

**MILWAUKIE PLANNING**  
 6101 SE Johnson Creek Blvd  
 Milwaukie OR 97206  
 503-786-7630  
 planning@milwaukieoregon.gov

# Application for Land Use Action

Primary File #: **CSU-2023-003**

Review type\*:  I  II  III  IV  V

**CHECK ALL APPLICATION TYPES THAT APPLY:**

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or         | <input type="checkbox"/> Land Division:                    | <input type="checkbox"/> Planned Development                |
| <input type="checkbox"/> Comprehensive Plan Map           | <input type="checkbox"/> Final Plat                        | <input type="checkbox"/> Residential Dwelling               |
| <input type="checkbox"/> Amendment                        | <input type="checkbox"/> Lot Consolidation                 | <input type="checkbox"/> Manufactured Dwelling Park         |
| <input type="checkbox"/> Zoning Text Amendment            | <input type="checkbox"/> Partition                         | <input type="checkbox"/> Manufactured Dwelling              |
| <input type="checkbox"/> Zoning Map Amendment             | <input type="checkbox"/> Property Line Adjustment          | <input type="checkbox"/> Temporary Dwelling Unit            |
| <input type="checkbox"/> Code Interpretation              | <input type="checkbox"/> Replat                            | <input type="checkbox"/> Transportation Facilities Review** |
| <input checked="" type="checkbox"/> Community Service Use | <input type="checkbox"/> Subdivision                       | <input type="checkbox"/> Variance:                          |
| <input type="checkbox"/> Conditional Use                  | <input type="checkbox"/> Mixed Use Overlay Review          | <input type="checkbox"/> Use Exception                      |
| <input type="checkbox"/> Development Review               | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance                           |
| <input type="checkbox"/> Director Determination           | <input type="checkbox"/> Natural Resource Review**         | <input type="checkbox"/> Willamette Greenway Review         |
| <input type="checkbox"/> Downtown Design Review           | <input type="checkbox"/> Nonconforming Use Alteration      | <input type="checkbox"/> Other: _____                       |
| <input type="checkbox"/> Extension to Expiring Approval   | <input type="checkbox"/> Parking:                          | <b>Use separate application forms for:</b>                  |
| <input type="checkbox"/> Historic Resource:               | <input type="checkbox"/> Quantity Determination            | Annexation and/or Boundary Change                           |
| <input type="checkbox"/> Alteration                       | <input type="checkbox"/> Quantity Modification             | • Compensation for Reduction in Property                    |
| <input type="checkbox"/> Demolition                       | <input type="checkbox"/> Shared Parking                    | • Value (Measure 37)  |
| <input type="checkbox"/> Status Designation               | <input type="checkbox"/> Structured Parking                | Daily Display Sign  |
| <input type="checkbox"/> Status Deletion                  |  | • Appeal  |

**RESPONSIBLE PARTIES:**

**APPLICANT** (owner or other eligible applicant—see reverse): **Peter Passarelli**

Mailing address: **10722 SE Main Street, Milwaukie, OR** State/Zip: **97222**

Phone(s): **503.786.7614** Email: **PassarelliP@milwaukieoregon.gov**

*Please note: The information submitted in this application may be subject to public records law.*

**APPLICANT'S REPRESENTATIVE** (if different than above): **Matt Hastie, AICP**

Mailing address: **506 SW 6th Ave, Suite 400, Portland, OR** State/Zip: **97204**

Phone(s): **503-539-7680** Email: **mhastie@migcom.com**

**SITE INFORMATION:**

Address: **4267 SE Bowman St.** Map & Tax Lot(s): **22E06BC03100**

Comprehensive Plan Designation: **MD** Zoning: **R-MD** Size of property: **30,000 sf**

**PROPOSAL (describe briefly):**

Proposed clearing and regrading, and selective tree removal will allow for proposed park features, which include a play area, walking trails, a picnic shelter and other amenities.

**SIGNATURE:** I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by:

Date: **06/23/2023**

**IMPORTANT INFORMATION ON REVERSE SIDE**

\*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.

