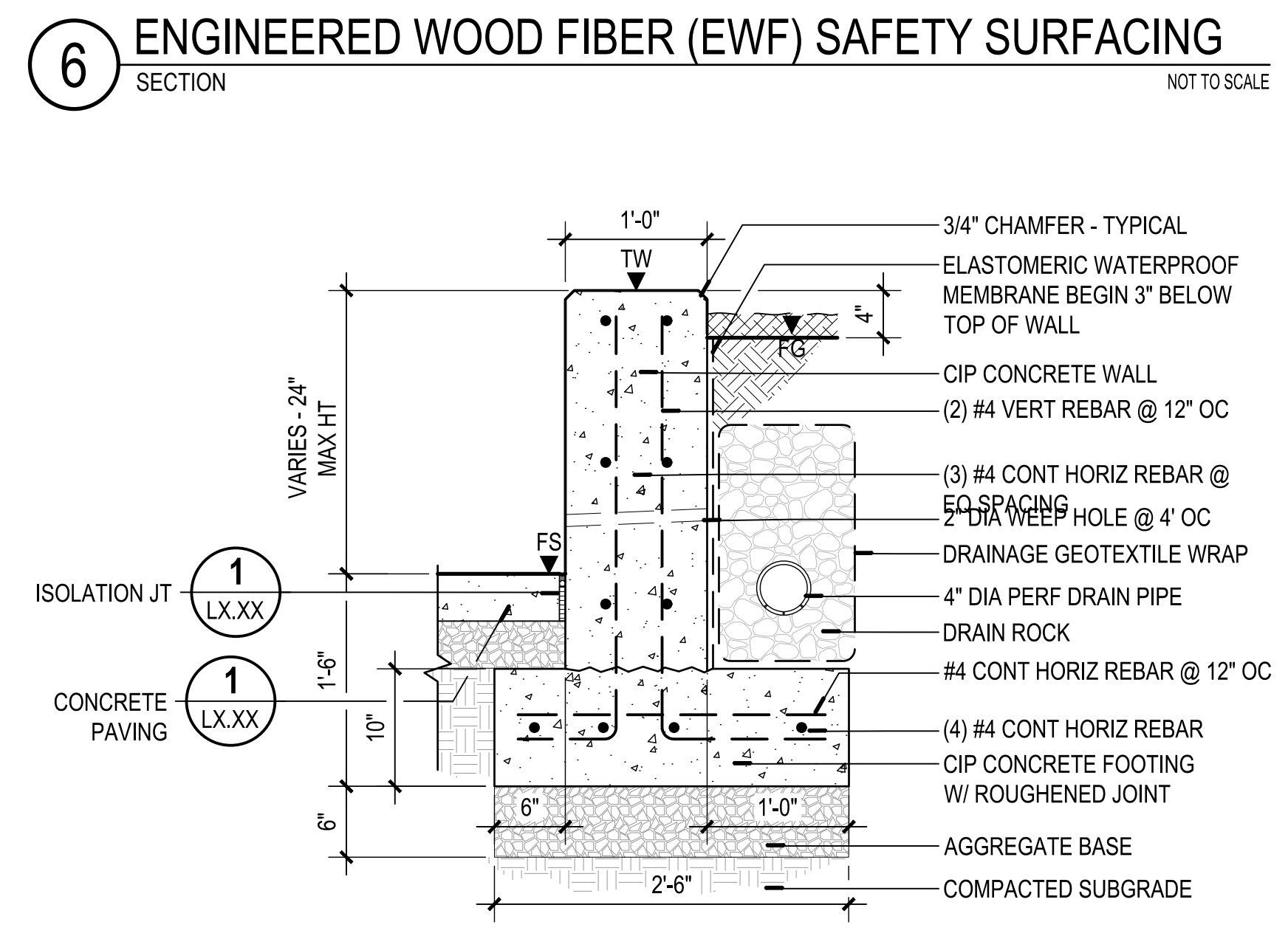
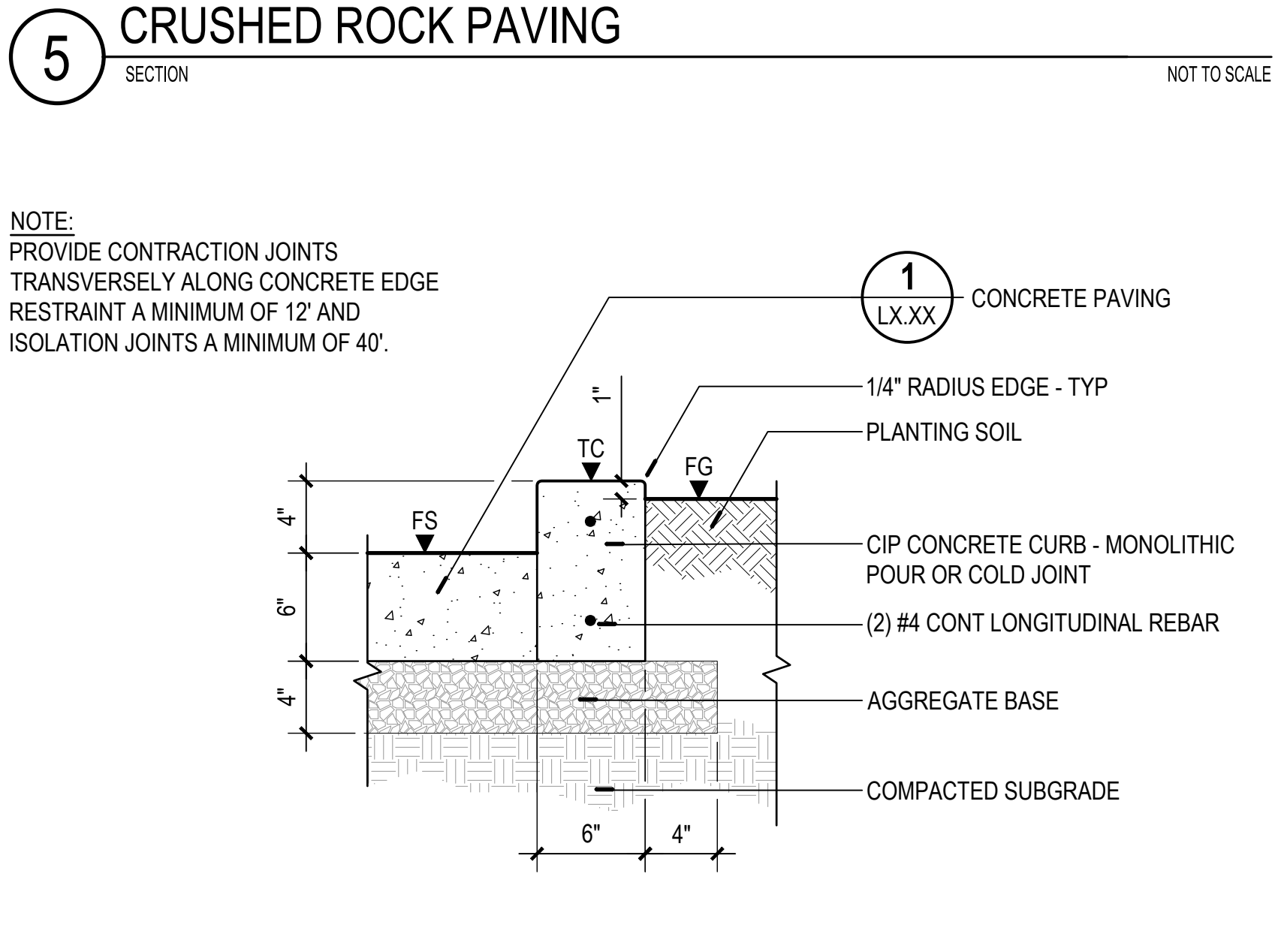
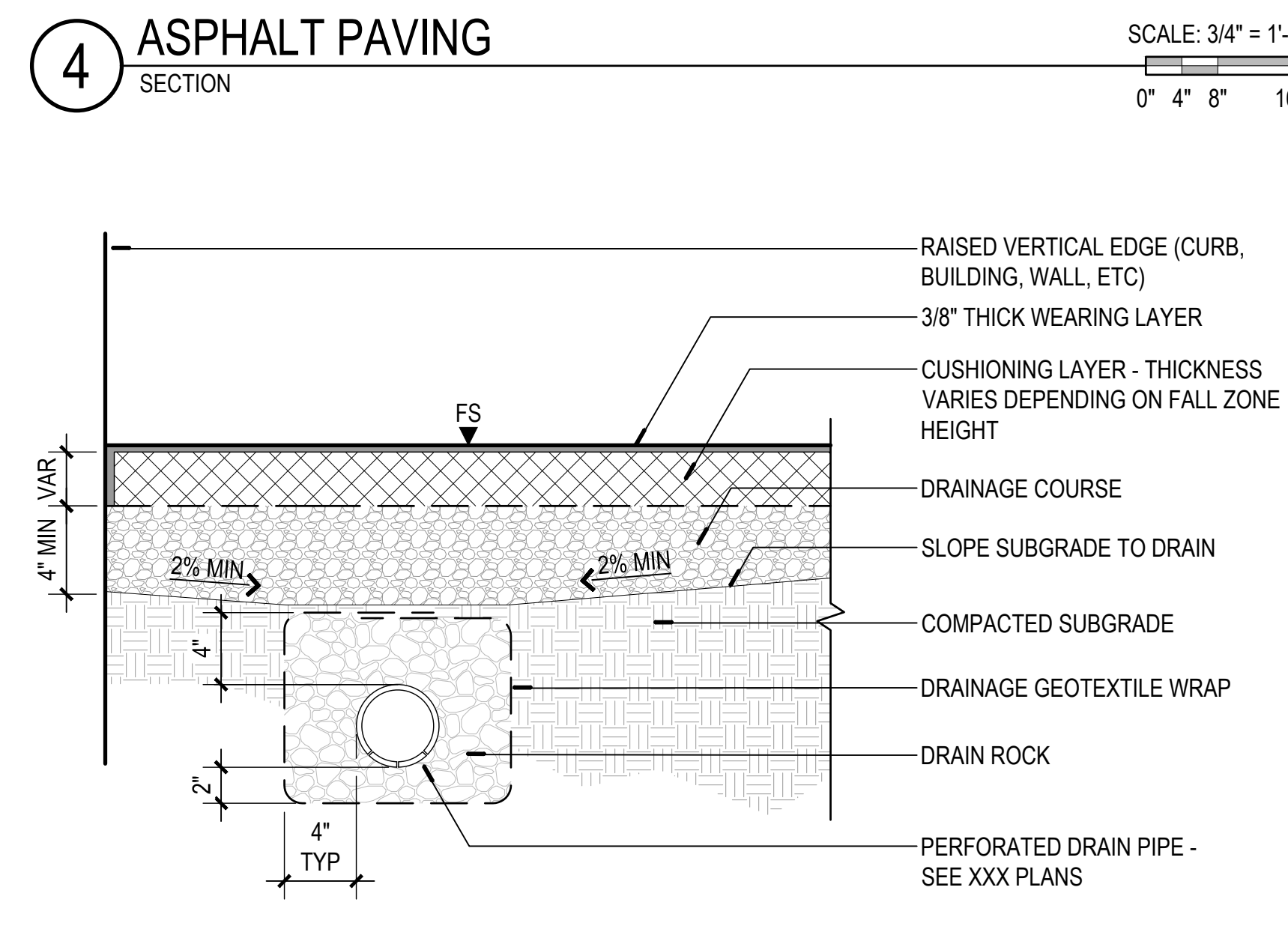
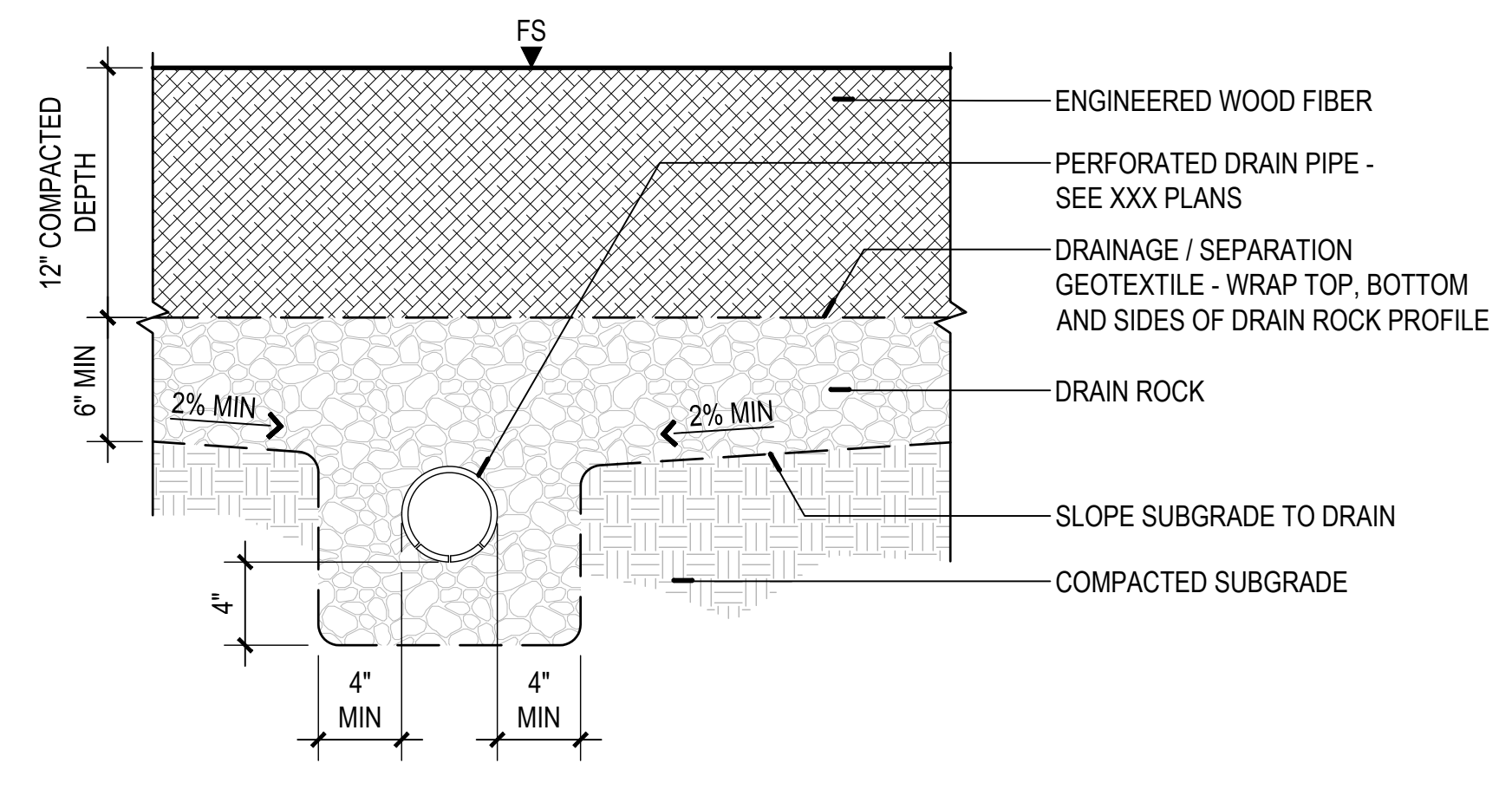
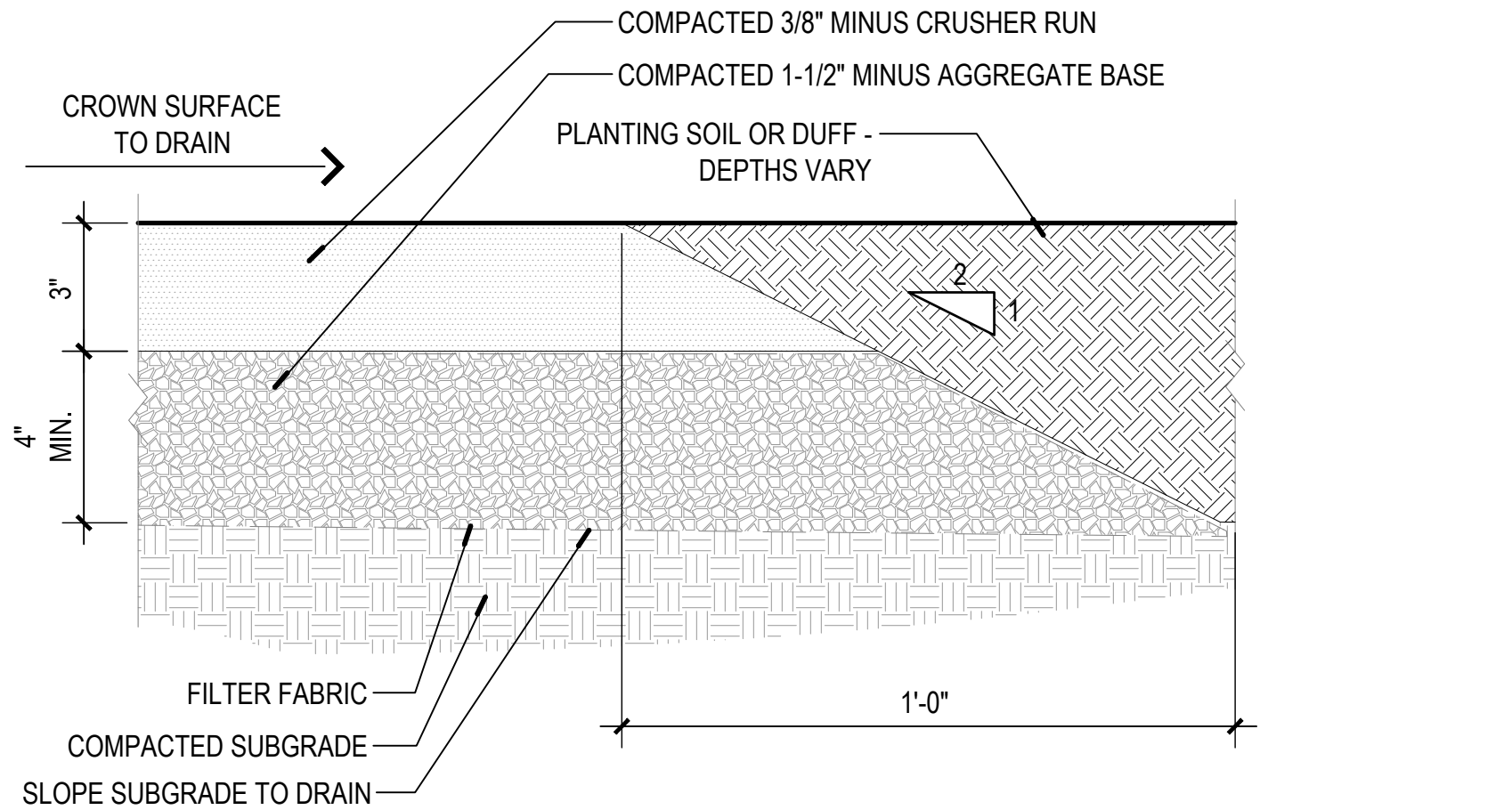
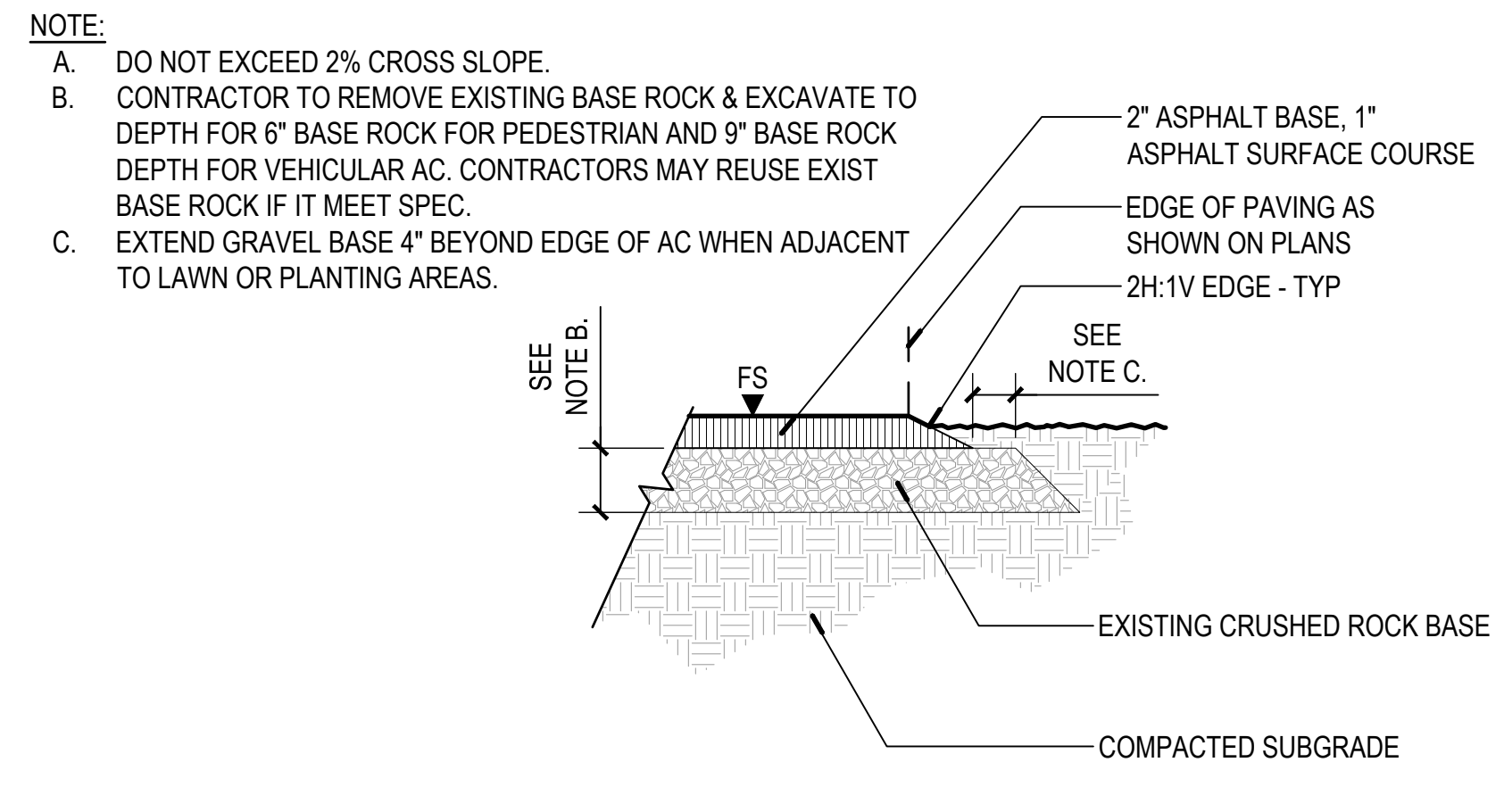
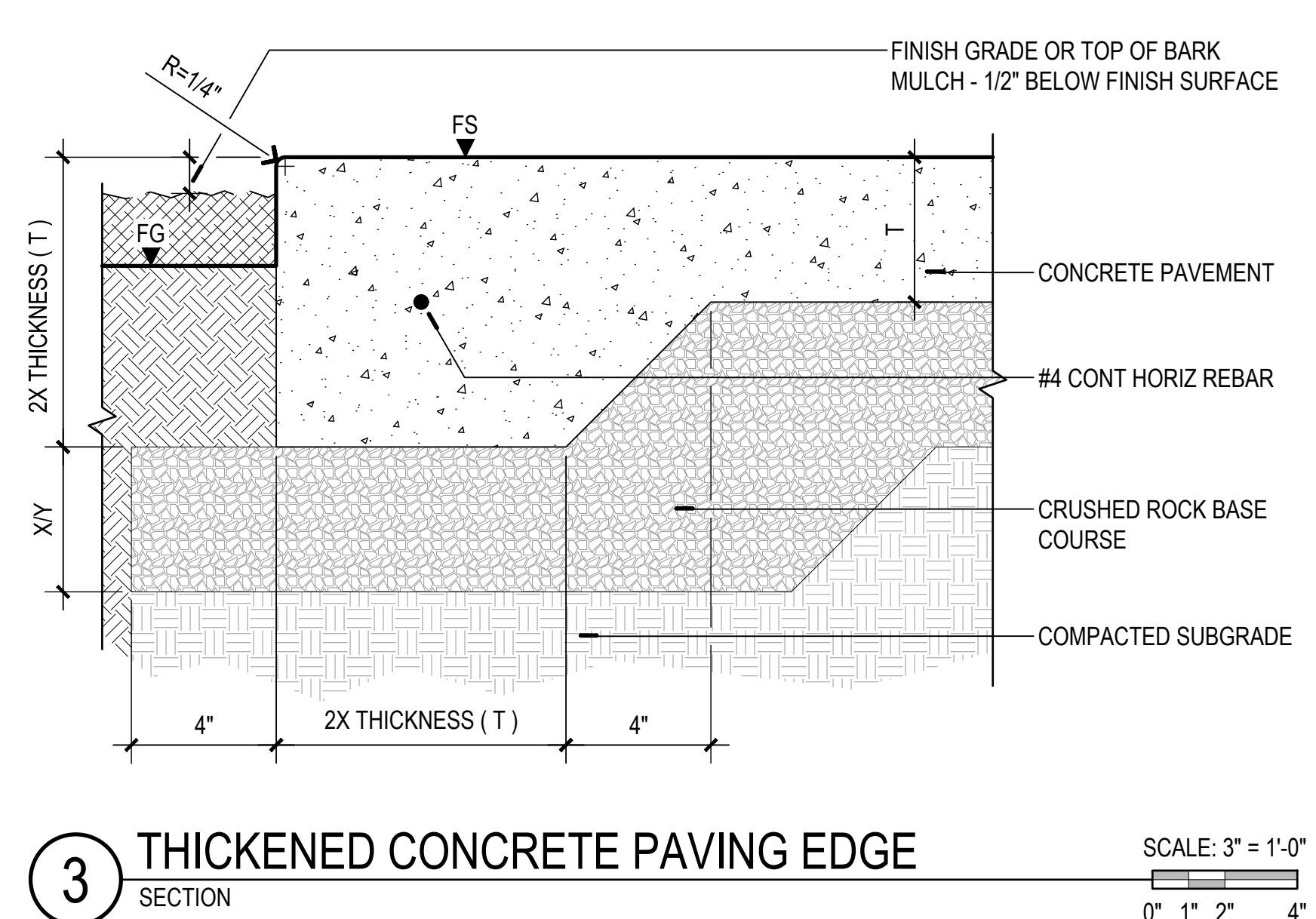
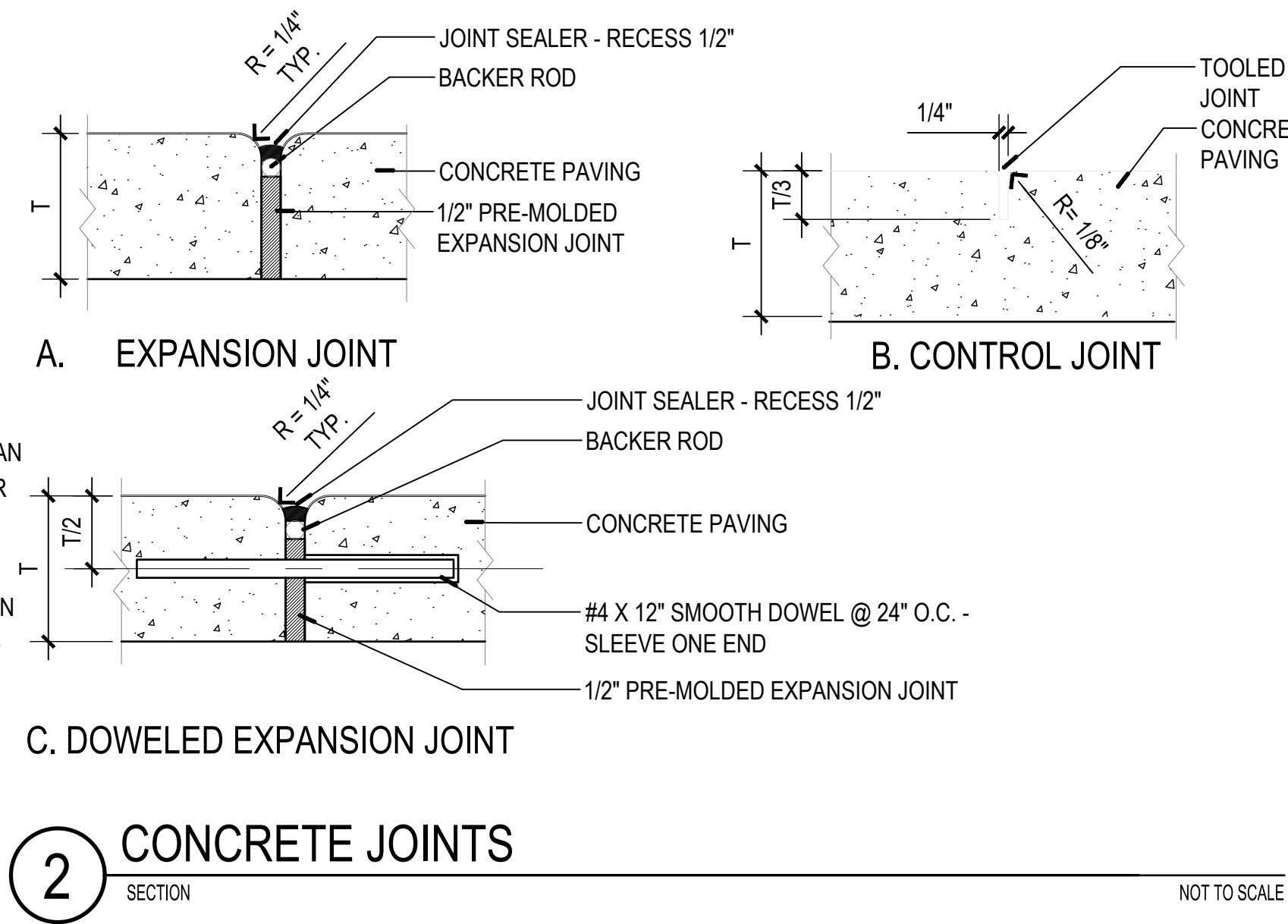
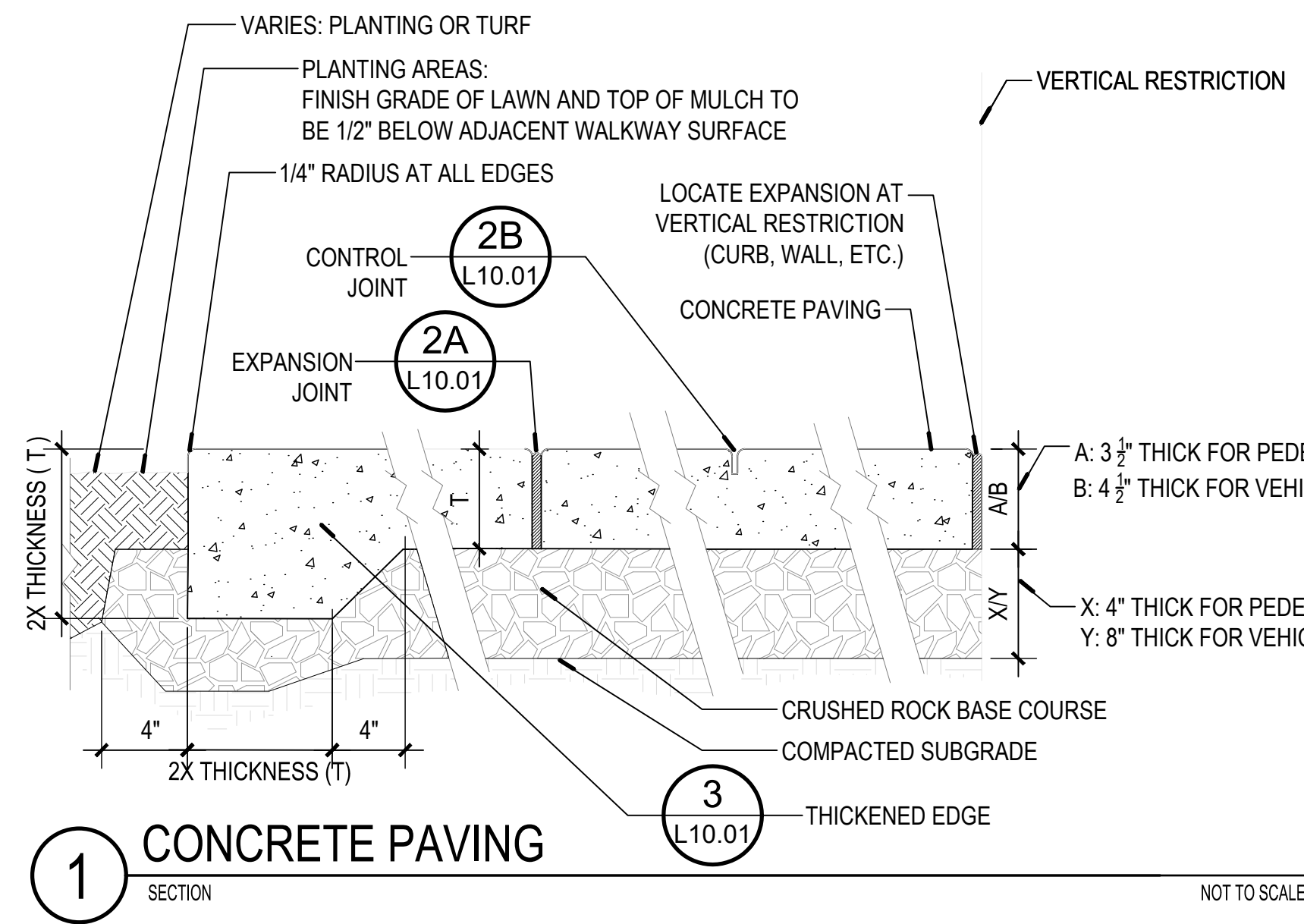
- NOTES
- FENCE MUST BE 6 FEET IN HEIGHT AND SET AT THE TREE DRIP LINE.
 - FENCE MATERIALS TO CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1-1/2" DIA. STEEL OR ALUMINUM POST.
 - POST TO BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
 - TREE PROTECTION FENCING MUST BE INSTALLED, INSPECTED AND APPROVED BY THE CITY'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY EROSION CONTROL FENCING BEING INSTALLED OR ANY GRADING ACTIVITIES OCCUR.
 - FENCE MUST REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

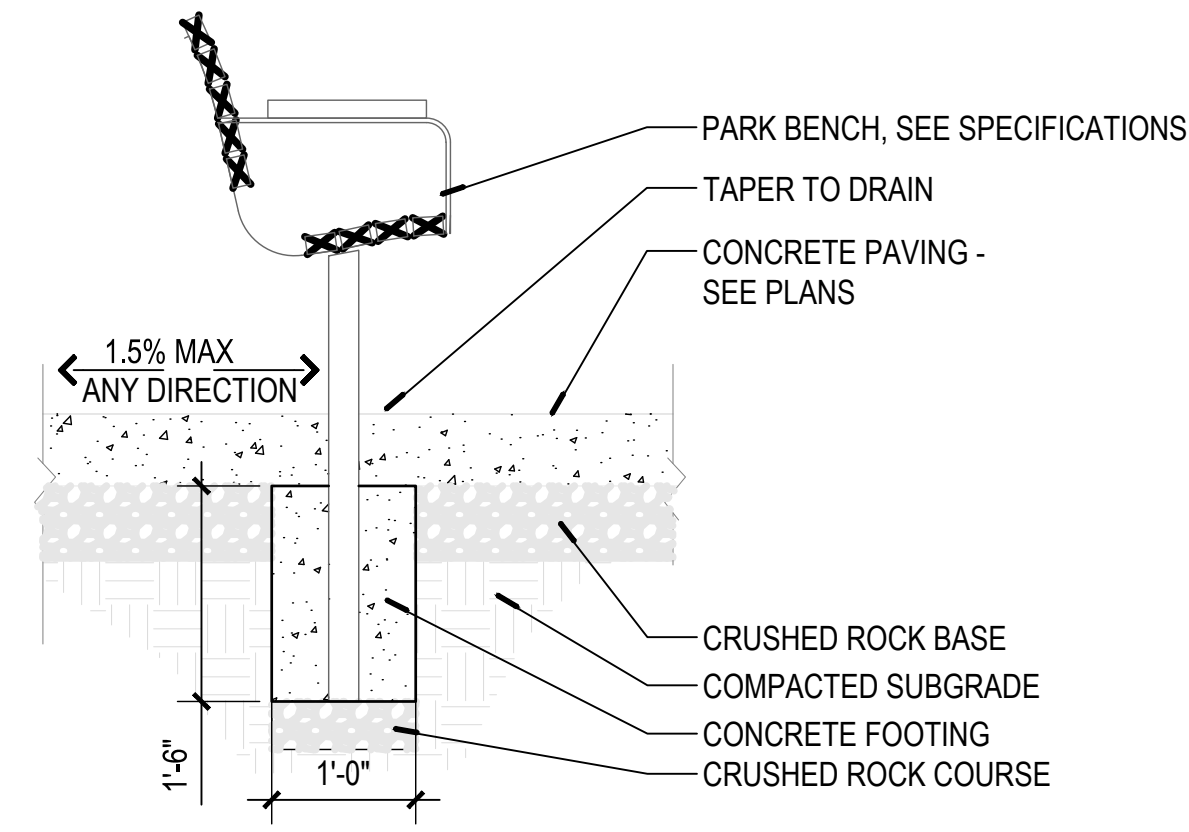
CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.		DRAWING NO.	
Tree Protection Fencing		524	
APPROVED:	DATE:	NO.:	REVISIONS:
<i>[Signature]</i>	01/2021	1	NEW DRAWING
CITY ENGINEER	DATE		



- NOTES:
- THE FILTER FABRIC SHALL BE (36" MIN. WIDTH) PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACH AS SHOWN ON DETAIL SHEET.
 - THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6-FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
 - THE FILTER FABRIC SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION, SHALL BE BACKFILLED AND COMPACTED, ALONG THE ENTIRE DISTURBED AREA.
 - STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS WITH STAKES SHALL BE INSTALLED ON THE DOWN-HILL SIDE OF THE SLOPED AREA.
 - FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP-SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
 - FILTER FABRIC FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