\*\* Natural Resource and Transportation Review applications **may require a refundable deposit.**

**WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION** (excerpted from MMC Subsection 19.1001.6.A):

**Type I, II, III, and IV** applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

**Type V** applications may be initiated by any individual.

**PREAPPLICATION CONFERENCE:**

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

**DEPOSITS:**

Deposits require completion of a Deposit Authorization Form, found at [www.milwaukieoregon.gov/building/deposit-authorization-form](http://www.milwaukieoregon.gov/building/deposit-authorization-form)

**REVIEW TYPES:**

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

**THIS SECTION FOR OFFICE USE ONLY:**

FILE TYPE	FILE NUMBER	AMOUNT (after discount, if any)	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	CSU-2023-003	\$ 2,000	100%	City-sponsored application	Materials submitted 6/23/2023  (no payment required)
Concurrent application files		\$			
		\$			
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ ---			RECEIPT #:		RCD BY:

**Associated application file #s** (appeals, modifications, previous approvals, etc.):

**Neighborhood District Association(s):** Lake Road

**Notes:**

Milwaukie Parks Land Use  
Planning and Permitting  
**Bowman-Brae Park**

Community Service Use Review  
APPLICATION

Submitted to:

**City of Milwaukie**

Submitted by:

Matt Hastie, AICP, MIG | APG

July 2023

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### List of Attachments:

- A. 30% Design Concept Drawings
- D. Stormwater Drainage Report
- G. Proof of Ownership (deed)
- I. Picnic Shelter and Play Area Amenities – Examples
- L. Bowman-Brae Park Concept Plan, NCPRD, 2015

## 1. Introduction

### Project Team

#### *Owner*

City of Milwaukie  
Adam Moore  
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Milwaukie, OR 97222  
503-786-7624  
moorea@milwaukieoregon.gov

#### *Survey*

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#### *Landscape Architect*

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503-222-5612  
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#### *Land Use Planners*

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Matt Hastie, AICP, Project Manager  
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#### *Civil*

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#### *Consulting Arborist*

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Terrence P. Flanagan  
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Lake Oswego, OR 97034  
503-697-1975  
terry@teragan.com

## Project Summary

### Site Description:

The site is located at 4267 SE Bowman St. (taxlot ID 22E06BC03100) and defined by SE Bowman St. to the South, Private Drive to the East and adjacent residential properties to the North and West. The total site area is 30,000 square feet (sf) and is currently undeveloped although it has been planned for use as a future park since 2011 when it was purchased with funds from the Metro regional natural areas bond measure. The site was the subject of a previous concept planning process conducted by the North Clackamas Park and Recreation District in 2015 as described in more detail below.

The site is zoned Moderate Density Residential (R-MD). Per the Comprehensive Plan, the site is designated for Moderate Density residential land use. “The moderate density residential zone is intended to create, maintain, and promote neighborhoods and allow a broad range of housing types. Some non-residential uses are allowed, but overall the character is one of residential neighborhoods.” Parks are permitted in the R-MD zone as a Community Service Use, subject to Subsection 19.904 of the City of Milwaukie Zoning Ordinance.

### Proposed Improvements:

A variety of changes and improvements are proposed at the site, including the following as shown on the accompanying figure:

- Low-impact clearing and regrading.
- Selective tree removal to allow for proposed park features and to removed unhealthy trees. For more details see Attachment A, Sheet L20.01.
- A new play area will be constructed. It will include nature play features and other small equipment and be oriented towards younger children.
- Several new walking trails will be added. These trails will be made of pervious materials and meet the City’s minimum width requirements (five feet) to minimize impacts while ensuring accessibility.
- A new picnic shelter will be constructed. It will be approximately 17 feet x 17 feet in size and 13 feet tall (see Attachment I for an example of the type of shelter that could be installed). It will include lighting placed within the structure under the peak of the roof. It will be oriented downwards to minimize any impacts on the surrounding area.
- Other amenities will include several wooden benches for seating, bicycle parking (three spaces), ADA compliant loading and unloading zone, trash and recycling receptacles, picnic tables, fencing and bollards, drinking fountain, and a dog waste bin.
- A total of 12 new trees and a large number of new shrubs will be planted on the site. Plantings will include a pollinator planting area and stormwater feature. The majority of the new plants will be native species.

No trees are planned for removal at this site.

The proposed improvements to Bowman-Brae Park build on and incorporate the results of extensive concept planning and community engagement efforts conducted by the City and its planning team in 2022 and 2023. Throughout 2022, the city hosted three large public events, multiple online surveys and focus groups with Milwaukie's Black, Indigenous and People of Color (BIPOC) community members. After preparing and refining initial concepts, a revised draft Concept Plan for the park was approved by Milwaukie City Council on December 6, 2022. The proposed design and improvements build on and are generally consistent with those efforts.

The plans also build on concept planning efforts conducted by the North Clackamas Park and Recreation District in 2015. That plan assumed a similar set of amenities and features to those proposed in this application, including new pathways, a play area and equipment, seating, bicycle parking, and a variety of new plantings (trees, shrubs and other landscaping). That Concept Plan and adoption application are included as Attachment L.

As noted above, Attachment I includes examples of the types of amenities that may be included in the park. These should be considered as examples only and not as proposed final designs. The designs for specific park amenities are still under consideration and may be further refined as the City completes the detailed design and building permit process.

## 2. 19.301.4 Development Standards (R-MD Base Zone)

*Response:* The development standards in Subsection 19.301.4 are not applicable to the proposed park development, as they are written only for residential development. This project will meet all of the standards for Subsection 19.904 – Community Service Use as detailed in Section 3 of this application narrative.

## 3. 19.904.7-11 Community Service Use Standards

### 19.904.8 Specific Standards for Institutions—Public, Private, Religious, and Other Facilities not Covered by Other Standards

- A. Utilities, streets, or other improvements necessary for the public facility or institutional use shall be provided by the agency constructing the use.**

*Response:* Per Sheet C22.00 – Utility Plan, all utilities for the park will be provided by the project. Sheet 21.01 shows the existing utilities that will be preserved and protected as part of the site demolition process. Proposed utilities will include new water connections to provide water to the proposed drinking fountain and stormwater management facilities to manage stormwater from new impervious surfaces.

- B. When located in or adjacent to a residential zone, access should be located on a collector street if practicable. If access is to a local residential street, consideration of a request shall include an analysis of the projected average daily trips to be generated by the proposed use and their distribution pattern, and the impact of the traffic on the capacity of the street system which would serve the use. Uses which are estimated to generate fewer than 20 trips per day are exempted from this subsection.**

*Response:* Primary pedestrian access to the site will be located on the southeast corner of the site at the termination of SE Brea St. into SE Bowman St. Each of these streets is a local street. This site will provide relatively modest passive and active recreational features, including a picnic shelter, modest play area, pathways, open space and natural areas which are intended to serve the residents of the neighborhood. As a result, the majority of park users are expected to access the park by walking or bicycling and the park is not anticipated to generate excessive traffic. The types of traffic associated with the proposed park will be those associated with the existing land use which will predominately consist of passenger vehicles.

- C. When located in a residential zone, lot area shall be sufficient to allow required setbacks that are equal to a minimum of  $\frac{2}{3}$  the height of the principal structure. As the size of the structure increases, the depth of the setback must also increase to provide adequate buffering.**

*Response:* The principal structure proposed is the picnic shelter. The proposed setback is approximately 35 feet, which is more than  $\frac{2}{3}$  of the height of the shelter structure; therefore this standard is met.



- D. The height limitation of a zone may be exceeded to a maximum height of 50 ft provided Subsection 19.904.8.C of this subsection is met.**

*Response:* The maximum allowed height in this zone is 35 feet which is taller than the proposed height of the structure. Therefore, no additional height is proposed and this standard is not applicable.

- E. Noise-generating equipment shall be sound-buffered when adjacent to residential areas.**

*Response:* No permanent noise generating equipment is proposed within the park. The site is not expected to generate any excessive amount of noise outside of those typically associated with a park facility. Park hours will be set to minimize disruptions to adjacent residential areas. In general, park use is expected to be limited to daytime hours. With the exception of lighting for safety, no significant lighting to enable night-time use is proposed.

- F. Lighting shall be designed to avoid glare on adjacent residential uses and public streets.**

*Response:* As shown on Sheet L22.00, the site will utilize existing lighting fixtures. No additional lighting is proposed. Therefore, this standard is met.

- G. Where possible, hours and levels of operation shall be adjusted to make the use compatible with adjacent uses.**

*Response:* Standard operating hours for Milwaukie Parks are... As noted above, park use is expected to be limited to daytime hours. These operating hours will minimize impact on neighboring residential uses.