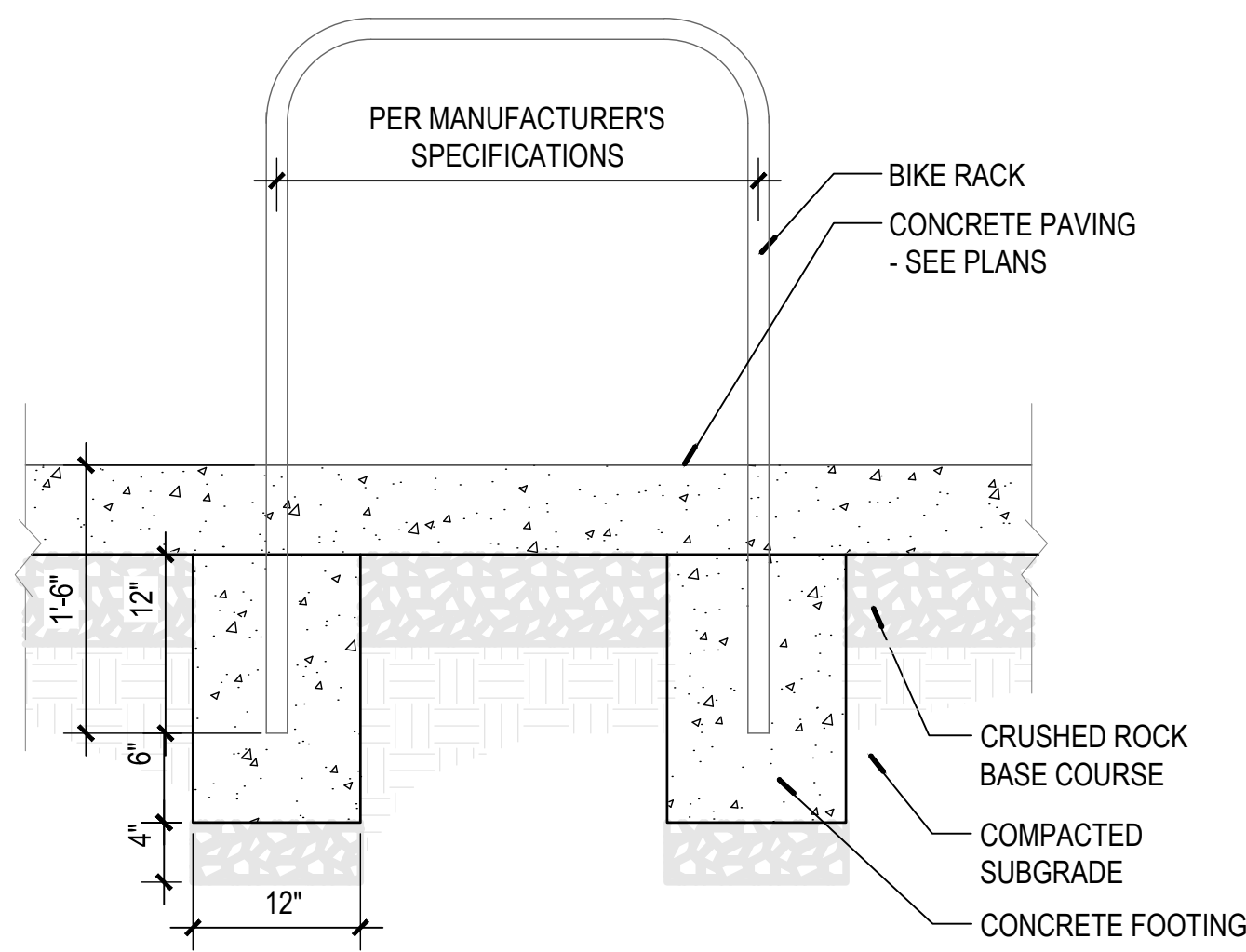
1 SEDIMENT FENCE
SCALE: NTS





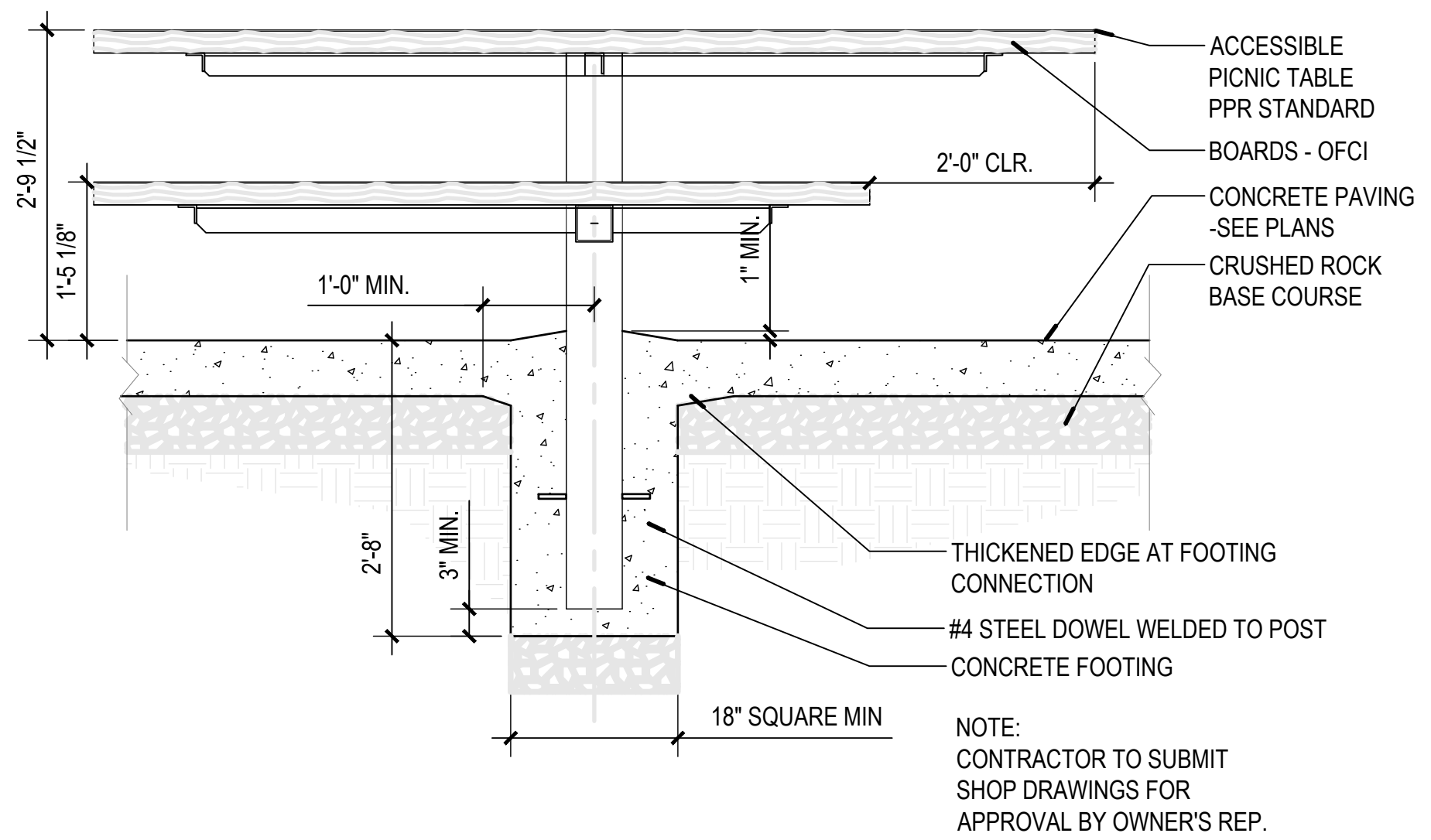
1 STANDARD BENCH
 SECTION PLAN

SCALE: 3/4" = 1'-0"
 0' 4' 8' 16'



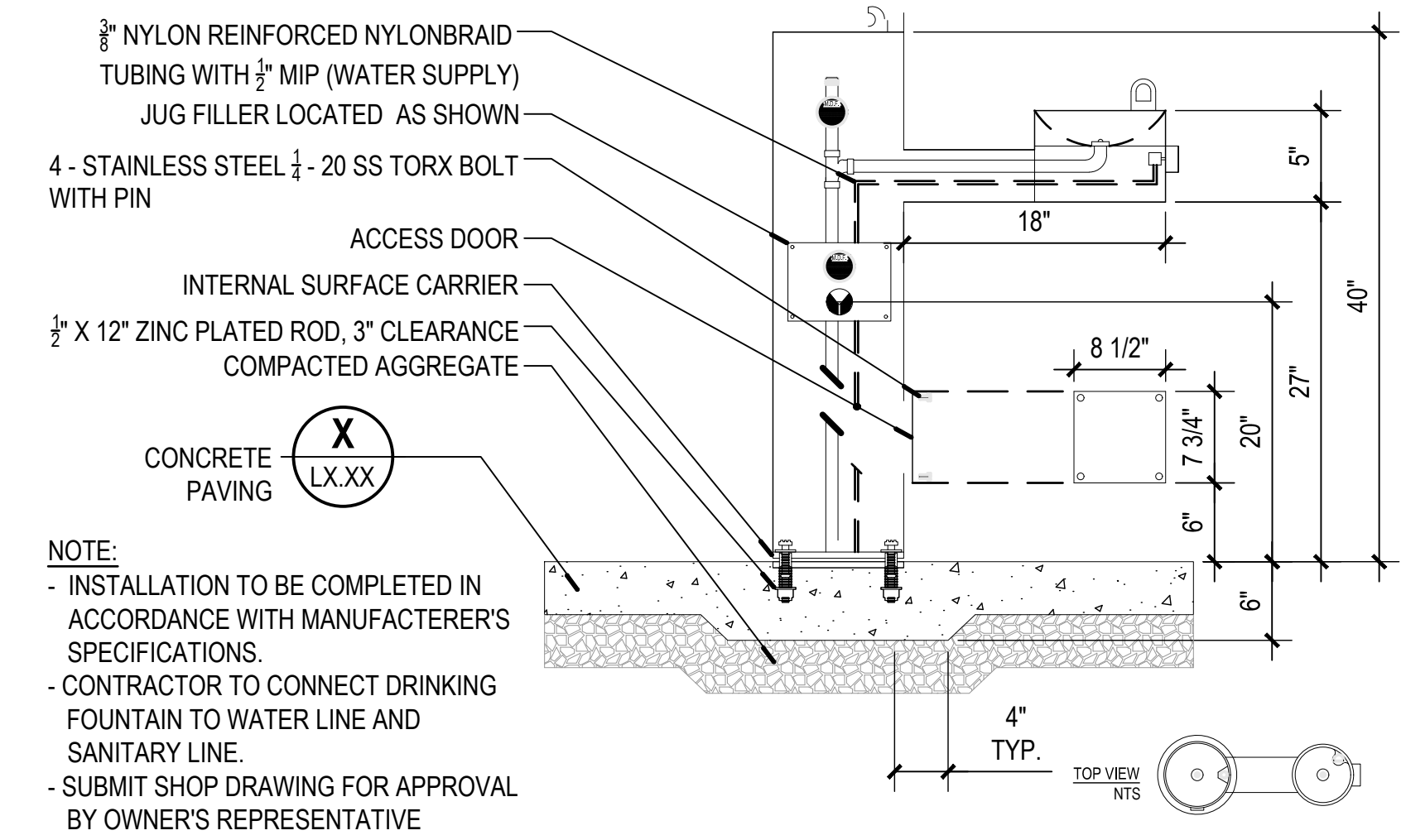
2 BIKE RACK
 SECTION

SCALE: 1" = 1'-0"
 0' 3' 6' 12'



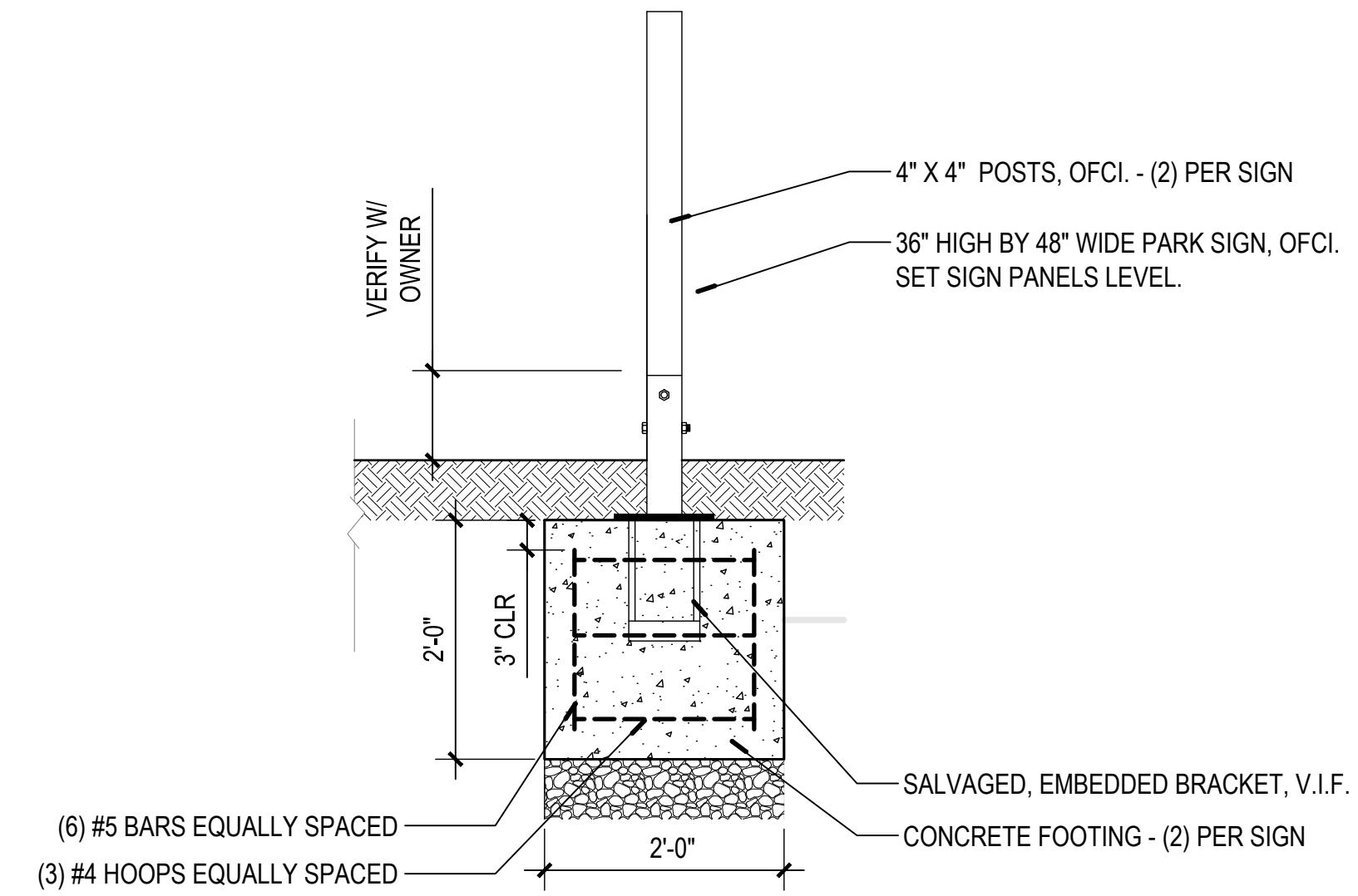
3 ACCESSIBLE PICNIC TABLE
 SECTION

SCALE: 3/4" = 1'-0"
 0' 4' 8' 16'



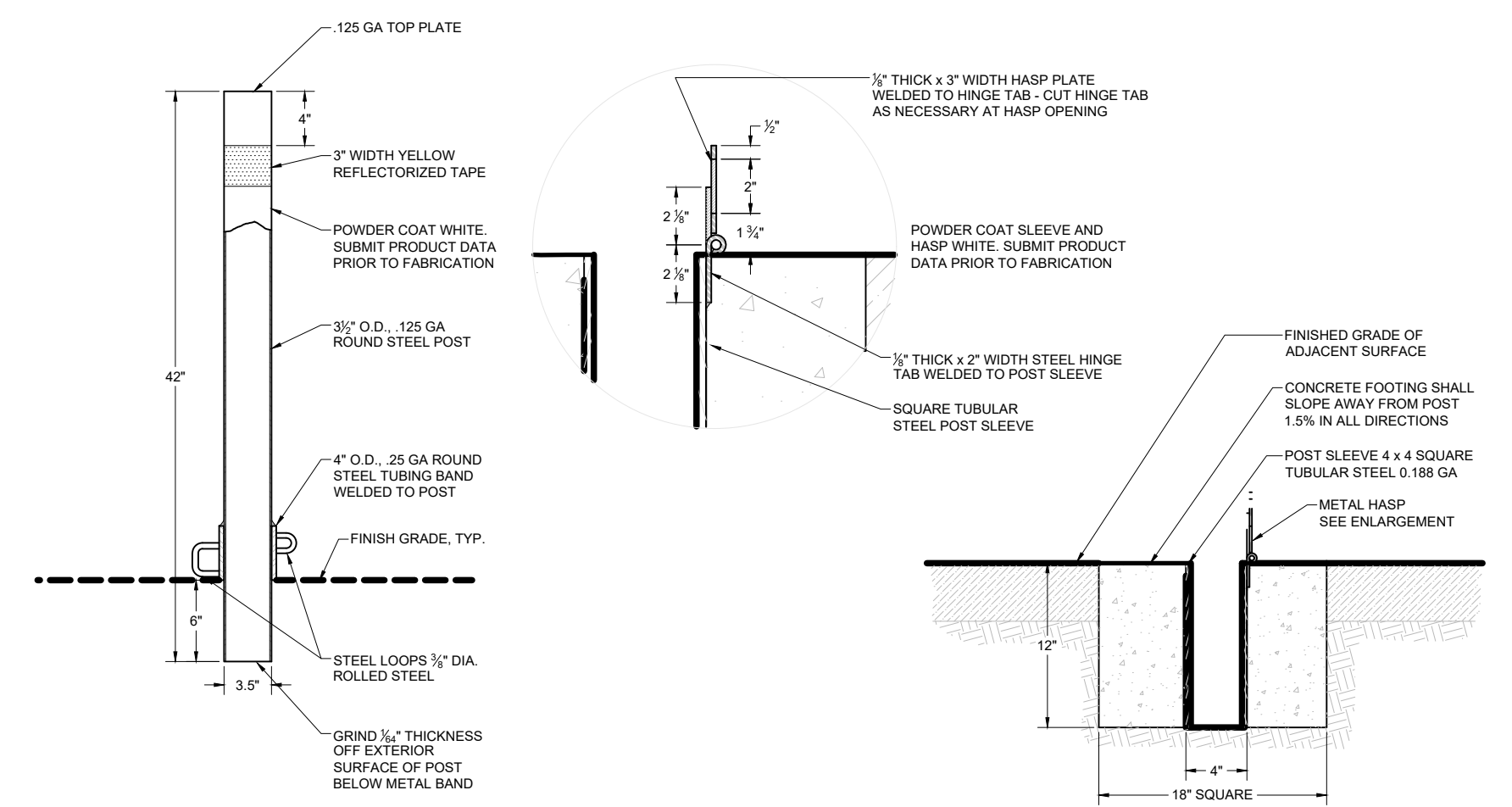
4 DRINKING FOUNTAIN
 SECTION

SCALE: 1" = 1'-0"
 0' 3' 6' 12'



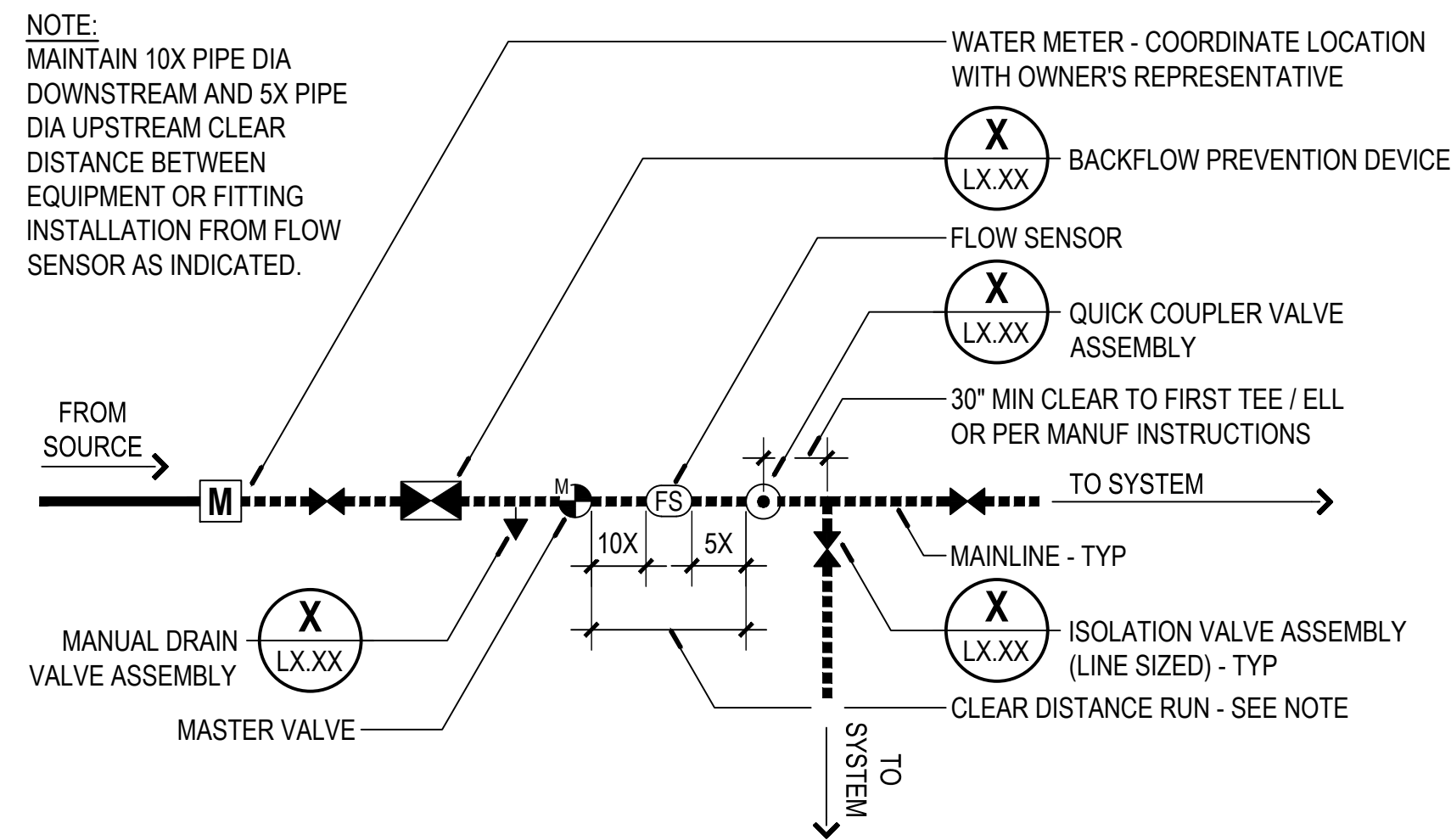
5 PARK SIGN FOOTING
 SECTION PLAN

SCALE: 3/4" = 1'-0"
 0' 4' 8' 16'

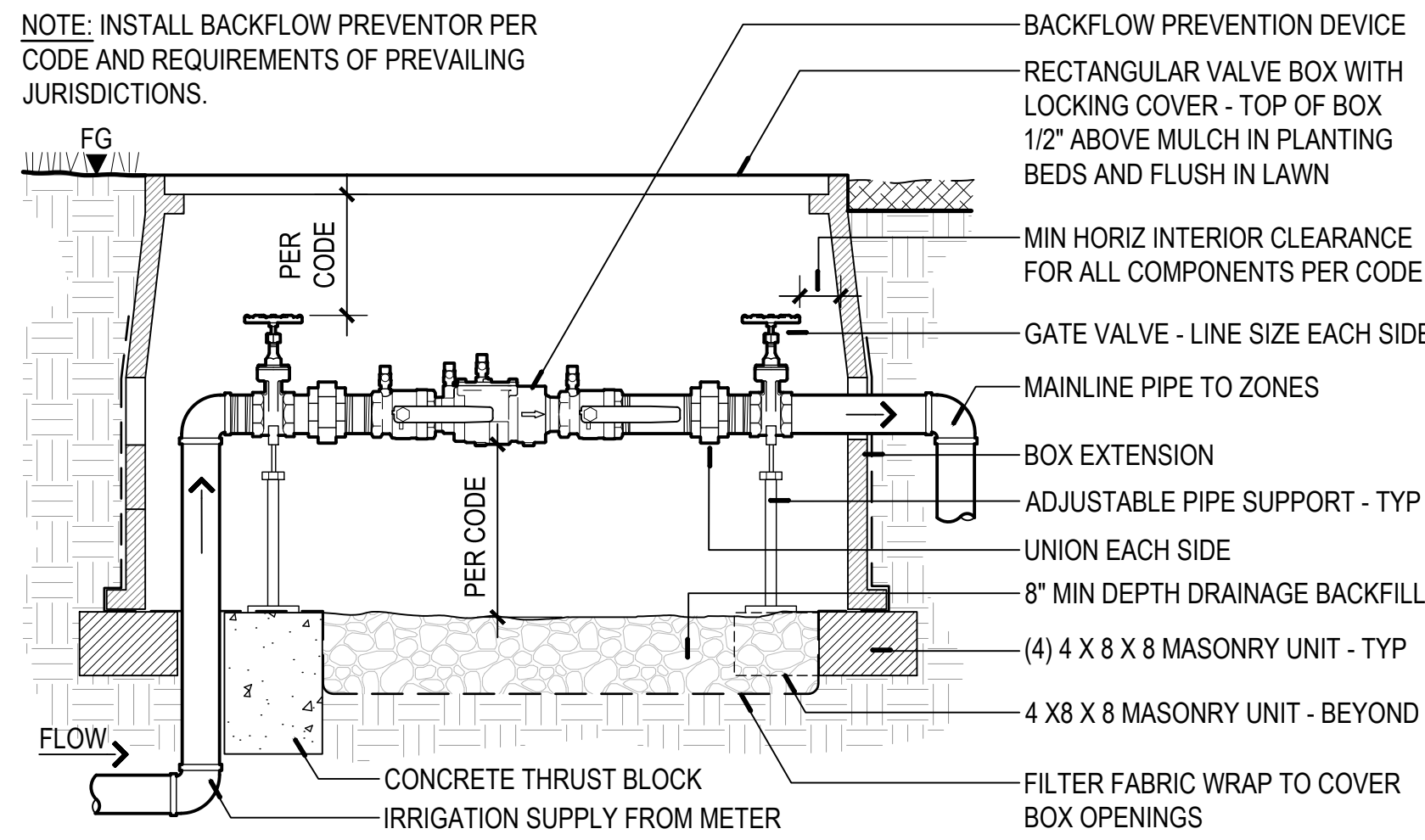


6 REMOVABLE BOLLARD
 SECTION

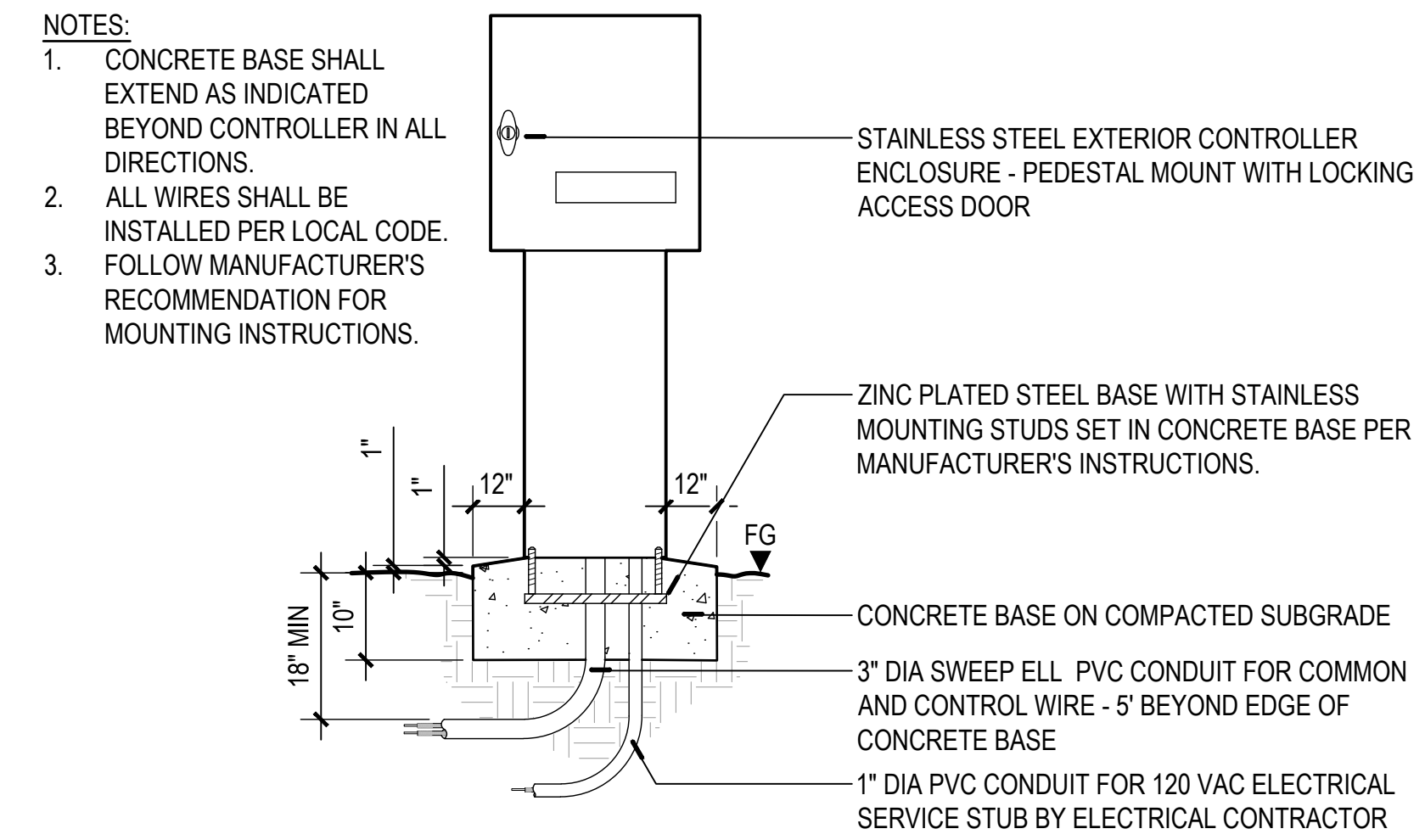
SCALE: 1" = 1'-0"
 0' 1/4" 1/2" 1"



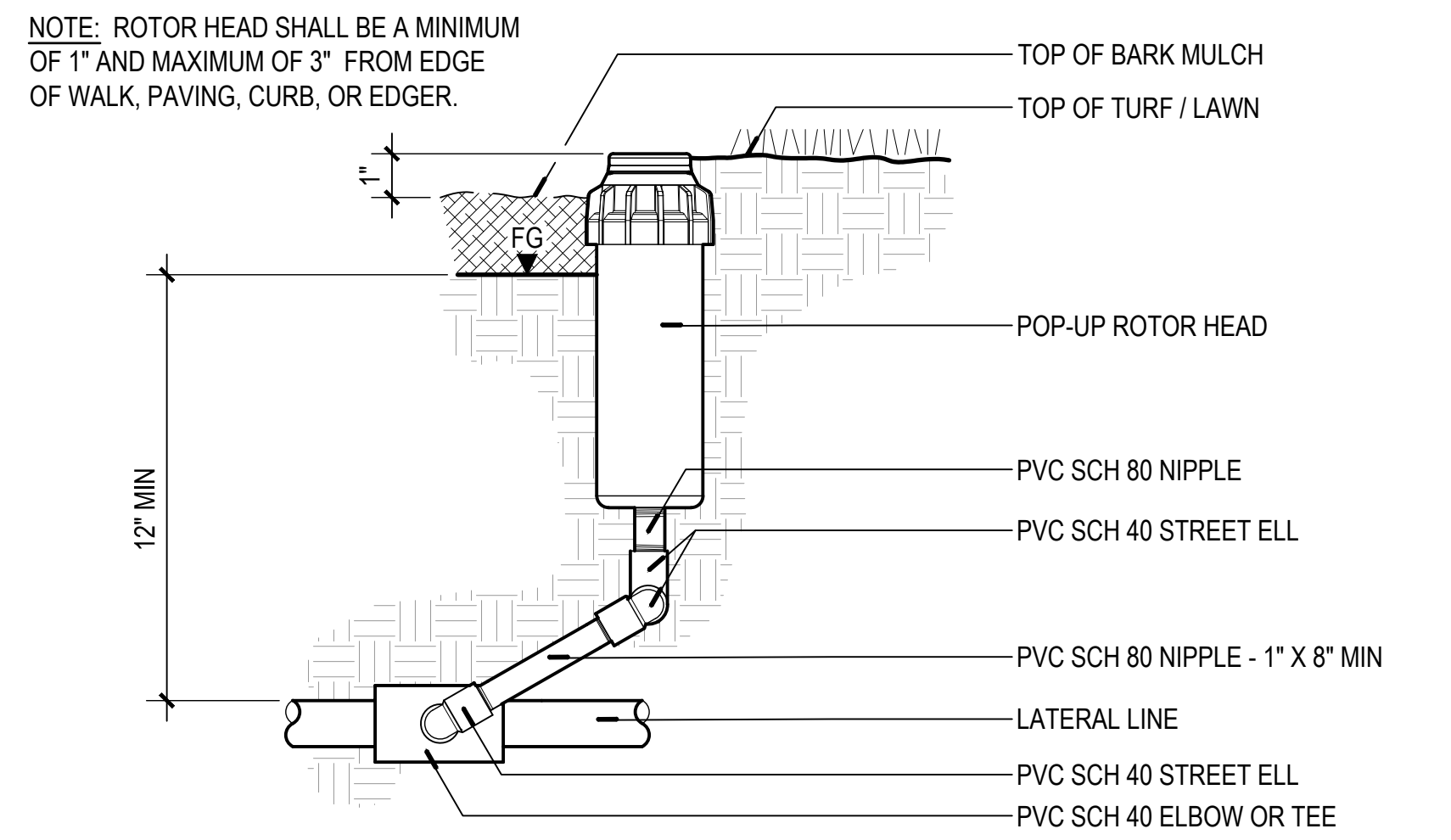
1 POINT OF CONNECTION DIAGRAM
PLAN NOT TO SCALE



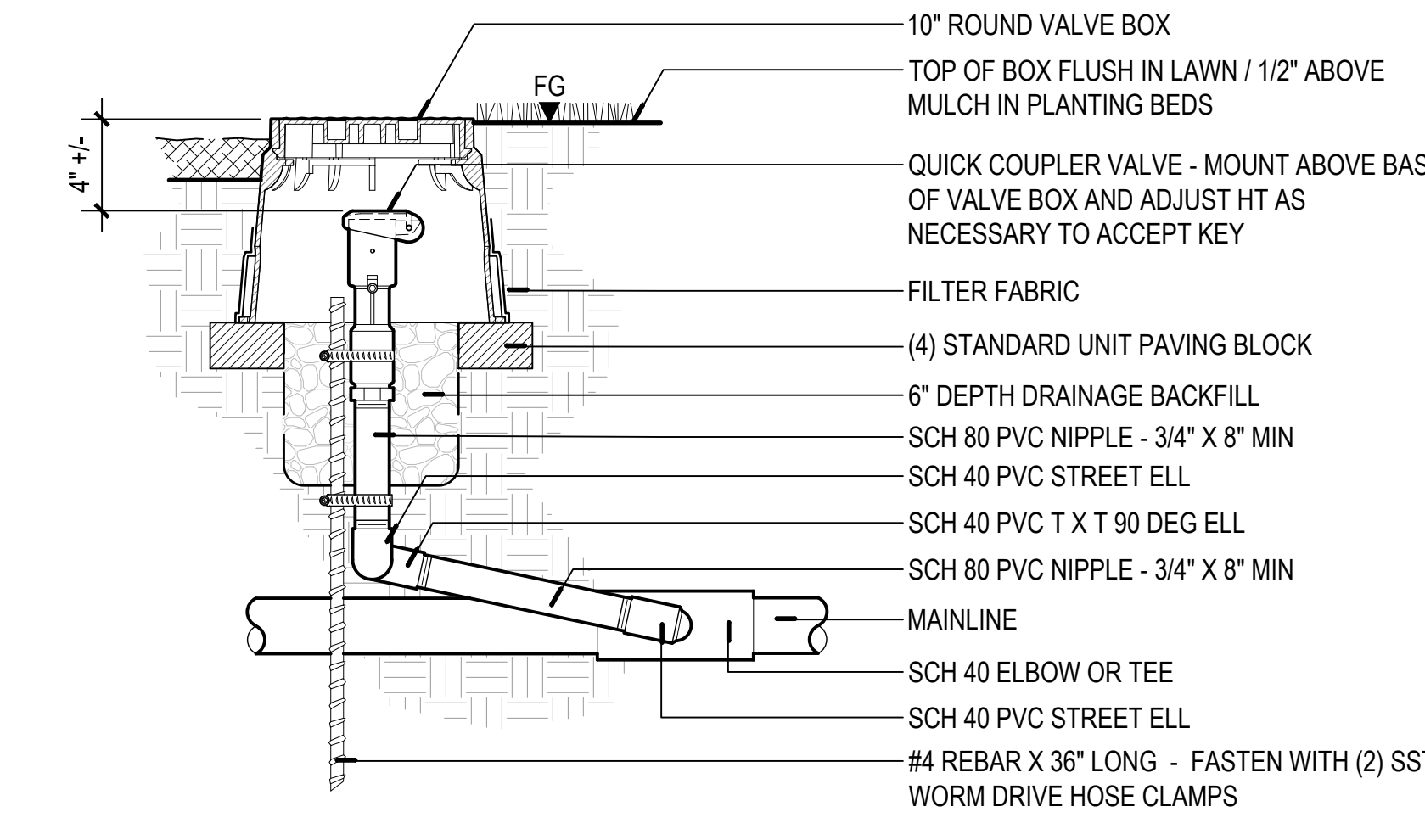
2 BACKFLOW PREVENTION DEVICE ASSEMBLY
SECTION NOT TO SCALE



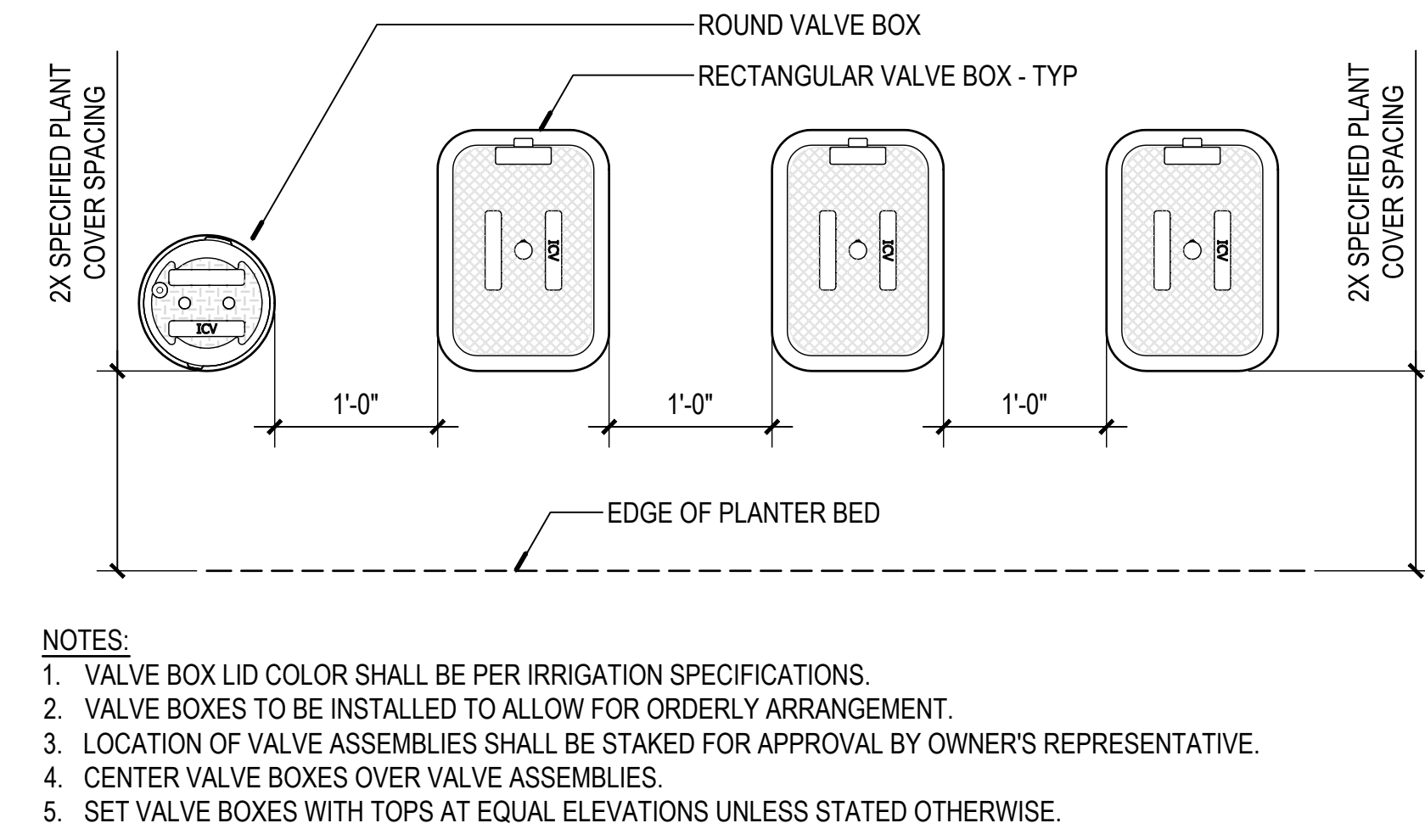
3 CONTROLLER - PEDESTAL MOUNT
SECTION NOT TO SCALE