- H. A spire on a religious institution may exceed the maximum height limitation. For purposes of this subsection, "spire" means a small portion of a structure that extends above the rest of the roofline, or a separate structure that is substantially smaller than the main structure and extends above the roofline of the main structure. "Spire" includes but is not limited to ornamental spires, bell towers, other towers, minarets, and other similar structures or projections. The number of spires on a religious institution property is not limited, so long as the spires remain only a small portion of the area of the structures.**

- I. The minimum landscaping required for religious institutions is the lesser of 15% of the total site area and the percentage required by the underlying zone.**

- J. Park-and-ride facilities may be encouraged for institutions along transit routes that do not have days and hours in conflict with weekday uses (e.g., religious institutions**

*or fraternal organizations). Such uses may be encouraged to allow portions of their parking areas to be used for park-and-ride lots.*

*Response: The proposed park project is not a religious institution or other institutional use; therefore Standards H-J do not apply.*

#### **4. 19.901.4 Approval Criteria**

*An application for a community service use may be allowed if the following criteria are met:*

- A. The building setback, height limitation, and off-street parking and similar requirements governing the size and location of development in the underlying zone are met. Where a specific standard is not proposed in the CSU, the standards of the underlying zone are met;*

*Response: As shown in the previous sections, all standards for the underlying R-MD zone related to height and setbacks will be met. No off-street parking is proposed for the park, given that most visitors are expected to access the park by walking or bicycling, on-street parking is available on Bowman Street, and a passenger drop-off area is proposed to be located at the southeast corner of the park. As a result, this approval criterion is met.*

- B. Specific standards for the proposed uses as found in Subsections 19.904.7-11 are met;*

*Response: As shown in Section 3 of this application, all standards for the Community Service Use are met and this approval criterion is met.*

- C. The hours and levels of operation of the proposed use are reasonably compatible with surrounding uses;*

*Response: Standard operating hours for Milwaukie Parks are 30 minutes before sunrise to 30 minutes after sunset. As described in previous sections of this narrative, park use is expected to be limited to daytime hours and operating hours for the park will be set accordingly. As a result, this approval criterion is met.*

- D. The public benefits of the proposed use are greater than the negative impacts, if any, on the neighborhood; and*

*Response: No negative neighborhood impacts are anticipated as part of this project and the nature of the area will be improved as the lot is currently vacant. This project provides recreational opportunities that are currently lacking in the surrounding neighborhood. The project is designed to be accessible for all ages and abilities and will provide the community with opportunities to play and connect with nature through a combination of passive and active recreational activities. The level of use and associated traffic, noise and other impacts will be similar to and compatible with surrounding residential uses and will enhance the overall character and livability of the surrounding neighborhood. As a result, this approval criterion is met.*

*E. The location is appropriate for the type of use proposed.*

***Response:** The proposed park is located on a currently undeveloped parcel in a residential neighborhood. A park facility is improvement on the vacant lot and will improve the overall quality of the neighborhood by providing recreation and play facilities, plus opportunities for community gathering. As a result, this approval criterion is met.*