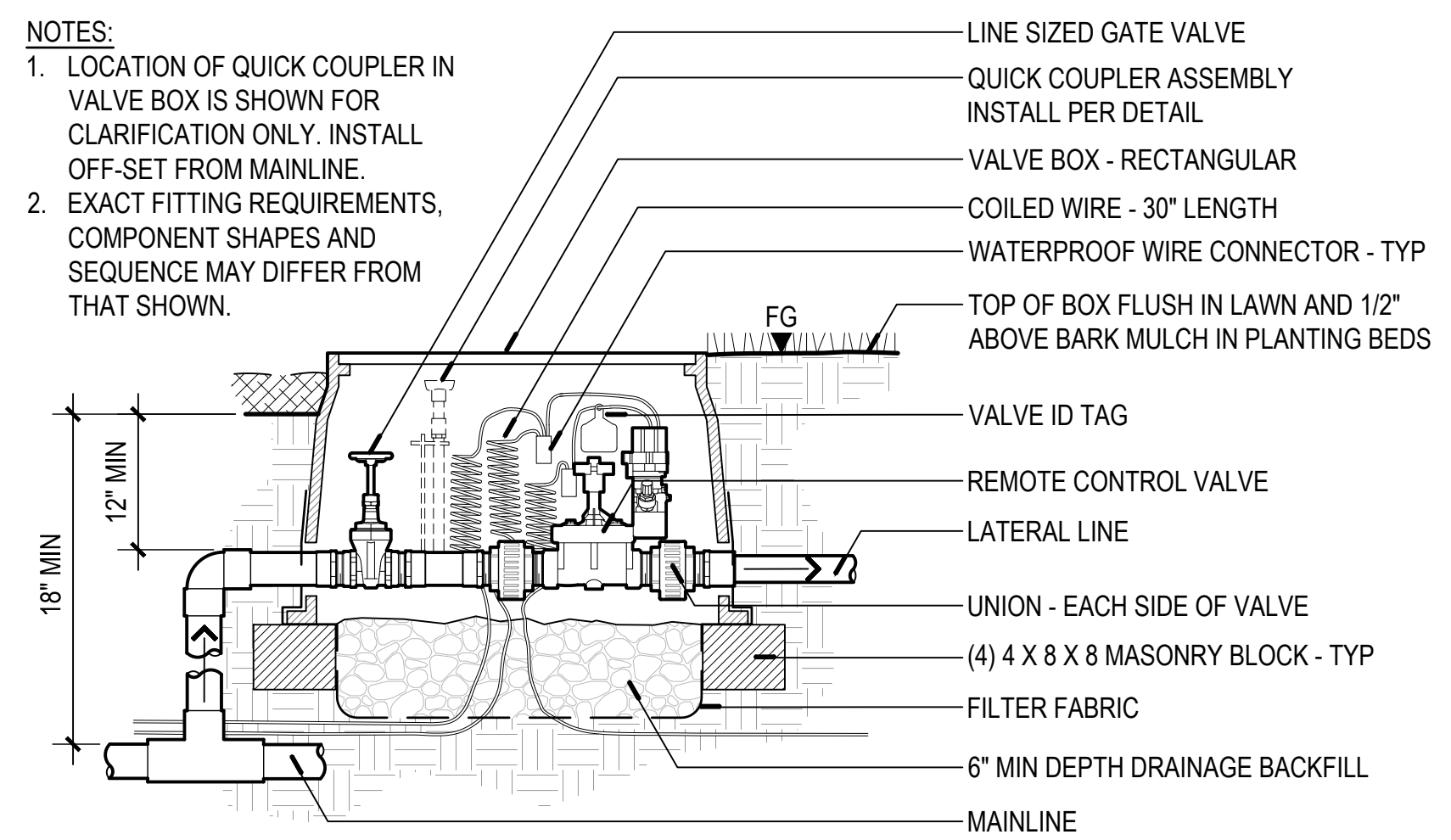
4 ROTOR HEAD - PVC SWING JOINT ASSEMBLY
SECTION NOT TO SCALE



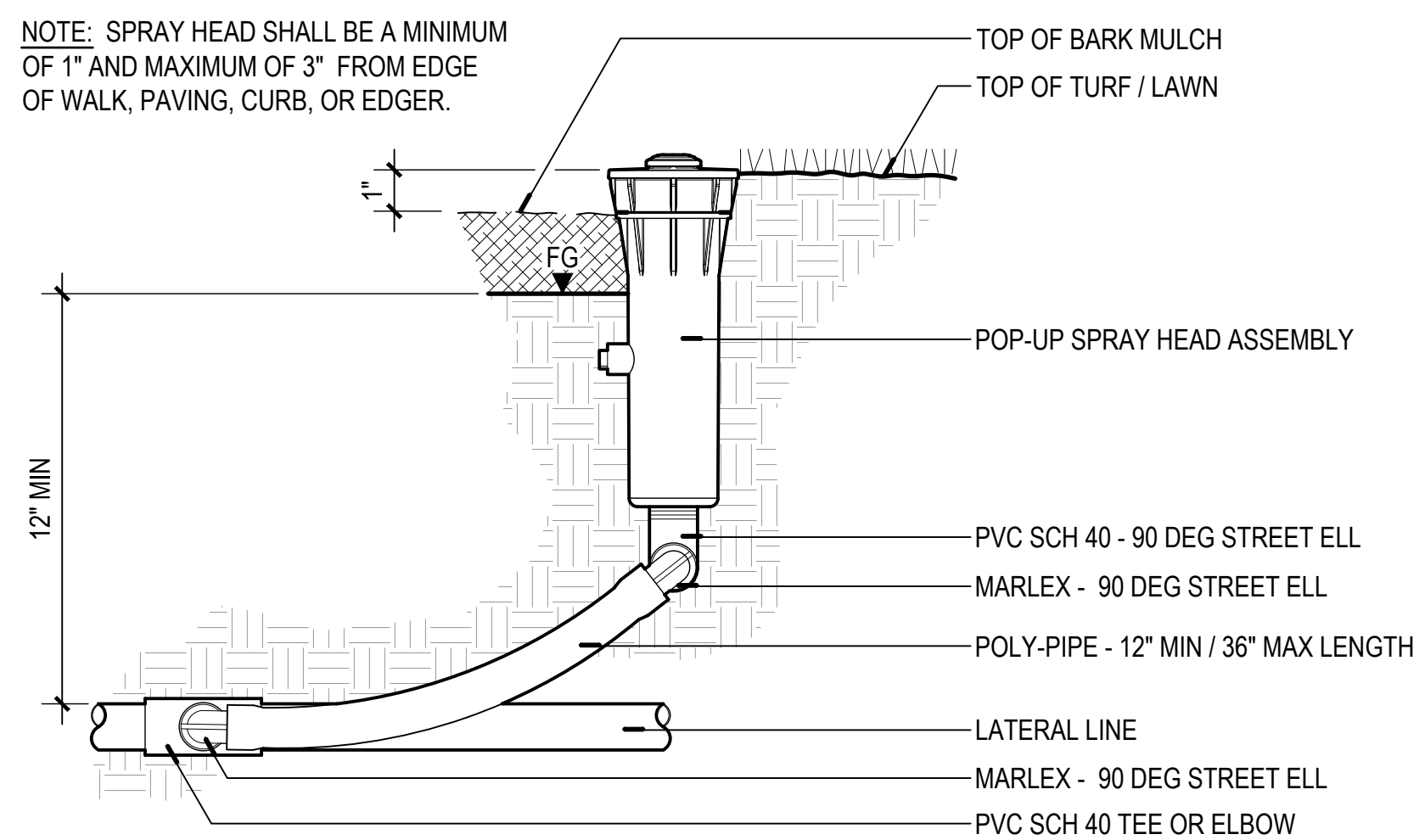
5 QUICK COUPLER VALVE ASSEMBLY
SECTION NOT TO SCALE



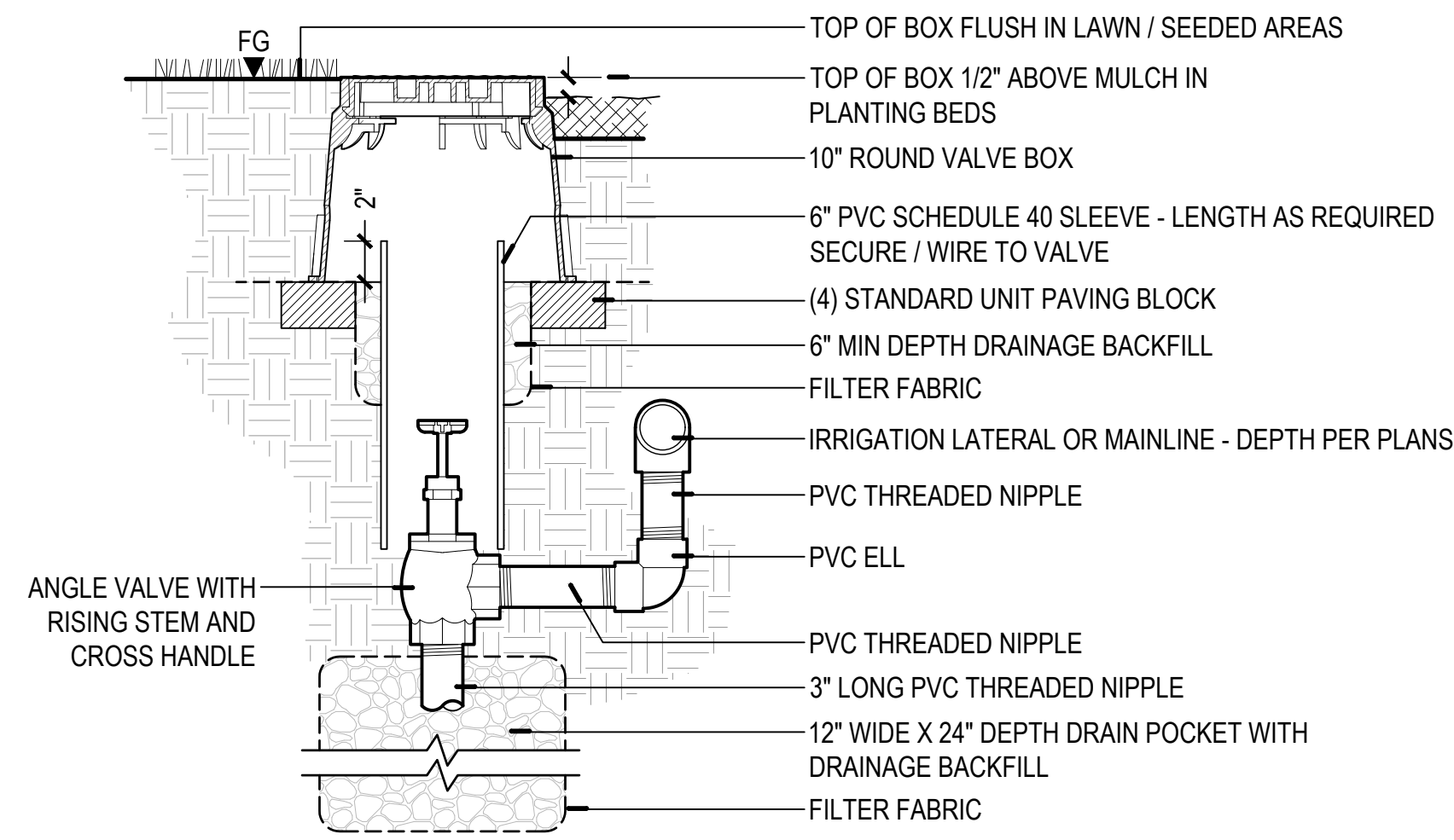
6 VALVE BOX LAYOUT
PLAN NOT TO SCALE



7 REMOTE CONTROL VALVE ASSEMBLY
SECTION NOT TO SCALE

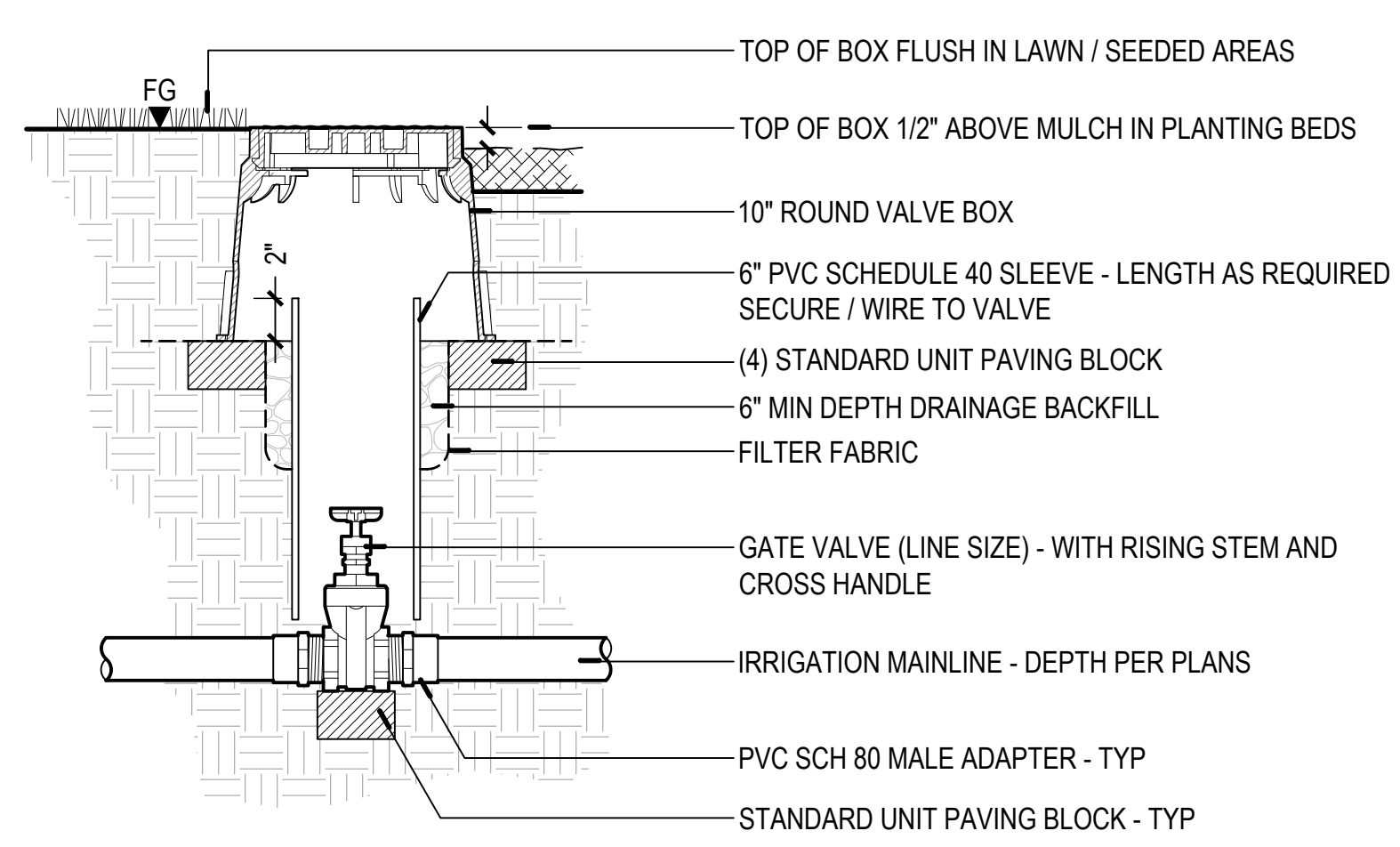


8 SPRAY HEAD - SWING JOINT ASSEMBLY
SECTION NOT TO SCALE



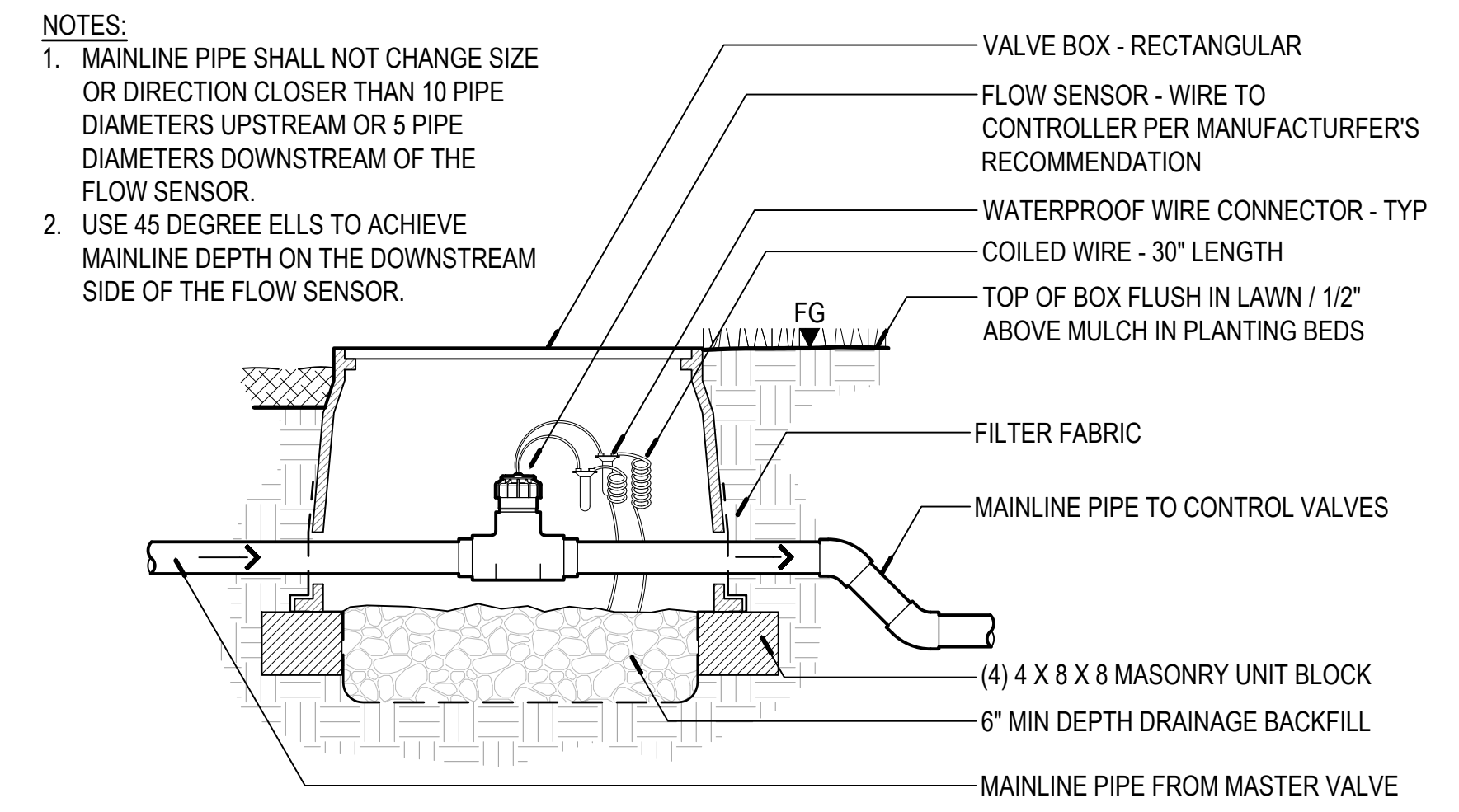
1 MANUAL DRAIN VALVE ASSEMBLY
SECTION

NOT TO SCALE



2 ISOLATION VALVE ASSEMBLY
SECTION

NOT TO SCALE



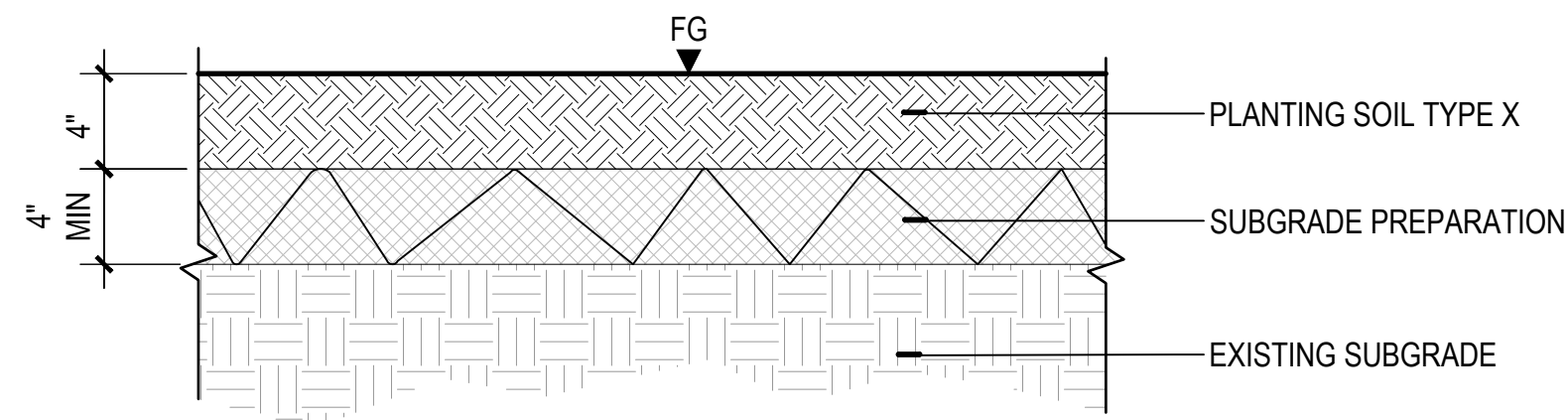
3 FLOW SENSOR
SECTION

NOT TO SCALE

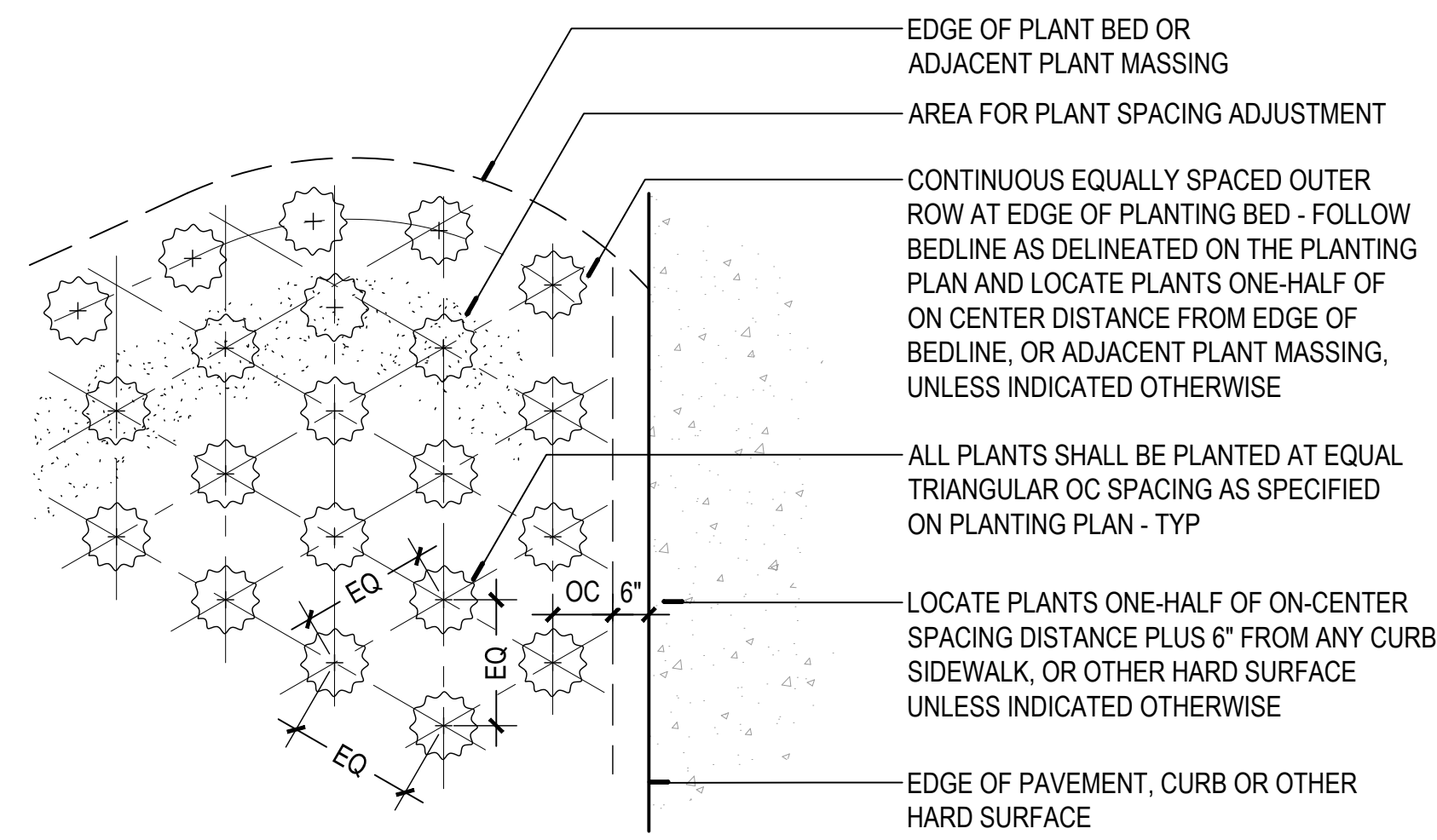
NOTES:

1. MAINLINE PIPE SHALL NOT CHANGE SIZE OR DIRECTION CLOSER THAN 10 PIPE DIAMETERS UPSTREAM OR 5 PIPE DIAMETERS DOWNSTREAM OF THE FLOW SENSOR.
2. USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH ON THE DOWNSTREAM SIDE OF THE FLOW SENSOR.