Milwaukie Parks Land Use Planning  
and Permitting

**Bowman-Brae Park Application**

**Exhibit A – 30% Design Drawings**

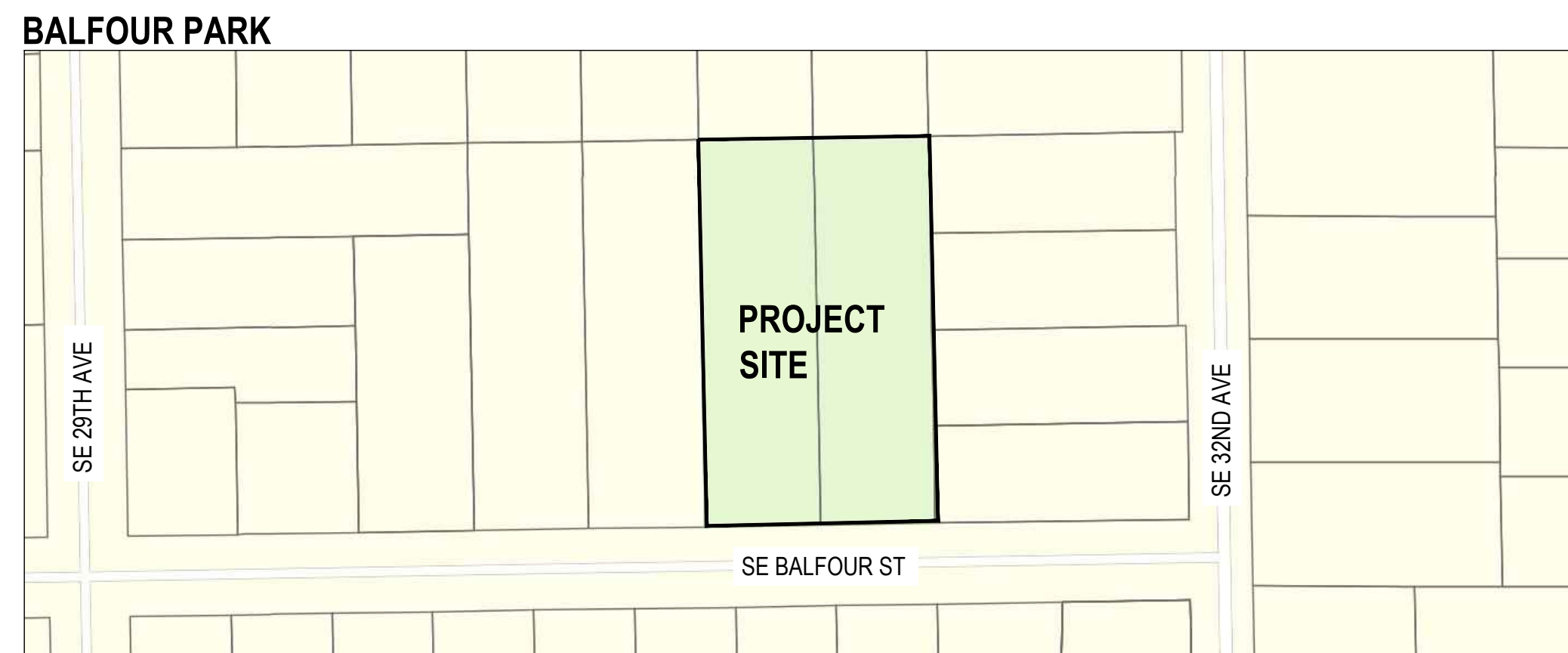
# PROJECT DESCRIPTION

**SCOTT PARK:** LOCATED AT 10660 SE 21ST AVE. AND DEFINED BY LEDDING LIBRARY TO THE SOUTH, POND TO THE EAST AND ADJACENT DEVELOPMENTS AND PARKING AREAS TO THE NORTH AND WEST. TOTAL SITE AREA IS 20,400 SF. THE EXISTING PATH AND PART OF THE LAWN WILL BE DEMOLISHED FOR THE PLANNED SITE FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, POND OVERLOOK AND OTHER AMENITIES. THE EXISTING PARKING, SIDEWALK, AMPHITHEATER AND WAR MEMORIAL WILL REMAIN.

**BALFOUR PARK:** LOCATED AT 3039 SE BALFOUR ST. AND DEFINED BY SE BALFOUR ST TO THE SOUTH, AND RESIDENTIAL PROPERTIES TO THE EAST, WEST AND NORTH. THE TOTAL SITE AREA IS 35,600 SF. LOW-IMPACT CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, NATURE PLAY FEATURES, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

**BOWMAN BRAE PARK:** LOCATED AT 4267 SE BOWMAN ST. AND DEFINED BY SE BOWMAN ST TO THE SOUTH, PRIVATE DRIVE TO THE EAST AND ADJACENT RESIDENTIAL PROPERTIES TO THE NORTH AND WEST. TOTAL SITE AREA IS 30,000 SF. CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