- NOTES:**
- CONFIRM THE SUBGRADE IS AT THE PROPER ELEVATION PRIOR TO FINAL PLANTING SOIL INSTALLATION.
 - SUBGRADE TO SLOPE TO SUBSURFACE DRAINAGE LINES AND AWAY FROM STRUCTURES IF PRESENT.

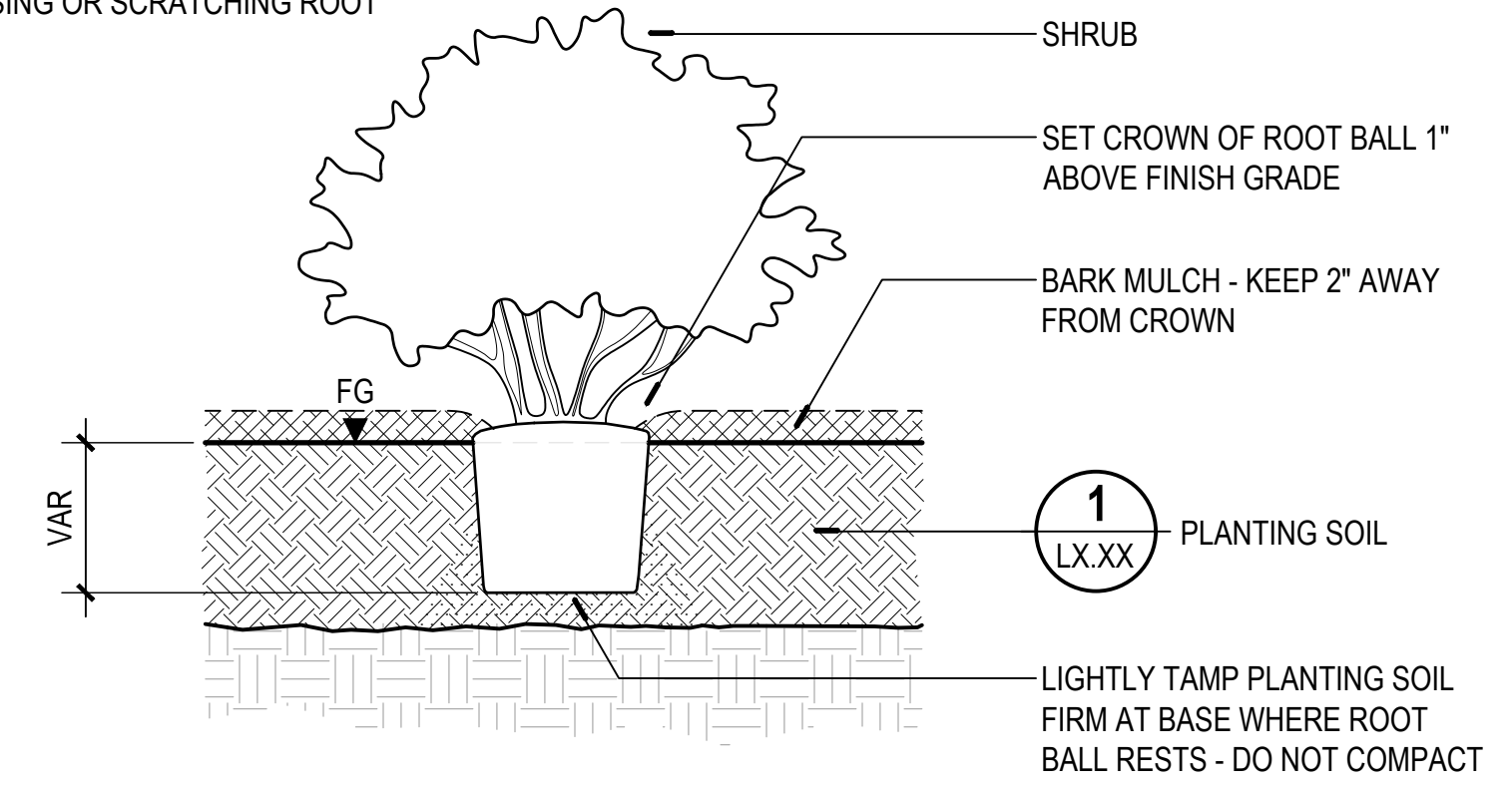


1 PLANTING SOIL TYPE X
SECTION NOT TO SCALE



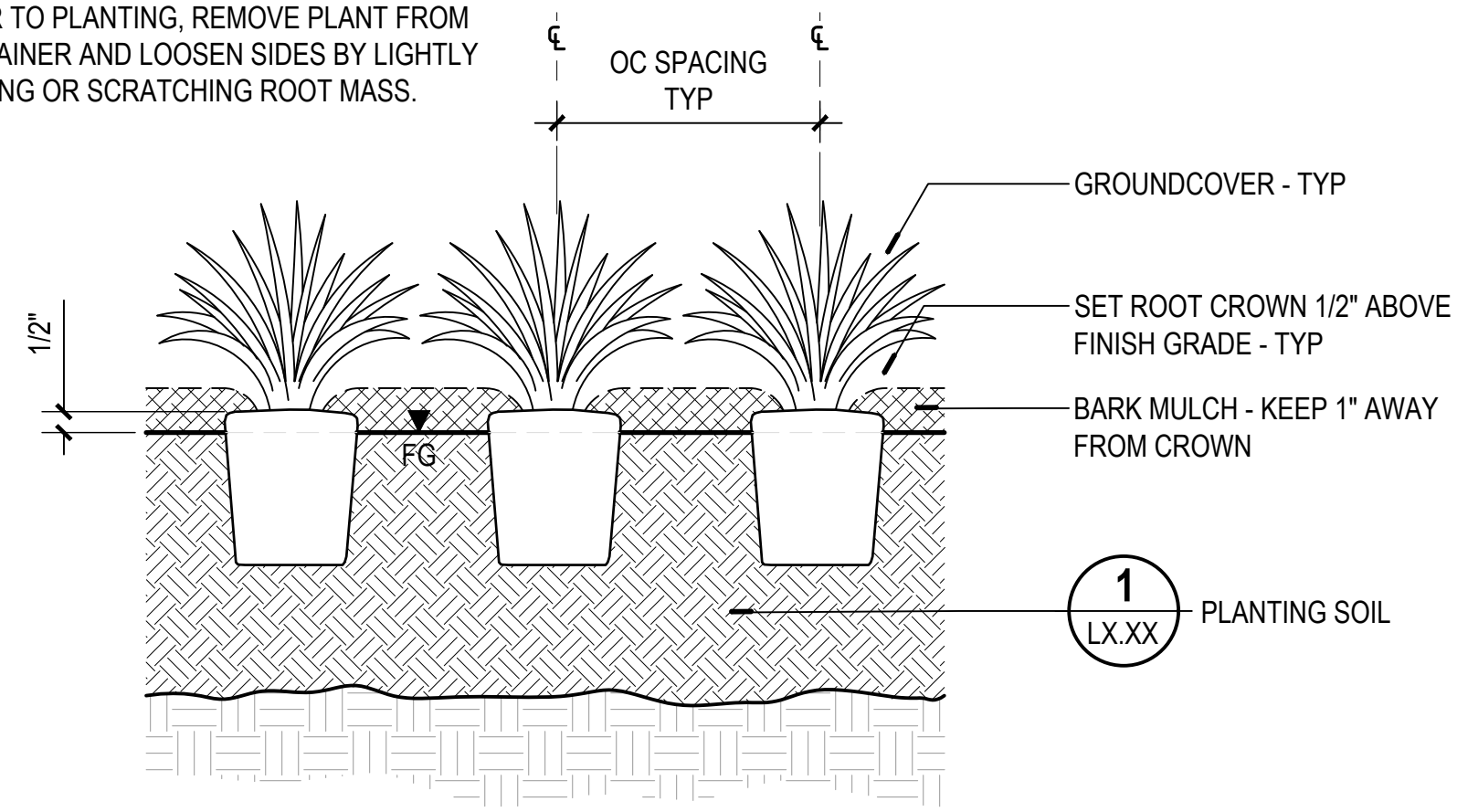
2 PLANT SPACING DIAGRAM
PLAN NOT TO SCALE

- NOTE:**
- PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.



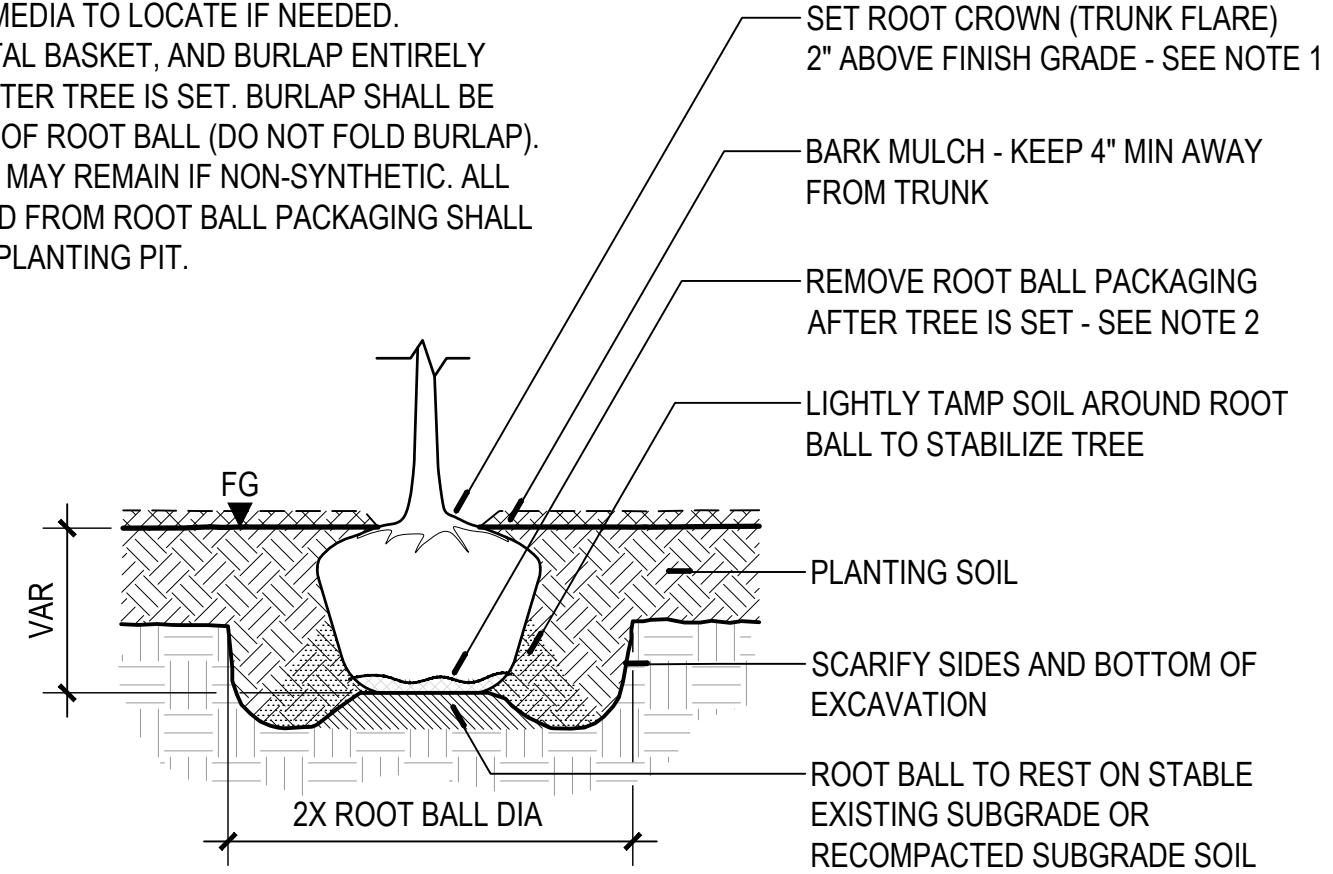
3 SHRUB CONTAINER PLANTING W/ PLANTING SOIL
SECTION NOT TO SCALE

- NOTE:**
- PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.

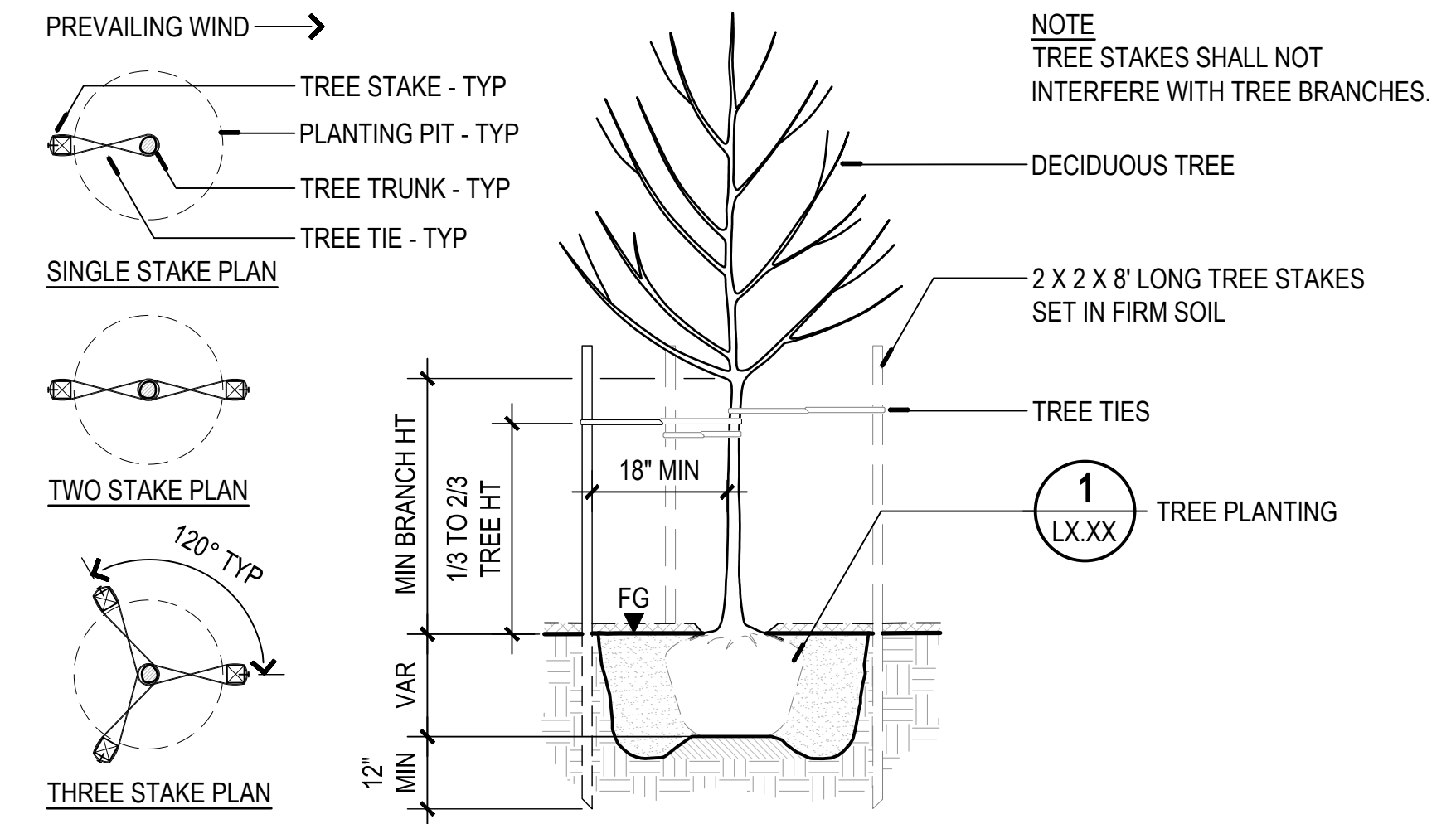


4 GROUNDCOVER PLANTING
SECTION NOT TO SCALE

- NOTES:**
- ROOT CROWN TO BE VISIBLE BEFORE TREE IS SET. REMOVE TOP OF ROOT BALL MEDIA TO LOCATE IF NEEDED.
 - REMOVE TWINE, METAL BASKET, AND BURLAP ENTIRELY FROM ROOT BALL AFTER TREE IS SET. BURLAP SHALL BE CUT DOWN TO BASE OF ROOT BALL (DO NOT FOLD BURLAP). BURLAP ON BOTTOM MAY REMAIN IF NON-SYNTHETIC. ALL MATERIALS REMOVED FROM ROOT BALL PACKAGING SHALL BE REMOVED FROM PLANTING PIT.



5 TREE PLANTING - B&B W/ PLANTING SOIL
SECTION NOT TO SCALE



6 DECIDUOUS TREE - STAKING
SECTION / PLAN NOT TO SCALE

Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit D – Stormwater Drainage
Report – Scott, Bowman-Brae and
Balfour Parks

(see separate PDF document)

Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit G – Property Deeds

25
15
11



After Recording Return To:

~~Metro~~ *City of Milwaukie*
~~Office of Metro Attorney~~ *10722 SE main st.*
~~600 NE Grand Avenue~~
~~Portland, OR 97232-2736~~ *Milwaukie, OR 97222*

Recorded By TICOR TITLE

SP

**Until a Change is Requested,
All Tax Statements Shall be Sent
to the Following Address:**

City of Milwaukie
Milwaukie City Hall
10722 SE Main Street
Milwaukie, OR 97222

**Clackamas County Official Records
Sherry Hall, County Clerk**

2008-004023



\$51.00

01180319200800040230050052

01/18/2008 10:28:58 AM

D-D Cnt=1 Stn=7 BARBARA
\$25.00 \$16.00 \$10.00

C 965991

STATUTORY WARRANTY DEED

John Patrick O'Malley ("Grantor"), conveys and warrants to the City of Milwaukie, an Oregon municipal corporation ("Grantee"), the real property located in the City of Milwaukie, County of Clackamas, State of Oregon ("Property") legally described on the attached Exhibit A, free of encumbrances except as specifically set forth herein: NONE.

The true and actual consideration for this conveyance is Three Hundred Twenty-five Thousand Dollars (\$325,000.00).

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES,

AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007.

Dated this 16 day of January, 2008.

John Patrick O'Malley
John Patrick O'Malley

Date: _____

STATE OF OREGON)
County of Clackamas) ss.

On this 16 day of January, 2008, before me, D I Herryly, the undersigned Notary Public, personally appeared the above-named John Patrick O'Malley, personally known to me (or proved on the basis of satisfactory evidence) to be the person whose name is subscribed to in this instrument, and acknowledged the foregoing instrument to be his voluntary act and deed.

D I Herryly
Notary Public for Oregon
My Commission Expires: _____



2

Exhibit A

Legal Description of the Property

Lots 17 and 18, Block 9, BONNIE VIEW ACRES PLAT NO. 4, in the City of Milwaukie, County of Clackamas, State of Oregon.


For reference only:

Tax account No.: 00009289, Tax Lot No.: 11E25CA 07000 (Lot 17)

Tax account No.: 00009270, Tax Lot No.: 11E25CA 06900 (Lot 18)

This conveyance is approved as to form and content and accepted by The City of Milwaukie.


THE CITY OF MILWAUKIE,
an Oregon municipal corporation

By: 
Michael Swanson
City Manager

Date: 01.16.08

~~STATE OF OREGON)
County of Clackamas) ss.~~

~~On this 16th day of January, 2008, before me, Kaylene S. Kirshen, the undersigned Notary Public for Oregon, personally appeared the above-named Michael Swanson, in his capacity as City Manager for The City of Milwaukie, an Oregon municipal corporation, personally known to me (or proved on the basis of satisfactory evidence) to be the person whose name is subscribed to this instrument and acknowledged to me that he executed the same freely and voluntarily.~~

~~
Notary Public for Oregon
My Commission Expires: June 7, 2010~~

A

This conveyance is approved as to form and content and accepted by The City of Milwaukie.

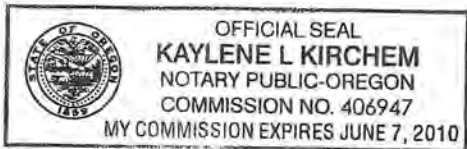
THE CITY OF MILWAUKIE,
an Oregon municipal corporation

By: _____
Michael Swanson
City Manager

Date: _____

STATE OF OREGON)
County of Clackamas) ss.

On this 16th day of January, 2008, before me, Kaylene L. Kirchem the undersigned Notary Public for Oregon, personally appeared the above-named Michael Swanson in his capacity as City Manager for The City of Milwaukie, an Oregon municipal corporation, personally known to me (or proved on the basis of satisfactory evidence) to be the person whose name is subscribed to this instrument and acknowledged to me that he executed the same freely and voluntarily.



Kaylene L. Kirchem
Notary Public for Oregon
My Commission Expires: June 7, 2010

9

Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit H – Amenity Image
Examples

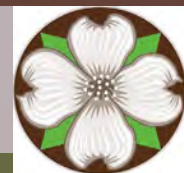




MAY 2023 BALFOUR PARK

OPTION C

HD 356 23C Color Option : A

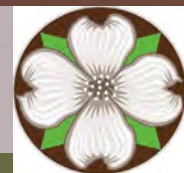


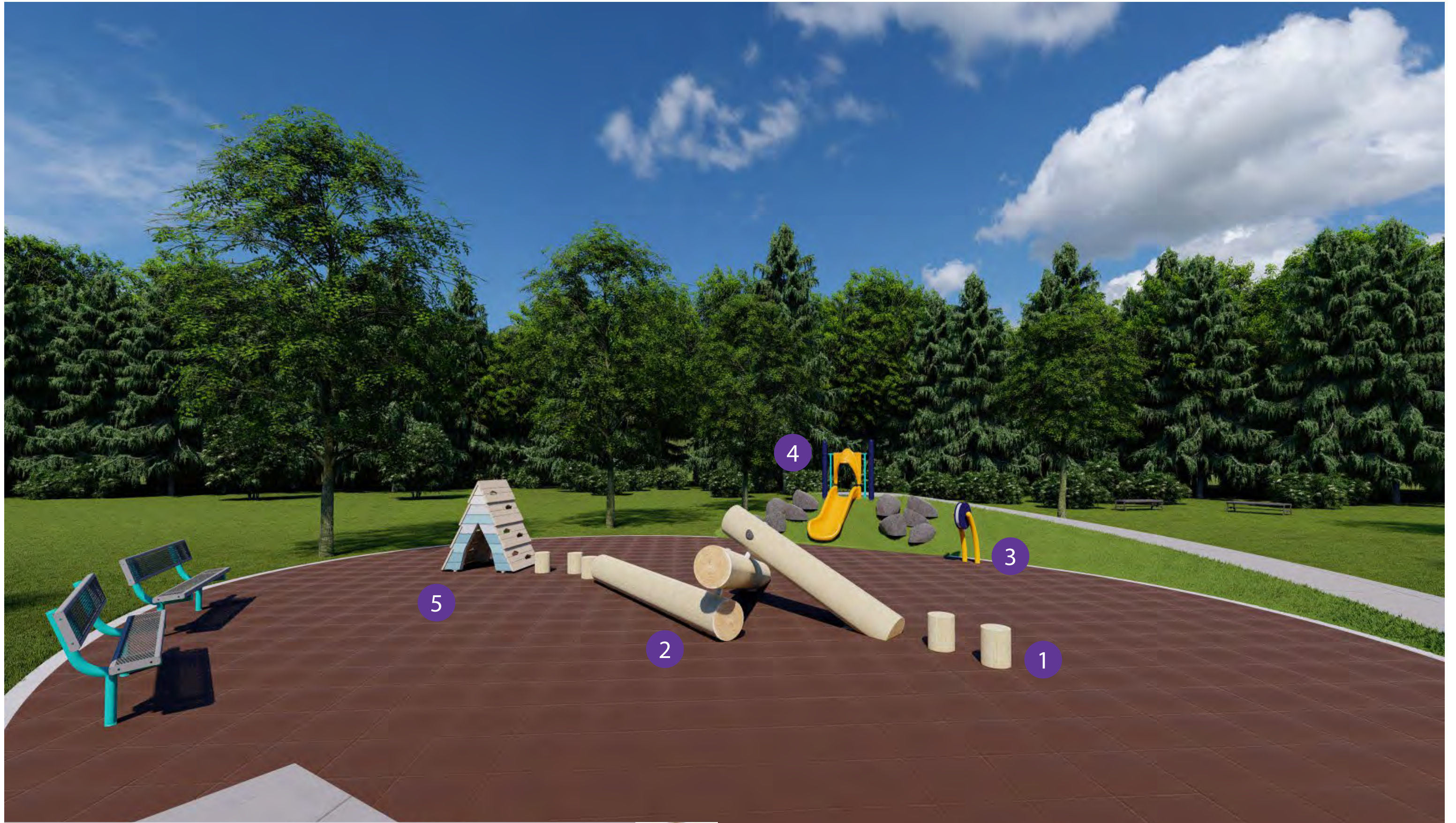


MAY 2023 BALFOUR PARK

OPTION C

HD 356 23C Color Option : A



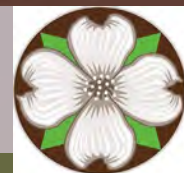


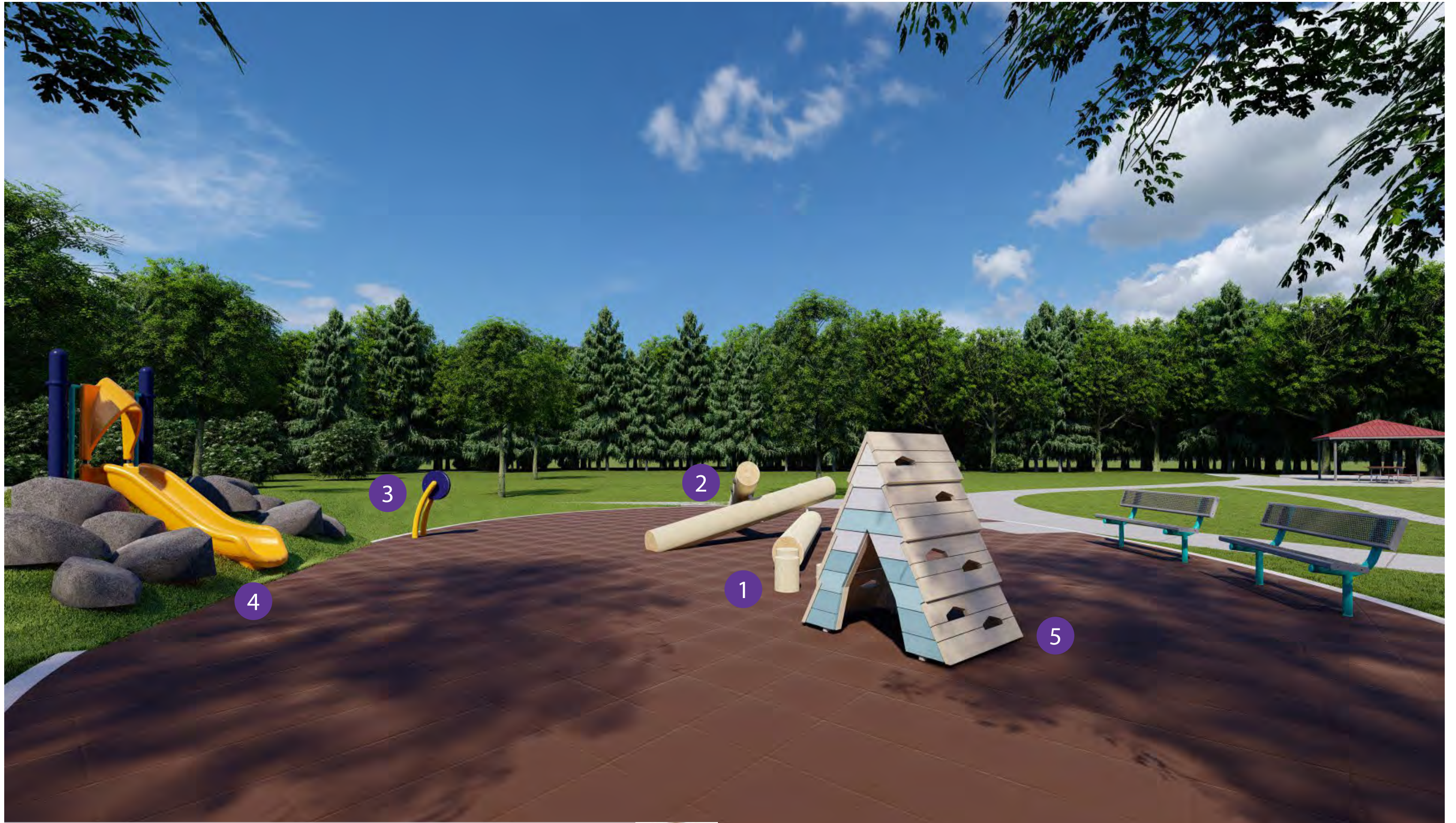
MAY 2023 BALFOUR PARK

OPTION D

HD 356 23D

Color Option : A



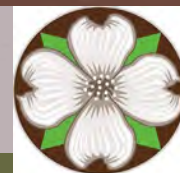


MAY 2023 BALFOUR PARK

OPTION D

HD 356 23D

Color Option : A



Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit K – Tree Inventory

Tree No.	Common Name	Scientific Name	DBH ¹	Single DBH ²	C-Rad ³	Condition ⁴	Structure
1312	red oak	<i>Quercus rubra</i>	34	34	36	good	fair
1315	sweet cherry	<i>Prunus avium</i>	26	26	12	poor	poor
1317	sweet cherry	<i>Prunus avium</i>	10,6	11	21	good	fair
1319	sweet cherry	<i>Prunus avium</i>	13	13	20	good	fair
1321	sweet cherry	<i>Prunus avium</i>	10	10	17	fair	fair
1323	sweet cherry	<i>Prunus avium</i>	14	14	19	good	fair
1325	sweet cherry	<i>Prunus avium</i>	23,23	32	28	fair	fair
1327	n/a	n/a	n/a	n/a	n/a	n/a	n/a
1330	wild plum	<i>Prunus americana</i>	10	10	9	poor	poor
1332	wild plum	<i>Prunus americana</i>	9	9	9	poor	poor
1334	wild plum	<i>Prunus americana</i>	8	8	7	poor	poor
1336	English holly	<i>Ilex aquifolium</i>	11	11	10	fair	fair
1343	horsechestnut	<i>Aesculus hippocastanum</i>	28	28	27	good	fair
1345	Colorado blue spruce	<i>Picea pungens</i>	24	24	17	good	fair
1347	Douglas-fir	<i>Pseudotsuga menziesii</i>	20	20	20	good	fair
1349	orchard apple	<i>Malus domestica</i>	10,10,9,7,6	19	24	good	fair
1351	sweet cherry	<i>Prunus avium</i>	13	13	20	good	fair
1353	red oak	<i>Quercus rubra</i>	17	17	22	good	fair
1355	Douglas-fir	<i>Pseudotsuga menziesii</i>	45	45	30	good	good
1356	deodar cedar	<i>Cedrus deodara</i>	35	35	33	good	fair
1358	Douglas-fir	<i>Pseudotsuga menziesii</i>	49	49	24	good	fair
1332.1	wild plum	<i>Prunus americana</i>	6	6	7	poor	poor

¹DBH is the trunk diameter in inches measured per International Society of Arboriculture (ISA) standards.

²Single DBH is the trunk diameter of a multi-stem tree converted to a single number according to the following formula: square root of sum of squares of individual trunk diameters.

³C-Rad is the approximate crown radius in feet.

⁴Condition and Structure ratings range from very poor, poor, fair, to good.

Comments	Treatment
multiple leaders at 18' with included bark	tbd
significant dieback, codominant at 2' with included bark, sloughing bark at lower trunk	tbd
codominant at ground level with included bark, one sided	tbd
one sided	tbd
moderately suppressed, marginal trunk taper	tbd
one sided, decay pocket at 3'	tbd
moderate branch dieback, codominant at ground level with included bark, top failures	tbd
same tree as 1325, connected at ground level	n/a
extensive top dieback, smothered by ivy	tbd
significant dieback and ivy	tbd
extensive dieback	tbd
top dieback, codominant at 5' with included bark	tbd
multiple large upright leaders at 15' with deep included bark, wound seams at lower trunk	tbd
branch dieback, moderately one sided, wound at lower trunk	tbd
moderately one sided, wound at lower trunk	tbd
multiple leaders at ground level, extreme lean, one sided, tree number not labeled on survey	tbd
codominant at 20', wound seam at root crown	tbd
moderately one sided	tbd
	tbd
one sided	tbd
codominant at 30'	tbd
significant dieback and ivy, added to site map in appropriate location by arborist	tbd

ot of the sum of the squared diameter of each trunk at 4½ feet above mean ground level.

Milwaukie Parks Land Use Planning
and Permitting

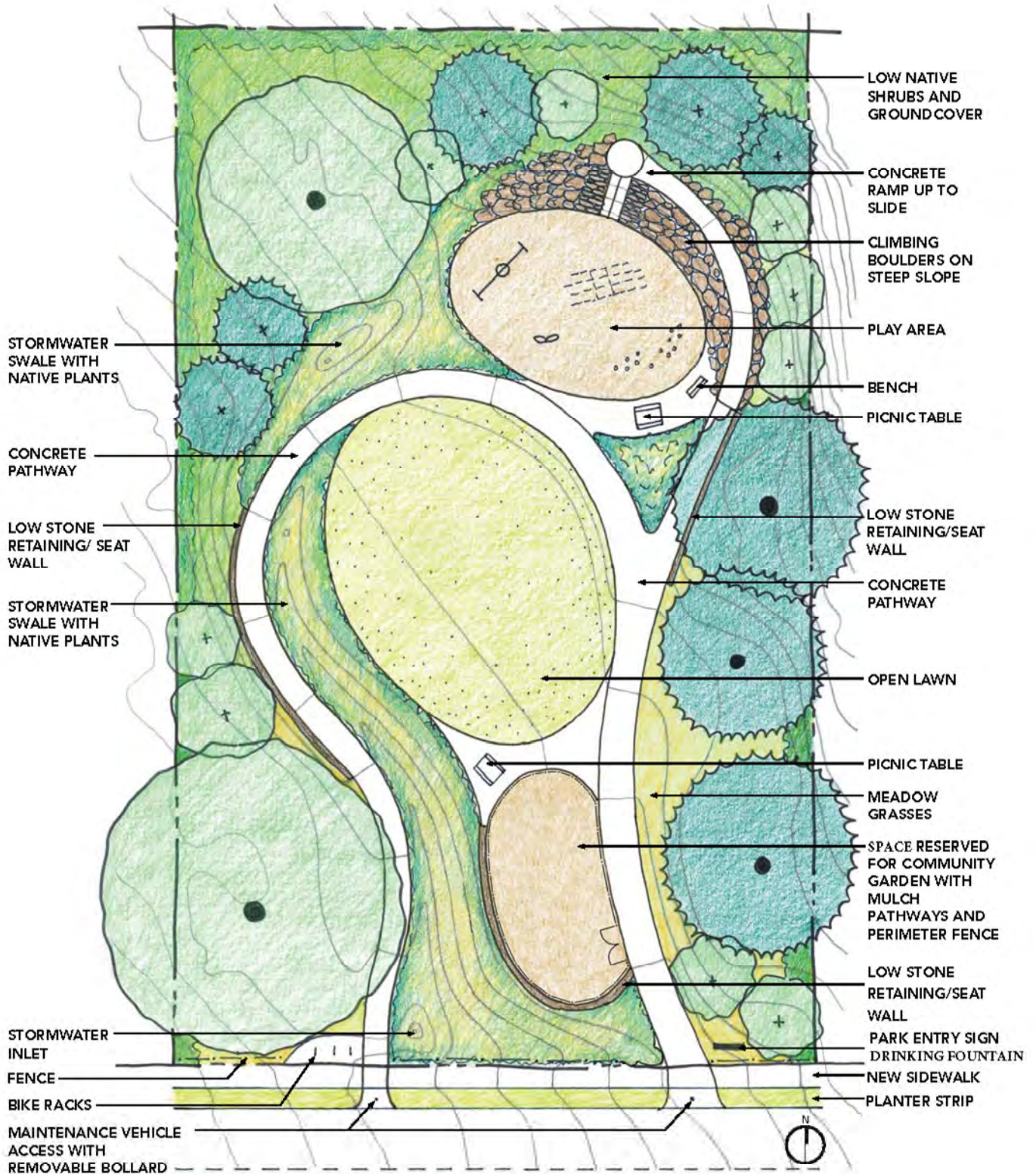
Balfour Park Application

Exhibit N – 2015 Master Plan

BALFOUR PARK MASTER PLAN

REFINED CONCEPT

APRIL 20, 2015



CITY OF MILWAUKIE

Application for the Adoption of the Balfour Park Master Plan as an Ancillary Document to the City of Milwaukie Comprehensive Plan

Date: May 12, 2015

Applicant: North Clackamas Parks and Recreation District
150 Beaver Creek Road
Oregon City, Oregon 97045

Contact: Katie Dunham
503-742-4358
kdunham@clackamas.us

Property Owner: City of Milwaukie

Property Address: Balfour Park
3103 SE Balfour Street
Milwaukie, Oregon 97222

MAP & Tax lot #s: Township 1 South, Range 1 East, Section 25CA, Tax Lot 6900 & 7000; Latitude 45° 27' 6.7764" N, Longitude 122° 37' 52.3091" W

Comprehensive Plan Designation: Low Density (LD)

Zoning Designation: R-7

Property Size: 0.80 acres

Request: Adoption of the Balfour Park Master Plan as an ancillary document to the City of Milwaukie Comprehensive Plan

INTRODUCTION

Action Requested

Adoption of the Balfour Park Master Plan as an ancillary document to the City of Milwaukie Comprehensive Plan.

Background and Site Description

Balfour Park is a .80 acre undeveloped neighborhood park site located in the Ardenwald/Johnson Creek neighborhood at 3103 S.E. Balfour St. in Milwaukie. The City of Milwaukie purchased the land in 2008 with funds from Metro's voter-approved 2006 natural areas bond measure. The property is owned by the City of Milwaukie and managed by the North Clackamas Parks and Recreation District (NCPRD) in accordance with an intergovernmental agreement. The site's existing steep topography and mature canopy of trees provide a unique opportunity for recreation on a site very special to the neighborhood.

Public Involvement and Planning Process

The site is an opportunity to create a neighborhood park for the residents of the area. Through a public process, NCPRD built consensus among interested parties around a common vision for the park. NCPRD and the City hosted two meetings during the fall of 2014 to discuss the park site and develop a park master plan. The public meetings were devoted exclusively to this subject and were held on September 24 and November 3, 2014. At the first public meeting site analysis and existing conditions materials were presented along with three initial master plan concepts. Meeting attendees were asked to actively participate in the group discussion and a breakout session with consultants and staff. After the first public meeting and throughout the project NCPRD and the City placed information on their websites for review and comment. Comments and suggestions were compiled, discussed, and incorporated into the design process. A final draft master plan was presented at the second public meeting. Interested citizens had the opportunity to provide additional input and the general consensus was positive. The project was also discussed numerous times with the Milwaukie Park and Recreation Board and the North Clackamas Park District Advisory Board. The public process is further described in the response to Chapter 4, Recreational Needs Element, Objective 3, within this document.

Proposal

The key goal of the master planning process for the Balfour Park was to develop a plan that protects the existing character of the site while accommodating the neighborhood needs for an interesting and engaging place for flexible active and passive recreation, provides for ease of maintenance and longevity, while providing a safe and enjoyable experience for the community. Based on field observations, site analysis, background data collection, and input from NCPRD, the City of Milwaukie, community groups and public at-large, the master plan was developed and refined to achieve this goal. There was clear support for keeping the existing character of the park intact. Elements of the plan are listed below. Additional details about proposed improvements are included in the attached master plan document submitted as part of this application.

Balfour Park Master Plan Elements:

- A nature play area
- A seating area with bench and picnic table
- A small ornamental planning area with educational signage or edible native plants
- A flexible open lawn area
- A community garden area

- A looped concrete pathway
- A small picnic area
- A stormwater swale with native planting
- Low retaining wall/seat walls
- New evergreen and deciduous trees
- Low maintenance, native landscape plants
- Half-street improvements
- Bike parking
- Drinking fountain
- Perimeter fencing

Plan Adoption Process

Since the City does not have a “Parks” or “Open Space” zone, except within downtown, the City employs the following two-step process to designate and develop publicly-owned parks.

Step 1—Master Plan Adoption. Master plan adoption, a legislative action requiring approval from City Council, is the process by which the City formally identifies a long range plan for a park. A master plan provides the conceptual framework for future development and investment and is the first step toward implementing the community’s vision for specific park improvements. Park development, which occurs in the second step, generally does not occur until the City has adopted a master plan.

Step 2—Master Plan Implementation. Master plan implementation generally occurs after master plan adoption and requires minor quasi-judicial review by the Planning Commission. Development plans submitted during this step must conform to the adopted master plan.

The requested action only relates to Step 1 of this two-step process, namely the adoption of the *Balfour Park Master Plan*. This master plan adoption process is to affirm the public’s future use of the site as a park and to guide future park funding, development, and investment.

In order to adopt the proposed master plan, the plan must conform to the City’s existing adopted policies and meet all relevant approval criteria contained in the Milwaukie Comprehensive Plan (MCP) and the Milwaukie Municipal Code (MMC).

The applicable MCP and MMC criteria are contained in the following sections and addressed below:

- MMC 19.902.3, including MCP Chapter 2 and Chapter 4
- MMC 19.902.4

Additionally, NCPRD must address the relevant aspects of the Metro Urban Growth Management Functional Plan and the relevant Statewide Planning Goals

CITY OF MILWAUKIE COMPREHENSIVE PLAN GOALS AND POLICIES

NCPRD is seeking adoption of the Balfour Park Master Plan as an ancillary document to the City of Milwaukie Comprehensive Plan (MCP). Per city staff, the applicable code criteria NCPRD must address for the text amendment and map amendment are MMC Chapter 19.902.3.B, and MMC 19.902.4. These are addressed below.

MMC 19.902.3 COMPREHENSIVE PLAN TEXT AMENDMENTS

Section 19.902.3 Comprehensive Plan Text Amendments

Changes to the text of the Milwaukie Comprehensive Plan shall be called Comprehensive Plan text amendments.