# VICINITY MAPS

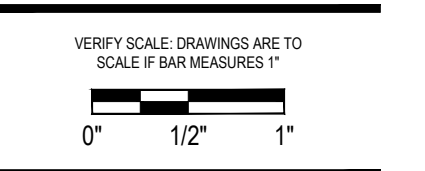


# Scott Park, Balfour Park, & Bowman Brae Park

Milwaukie, OR 97222

# SHEET INDEX

SHEET #	SHEET TITLE	SHEET COUNT	SHEET #	SHEET TITLE	SHEET COUNT
<b>ALL PARKS</b>					
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G0.01	GENERAL NOTES AND ABBREVIATIONS	02	C22.01	FRONTAGE IMPROVEMENTS	35
			C22.02	EROSION CONTROL PLAN AND DETAILS	36
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			L24.01	GRADING PLAN	40
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C3.01	EROSION CONTROL PLAN AND DETAILS	07	L25.01	IRRIGATION PLAN	42
			L26.00	PLANT SCHEDULE AND NOTES	43
L4.00	MATERIALS NOTES	08	L26.01	PLANTING PLAN	44
L4.01	MATERIALS PLAN	09	L27.01	SITE SECTIONS	45
L5.01	LAYOUT PLAN	10	<b>ALL PARKS</b>		
L6.01	GRADING PLAN	11	C28.01	CIVIL DETAILS	46
L7.00	IRRIGATION SCHEDULE AND NOTES	12	C28.02	CIVIL DETAILS	47
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<b>BALFOUR PARK</b>					
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L12.01	DEMOLITION PLAN	19			
C13.00	UTILITY PLAN	20			
C13.01	EROSION CONTROL PLAN AND DETAILS	21			
L13.00	MATERIALS NOTES	22			
L13.01	MATERIALS PLAN	23			
L14.01	LAYOUT PLAN	24			
L15.01	GRADING PLAN	25			
L16.00	IRRIGATION SCHEDULE AND NOTES	26			
L16.01	IRRIGATION PLAN	27			
L17.00	PLANT SCHEDULE AND NOTES	28			
L17.01	PLANTING PLAN	29			
L18.01	SITE SECTIONS	30			
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L20.01	TREE PROTECTION PLAN	32			
L21.01	DEMOLITION PLAN	33			



Project:  
Scott Park, Balfour Park,  
& Bowman Brae Park  
City of Milwaukie  
10722 SE Main Street  
Milwaukie, OR 97222  
503-786-7655

Submittal: Design Development  
Sheet Title:  
Cover

# PROJECT DIRECTORY

<b>OWNER / CONTACT</b> CITY OF MILWAUKIE 10722 SE MAIN ST MILWAUKIE, OR 97222 PROJECT CONTACT: Adam Moore PHONE: 503-786-7624 EMAIL: moorea@milwaukieoregon.gov	<b>LANDSCAPE ARCHITECT</b> GREENWORKS, P.C. 110 SE MAIN ST, SUITE 100 PORTLAND, OR 97214 PROJECT CONTACT: Ben Johnson PHONE: 503-222-5612 EMAIL: benj@greenworkspc.com	<b>CIVIL ENGINEER</b> KPFF 111 SW 5TH AVE, SUITE 2400 PORTLAND, OR 97204 PROJECT CONTACT: Jessica Zink PHONE: 503-542-3860 EMAIL: jessica.zink@kpff.com	<b>SITE SURVEY</b> KPFF 111 SW 5TH AVE, SUITE 2400 PORTLAND, OR 97204 PROJECT CONTACT: John R. Davis PHONE: 503-542-3860 EMAIL: john.davis@kpff.com	<b>ARBORIST</b> TERAGAN & ASSOCIATES 3145 WESTVIEW CIRCLE LAKE OSWEGO, OR 97034 PROJECT CONTACT: Terrence P. Flanagan PHONE: 503-697-1975 EMAIL: terry@teragan.com
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# SUBMITTAL

30% CONSTRUCTION DOCUMENTS  
ISSUE DATE: APRIL 11, 2023  
REVISION DATE:

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC

Checked By: BJ/GM

Job No. 210234.1

Approved: GW

G:\PROJECTS\2023-1\_MILWAUKIE\_PARKS\_CE\_DESIGN\_DEVELOPMENT\_SERVICES\02\_PRODUCTION\01\_CADD\7\_PLOT\_SHEETS\_ALL\_PARKS\210234-1\_COVR.DWG