A. Review Process

Changes to the text of the Milwaukie Comprehensive Plan described in Subsection 19.902.2.A shall be evaluated through a Type V review per Section 19.1008

B. Changes to the Milwaukie Comprehensive Plan may be approved if the following criteria are met:

- 1. The proposed amendment is consistent with the goals and policies of the Comprehensive Plan, as proposed to be amended.**

The applicable components relevant to address are:

Chapter 2, PLAN REVIEW AND AMENDMENT PROCESS

Milwaukie Comprehensive plan (MCP) Chapter 2 – Plan Review and Amendment Process. GOAL STATEMENT: Establish a Plan review and amendment process as a basis for land use decisions, provide for participation by citizens and affected governmental units, and ensure a factual base for decisions and actions. Objective 1, Policies 3-7 are applicable:

- *Objective 1 Policy 3 – Individuals, the Planning Commission, or the City Council may request plan amendments at any time separate from the normal Comprehensive Plan Amendment application process...***

Response: The City of Milwaukie and North Clackamas Parks and Recreation District are requesting this plan amendment under an intergovernmental agreement. The City and District have requested that the Planning Commission and City Council review this application and hold a public meeting to discuss the application as part of the review process.

- *Objective 1 Policy 4 – Submit copies of proposed Plan change to affected government units at the draft amendment stage and following final adoption of changes.***

Response: This step will be completed by the City as part of the review process.

- *Objective 1 Policy 5 – All proposed Comprehensive Plan text and map amendments will be considered at advertised public hearings before the Planning Commission and City Council***

Response: This step will be completed by the City as part of the review process.

- *Objective 1 Policy 6 – All proposed Comprehensive Plan text and map amendments will be processed per the procedures in the Zoning Ordinance.***

Response: This step will be completed by the City as part of the review process

- **Objective 1.7 – All Comprehensive Plan text and map amendments will be evaluated based on the approval criteria in the Zoning Ordinance for approval of Comprehensive Plan amendments:**

Response: This step will be completed by the City as part of the review process. The current designation on Comprehensive Plan Map 7 (Land Use) for Balfour Park is Low Density (LD) and needs to be changed to Public (P) to further designate this property as a future park and prepare the property for future Community Service Use (CSU) approvals that will be needed for future development. NCPRD and the City are applying for both the comprehensive plan text and map approvals at this time. The Balfour Park property is suitable for a neighborhood park and to be designated as Public. The property is in an area planned for a neighborhood park within the NCPRD Master Plan and is developable as a neighborhood park.

Chapter 4, RECREATIONAL NEEDS ELEMENT, Objective 1, 3, and 5:

Milwaukie Comprehensive plan (MCP) Chapter 4 – Recreational Needs Element.

GOAL STATEMENT: To provide for the recreational needs of present and future City residents by maximizing use of existing public facilities, encouraging the development of private recreational facilities, and preserving the opportunity for future public recreational use of vacant private lands.

- **Objective 1 PARK CLASSIFICATIONS**

Response: Balfour Park is identified in the proposed Master Plan as a neighborhood park – A *“Neighborhood Park typically serves one neighborhood (within ½ mile radius), is often located by a school, and provides short duration activities (field sports, play, leisure time, etc.). Minimum size is (typically) one acre. The standard is 1 acre of neighborhood park per 1,000 residents”*. The plan is specifically consistent with this objective because Balfour Park is an existing public property, currently owned by the City of Milwaukie, is .80 acres, and the Master Plan provides for park elements that typically serve one neighborhood. Ardenwald and Water Tower Park are the two other neighborhood parks located within ½-mile of the proposed Balfour Park in the Ardenwald-Johnson Creek neighborhood. The neighbors, District, and City purposefully proposed park elements that are different from the two other developed parks within the neighborhood while planning for Balfour Park. The proposed elements of the park include a Nature Play area, small seating and picnic areas, landscaping, a flexible open lawn area for informal play and gatherings, a community garden with a perimeter fence and gate, and a looped concrete pathway. These are all elements that facilitate activities that will provide places for the neighborhood to gather, play, and relax.

- **Objective 3 INTERGOVERNMENTAL COOPERATION**

Response: The Balfour Park Master Plan meets the goal of Objective 3 through the partnership between NCPRD and the City of Milwaukie strengthened by the Intergovernmental Agreement with the City. The property was originally acquired in 2008 by the City of Milwaukie in partnership with Metro and funded by the Metro 2006 voter-approved bond measure. NCPRD is currently maintaining and managing the future park site through the intergovernmental agreement. This master plan was completed through funding provided by NCPRD and in partnership with the City of Milwaukie. Citizen involvement was instrumental in developing the Balfour Park Master Plan (the Plan). NCPRD and City staff worked with park neighbors and the neighborhood association and park users played a major role in developing the Plan. NCPRD organized two public meetings to obtain input and ideas for park improvements. The public meetings were devoted exclusively to this subject and were held on September 24 and November 3, 2014. Following each public meeting plans were posted to an online project website and advertised by both the City and NCPRD. The project was also discussed and shared with the Milwaukie Park and

Recreation Board and the NCPRD District Advisory Board. The District Advisory Board reviewed the Balfour Park Master Plan on January 15, 2015 and endorsed moving forward with this application. In addition to public meetings, neighbors, and park users were encouraged to voice their comments and concerns throughout the design process. Many comments were received via phone conversation, e-mail, and comment cards and incorporated into the plan whenever possible. The key goal of the planning process was to develop a plan that minimizes environmental and property impacts, provides for ease of maintenance and longevity, while providing a safe and enjoyable experience for the community. NCPRD and the City are committed to working together toward future implementation of the plan and partnership in managing the park.

- **Objective 5 NEIGHBORHOOD AND COMMUNITY PARKS**

Response: The City and NCPRD share the goal of developing a City-wide park and recreation system which meets the needs of neighborhoods, the City, and the District as a whole. As stated in Policy #1, Balfour Park is in a location that is convenient for residents of the neighborhood, and has access to Balfour Road, a public street.

As stated in Policy #2, the proposed Balfour Park Master Plan park elements are intended to serve the needs of residents of that neighborhood only and will not contain large, highly structured facilities which may attract users from outside the neighborhood. Additionally, it is the intention of neighbors and community members that attended the public meetings and submitted comments during the public process that the park not include a basketball court or park picnic shelter, which are located at other nearby neighborhood parks (Ardenwald Park and Water Tower Park), and which neighbors believed would draw people from areas other than the directly surrounding neighborhood.

The proposed plan is also consistent with Policy #4, as the Balfour Park Master Plan does not propose any major structured recreational facilities (including lighted baseball and soccer fields, pools, tennis courts, etc.), which would be more appropriate for a community park or special use facility.

The change is in conformance with applicable Statewide planning goals:

Response: The plan is consistent with the following applicable statewide planning goals:

Goal 1: Citizen Involvement. Citizen involvement was instrumental in developing the Balfour Park Master Plan (the Plan). Please see the response to Chapter 4, Recreational Needs Element, Objective 3, Intergovernmental Cooperation, above. NCPRD strives to develop plans that minimize environmental and property impacts and provide for ease of maintenance and longevity while providing a safe and enjoyable experience for the community.

Goal 2: Land Use Planning. See response to MCP Chapter 4 – Land Use, above.

Goal 5: Open Space, Scenic, and Historic Spaces, and Natural Resources. The proposed Balfour Park Master Plan will serve to conserve Balfour Park as open space and preserve and enhance it as a park. There are no identified riparian values on the site. The proposed plan strives to protect this site's wildlife habitat values through preserving significant habitat trees along the north edge of the park and along the park boundaries. Additionally, the plan includes planting additional native plants within the park.

Goal 8: Recreational Needs. See response to Chapter 4, Recreational Needs Element, Objective 1, 3, and 5 above.

The proposed enhancements outlined in the Plan will comply with all applicable regional, state and federal regulations prior to and during any construction activity. There are no floodplains, creeks, wetlands, or designated Habitat Conservation Areas identified within the park site. Any work performed will comply with all applicable City regulations in effect at the time of land use application.

The proposed amendment is consistent with the Metro Urban Growth Management Functional Plan and relevant regional policies:

Response: The Plan conforms to the Metro Growth Management Functional Plan, specifically, Title 12, Protection of Residential Neighborhoods, Access to Parks and Schools. The proposed Balfour Park will meet a level of service standard of ½-mile access for neighborhood residents. The park is accessible by walking, biking and transit. TriMet bus 75 stops .10 miles away from the proposed park, at SE 32nd Avenue & SE Harvey Street.

Title 3 (Water Quality and Flood Management) and Title 13 (Habitat Conservation Areas) don't apply to the Balfour Park site.

MMC 19.902.4 COMPREHENSIVE PLAN MAP AMENDMENTS

Changes to the maps of the Milwaukie Comprehensive Plan shall be called Comprehensive Plan map amendments.

A. Review Process

Changes to the maps of the Milwaukie Comprehensive Plan described in Subsection 19.902.2.C shall be evaluated through either a Type IV review per Section 19.1007, or Type V Review, per Section 19.1008...Generally, Comprehensive Plan map amendments that involved 5 or more properties or encompass more than 2 acres of land are legislative and nature and subject to Type V review. Comprehensive Plan map amendments that involve fewer properties and encompass a smaller area of land are quasi-judicial in nature and subject to Type IV review.

Response: The proposed changes to the Milwaukie Comprehensive Plan, Comprehensive Plan Map 7, to reclassify Balfour Park from Low Density (LD) to Public (P) falls under a Type IV review because the amendment only involves one property containing two tax lots and is only 0.80 acres of land.

B. Changes to the maps of the Milwaukie Comprehensive Plan shall be evaluated against the approval criteria in Subsection 19.902.3.B...

Response: The plan conforms to the approval criteria in Subsection 19.902.3B, as outlined in the application responses above.



CITY OF MILWAUKIE & NORTH CLACKAMAS PARKS AND RECREATION DISTRICT

BALFOUR PARK MASTER PLAN

FINAL REPORT 04.20.2015

lango . hansen



ACKNOWLEDGEMENTS

NCPRD BOARD OF DIRECTORS (CLACKAMAS COUNTY BOARD OF COMMISSIONERS)

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Vice Chair Jim Bernard
Martha Schrader
Paul Savas
Too. e Smith

DISTRICT ADVISORY BOARD (DAB)

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Resource Manager
Katie Dunham, CPRP, Senior Planner
Kevin Cayson, Park Maintenance Supervisor
Tonia Burns, Natural Resource Coordinator

LANGO HANSEN LANDSCAPE ARCHITECTS

Kurt Lango, RLA, Principal
Heidi Baker, RLA, Associate

KPFF CIVIL ENGINEERS

Ryan Milkowski

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Lynn Sharp
Ray Harris
Tony Andersen

CITY OF MILWAUKIE

Steve Butler, Community Development Director
Jason Rice, Engineering Director

SPECIAL THANKS TO:

Residents of NCPRD and the City of Milwaukie who
contributed to this master planning process.

For more Information, contact:
NCPRD
150 Beaver Creek Road, 4th Floor
Oregon City, OR 97045
503-742-4348
www.ncprd.com

INTRODUCTION

INTRODUCTION

This master plan was developed in partnership between the City of Milwaukie and North Clackamas Parks and Recreation District (NCPRD). Balfour Park is a 0.8-acre, undeveloped neighborhood park site located in the Ardenwald - Johnson Creek neighborhood at 3103 S.E. Balfour St. in Milwaukie, Oregon. The City of Milwaukie purchased the land in 2008 with funds from Metro's voter-approved 2006 natural areas bond measure. The site's existing steep topography and mature canopy trees provide a unique opportunity for recreation on a site very special to the neighborhood.

MISSION STATEMENT

Protect the existing character of the site while accommodating the neighborhood needs for an interesting and engaging place for flexible active and passive recreation. Through design, promote a sense of ownership by neighbors.

SCOPE OF PROJECT

The Balfour Park property offers the potential for a much needed place for neighbors to come together and enjoy both active and passive recreation. The master plan for the park addresses the functional needs of the park site such as circulation and Right-of-Way improvements, and provides a framework for reshaping the site so that it can meet the neighborhood's recreation needs. An open and interactive approach to the master planning process engaged City and District staff as well as neighbors and community members to create a lasting plan to guide future implementation of the park.

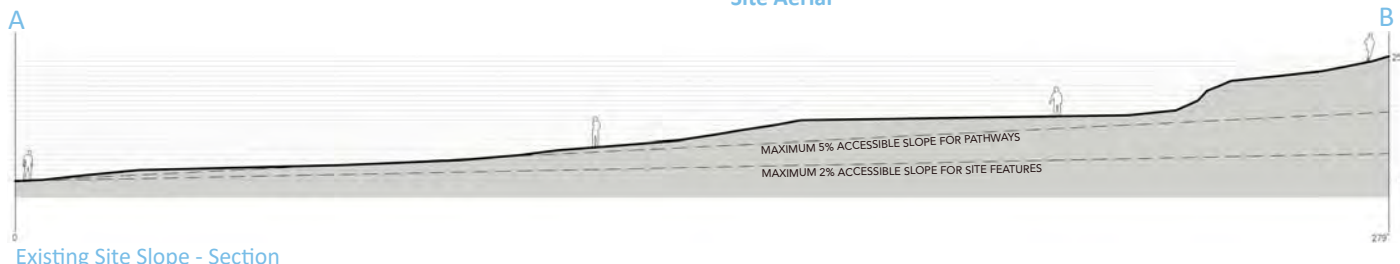
The Master Plan for the park includes active recreational use areas, passive use areas, storm water treatment, signage, landscaping, accessible pathways and site features including benches and picnic tables, an accessible play area, a possible community garden space, fencing and maintenance vehicle access.



Context Aerial



Site Aerial



Existing Site Slope - Section

SITE DESCRIPTION

PARK CLASSIFICATION

NCPRD defines a neighborhood park with the following:

- Serves as the recreational and social space of the neighborhood
- May provide opportunities for natural areas, informal activities, and passive recreation
- Typically includes playgrounds, picnic areas, natural areas, trails, open grass areas for passive use, outdoor basketball courts, and/or multi-use sports fields
- On-site parking and restrooms are not typically provided
- Typically serve an area of an approximately 1/2 to 1-mile radius
- Typically vary in size from 1/2 to 5 acres
- Examples of neighborhood parks are Water Tower Park and Ardenwald Park

NCPRD and the City of Milwaukie strive to use native plants whenever possible and provide long-lasting and easy to maintain site furnishings within parks.

MASTER PLANNING : SITE ASSESSMENT

The first step in the Master Planning process was to gather information related to the existing conditions of the site and City Code requirements. Using GIS information, a site analysis aerial was compiled for use throughout the master planning process. Site visits were conducted to gather information about existing site features including fencing and tree species. Interviews with City and District staff to understand site specific issues were performed. KPFF Civil Engineers provided resources related to storm water treatment requirements.

Information gathered during the initial phase was compiled into a single site analysis drawing along with existing site photos to illustrate the existing conditions and opportunities and constraints. The site analysis drawing and site photos were shared with City and District Staff for comments prior to the initial public meeting.

MASTER PLANNING : SITE ANALYSIS

The existing site is bordered by single family residences on the north, east and west sides. The south edge of the site is adjacent to the SE Bowman Street Right-of-Way. Existing fences line the majority of the park property. The northwest corner of the site is not fenced. Several large significant trees exist on the site included in a tree inventory completed as part of this project, as well as many smaller shrubs and fruit trees. The site slopes about 24' from the northeast corner down to the southwest corner. Because of the steepness of the site, several trees located in the middle of the site may need to be removed to accommodate site grading that is necessary to make the site usable and accessible. NCPRD will prioritize protection of the most significant trees. An official site survey documenting the location and species of all trees will be conducted once the District has funding for construction and moves toward development. Additionally it is recommended that an arborist be consulted to verify the health of existing trees and future maintenance requirements.

HISTORY : EARLY NEIGHBORHOOD INVOLVEMENT

As part of the site analysis, we reviewed the previous master plan concept that was developed by the Neighborhood Association in 2011. The Ardenwald - Johnson Creek Neighborhood Association is very interested in and committed to the future development of this park site. To promote awareness of the park property, over the past several years, they have been holding native plant sales and other events to raise money to support the future development of the park. The neighborhood association used funds they had raised to commission a design for the park from Mayer/Reed Landscape Architects. This preliminary design was a compilation of site elements neighbors were interested in seeing within the park. It was meant to show a range of possibilities for site elements and express the feel of the park the neighbors were interested in. To attain neighbor interest, the Neighborhood Association held a survey and questioned neighbors at a movie night at nearby Ardenwald Park and at the Milwaukie Farmers Market. This early concept plan was not a part of the City or District's official public process.

As part of this master planning process, the neighborhood's early concept plan developed by

BALFOUR PARK MASTER PLAN

EXISTING CONDITIONS & OPPORTUNITIES AND CONSTRAINTS



SITE DESCRIPTION, CONT.

Mayer/Reed was adjusted to fit the actual site dimensions, and amended to show the existing site contours received from GIS data. The early design concept was then redrawn with the new site context data to show how the site dimensions and contours affected the initial proposed concept.

To ensure the park design relates to the existing site conditions and appeals to a wide variety of users, three initial design options were developed to include a wide array of site elements that might typically be found within a neighborhood park in Milwaukee.



LEGEND

1 - Community Garden	4 - Picnic Area	7 - Bike Rack	10 - Bridge
2 - Dog Run	5 - Drinking Fountain	8 - Gravel Walking Path	11 - Screening Vegetation
3 - Play Area	6 - Water Play	9 - Dry Stream	12 - Shrub Planting

Early Concept Plan - Commissioned in 2011 by Neighborhood Association

MAINTENANCE CONSIDERATIONS

Throughout the design process, NCPRD maintenance staff were consulted so that the park would be designed to facilitate maintenance requirements. In addition to a pathway for maintenance vehicle access, the location of site furnishings and types of plant material were coordinated with maintenance staff.

PUBLIC PROCESS

PUBLIC PROCESS

As part of this master planning process, two public meetings were held to discuss design options and gather neighbor feedback. At the first public meeting, the site analysis and existing conditions materials were presented along with three initial master plan concepts. Meeting attendees were asked to actively participate in the group discussion and a breakout session with consultants and staff. After the first public meeting, comments were compiled and discussed with the City and NCPRD and incorporated in the design process. A final draft master plan concept was presented at the second public meeting.

NEIGHBORHOOD FEEDBACK

In general, the neighbors like the natural feel of the existing park site and want to protect as many of the existing mature trees as possible. Native planting is important to them, and there is a desire for edible plants if possible. The neighbors also expressed an interest in community gardens, an open flexible lawn, contemplative areas, areas for all ages of children to play, a unique nature play area with places for climbing, and places for sitting such as picnic tables and benches. There was also an interest in a drinking fountain located near the sidewalk. There was consensus for keeping a smaller looped pathway similar to the pathway in Option 1, located farther to the south. The neighbors also had a preference for locating the play area on the north side of the site in order to incorporate the slope with the open lawn in the center.

There was also a general consensus that structured active recreation such as a half basketball court was not desired.

MASTER PLAN CONCEPT

MASTER PLANNING : CONCEPT DEVELOPMENT

The City will require half-street development standards as part of the future site development. NCPRD and the City have a number of park and site development standards that must be included in all concept plan development; therefore, all three of the initial concept plans included the following: a curb cut to allow maintenance vehicles to access the site, a removable bollard to prevent unauthorized vehicles from entering the site, three bike racks, an entry sign, and low perimeter screening shrub planting to delineate and soften the park boundary while maintaining views into the park from the street frontage.

Design of the park master plan incorporates principles from Crime Prevention Through Environmental Design (CPTED) which includes keeping planting low to allow views into and through the park, keeping evergreen trees limbed up to prevent hiding spots, and maintaining clear entrances.

DEVELOPMENT PROPOSAL / ELEMENTS

The final master plan site improvements include:

- A nature play area with built-in slide and rock climbing slope
- A seating area with bench and picnic table near the play area
- A small ornamental planting area next to the play area with potential for educational signage and/or edible native plants
- A flexible open lawn area for informal play and gatherings
- A small flexible community garden area with a perimeter fence and gate
- A looped concrete pathway, wide enough to accommodate maintenance access to the play area
- A small paved area with a picnic table adjacent to the lawn
- A stormwater swale with native planting
- Low retaining/seat walls to hold the grade and provide seating opportunities
- New evergreen and deciduous trees
- Low-maintenance, native landscape plants
- Half-Street improvements
- Bike parking
- Drinking fountain
- Perimeter fencing

The design for the community garden, planting, and play area are general in nature and intended to be refined further with specific elements and locations once the District has funding for the park and moves toward development. Development of the community garden area will be based on neighborhood demand and the commitment by a group to assume management and maintenance responsibilities.

SUMMARY

NCPRD will make improvements to the park when funding for the whole park is available. This plan will make it possible for NCPRD to apply for grants and solicit partnerships to help complete improvements. Initial cost estimates were developed and provided to NCPRD to provide an initial estimate for future budgeting and planning purposes. The cost estimates and project elements are subject to change due to further refinements that may occur as the final park design is completed.

This plan is conceptual in nature. Final decisions regarding dimensions, materials and precise locations of improvements will be determined per all applicable regulatory requirements and as funding is available.

NCPRD will coordinate improvements with the City of Milwaukie and will follow necessary land use processes to ensure elements are consistent with all City policies and codes.

BALFOUR PARK MASTER PLAN

REFINED CONCEPT

APRIL 20, 2015