## GENERAL NOTES

- ALL WORK PERFORMED IN CONNECTION WITH THE CONTRACT DOCUMENTS, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, PRACTICES AND REQUIREMENTS OF THE APPLICABLE FEDERAL, STATE AND LOCAL AUTHORITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH ALL CONSTRUCTION ACTIVITIES. THE LOCATIONS AND IDENTIFICATION OF UTILITIES WITHIN THIS DOCUMENT IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. ANY DISCREPANCIES BETWEEN SURVEY INFORMATION AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT SHALL BE UNDERSTOOD THAT THE IMPROVEMENTS SHOWN ON THE DRAWINGS AND SPECIFICATIONS ARE MEANT TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. MODIFICATIONS, CONFLICTS, OR ISSUES THAT WOULD CONTRADICT RELEVANT CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- COMPLY WITH OREGON LAW REQUIRING ADHERENCE TO THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. NOTIFY THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. PHONE CONTACT FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344 (or 811).
- REPAIR AT OWN EXPENSE ANY DAMAGE DONE TO UTILITY SYSTEMS, SURFACE PAVEMENTS, SITE FEATURES, AND STRUCTURES, WHETHER INSIDE OR OUTSIDE OF THE PROJECT LIMITS, THAT ARE NOT DIRECTLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION.
- ALL QUANTITIES SHOWN ON THE DRAWINGS OR SPECIFICATIONS ARE FOR CONVENIENCE ONLY.
- UPON PROJECT COMPLETION, THE PROJECT AREA AND ADJACENT SPACES SHALL BE FREE AND CLEAR OF ALL CONSTRUCTION MATERIALS, WASTE AND DEBRIS. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL MATERIALS AS INDICATED IN THE PROJECT CONTRACT DOCUMENTS AND MUST MEET ALL APPLICABLE REGULATIONS OVERSEEING WASTE DISPOSAL.

## GENERAL LEGEND

SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		BUILDING OUTLINE WITH DOOR
	SIGN		CONCRETE SURFACE
	BOLLARD		ASPHALT SURFACE
	BIKE RACK		WALL
	ROOF DRAIN		BUILDING OVERHANG
	ELECTRICAL JUNCTION BOX		CURB LINE
	ELECTRICAL METER		EDGE OF ASPHALT
	ELECTRICAL OUTLET		ELECTRICAL LINE
	ELECTRICAL CABINET		STORM LINE
	ELECTRICAL SWITCH		WATER LINE
	ELECTRICAL VAULT		EDGE OF WATER
	TRANSFORMER		CHAIN LINK FENCE
	LUMINAIRE		WOOD FENCE
	GROUND FLOOD LIGHT		MAJOR CONTOUR
	OVERHEAD LIGHT		MINOR CONTOUR
	STORM MANHOLE WITH STRUCTURE		DECIDUOUS TREE
	SANITARY/STORM CLEAN OUT		CONIFEROUS TREE
	SANITARY STORM STRUCTURE		SHRUB
	WATER VALVE		HOSE BIB
	FIRE HYDRANT		IRRIGATION CONTROL VALVE
	WATER METER		PROJECT CONTROL POINT

## TABLE OF ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS REFERENCED IN DRAWINGS. ABBREVIATIONS MAY BE SHOWN WITH OR WITHOUT PERIODS.

@	AT	MIN	MINIMUM
ALUM	ALUMINUM	MH	MANHOLE
APPROX	APPROXIMATE	NIC	NOT IN CONTRACT
ARCH	ARCHITECT	NOM	NOMINAL
AC	ASPHALT CONCRETE	NPS	NOMINAL PIPE SIZE
BC	BOTTOM OF CURB	NTS	NOT TO SCALE
B&B	BALLED AND BURLAP	OH	OVER HEAD
BLDG	BUILDING	OC	ON CENTER
BM	BENCHMARK	OD	OUTSIDE DIAMETER
BPRD	BEND PARKS & RECREATION DISTRICT	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
BS	BOTTOM OF STAIR	PA	PLANTING AREA
BR	BOTTOM OF RAMP	PC	POINT OF CURVATURE
BOW	BOTTOM OF WALL (ELEV. BELOW FINISH GRADE)	PCC	POINT OF COMPOUND CURVATURE / PORTLAND CEMENT CONCRETE
BW	BOTTOM OF WALL (ELEV. AT FINISH GRADE)	PI	POINT OF INTERSECTION
CB	CATCH BASIN	PIP	POURED-IN-PLACE
CF	CUBIC FEET	PL	PLATE
CAL	CALIPER	PLS	PURE LIVE SEED
CJ	CONTRACTION JOINT	POT	POINT OF TANGENCY
CLR	CLEAR	PT	PRESSURE TREATED
CIP	CAST-IN-PLACE	PERF	PERFORATED
CONT	CONTAINER / CONTINUOUS	PK	POINT KNOWN
CL / €	CENTER LINE	PP	POWER POLE
CP	CENTER POINT	PVC	POLYVINYL CHLORIDE PIPE
CT	CURRENT TRANSFORMER	R	RADIUS
DIM	DIMENSION	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCED / REINFORCEMENT
DEMO	DEMOLISH	REQ'D	REQUIRED
DOM	DOMESTIC WATER LINE	ROW	RIGHT-OF-WAY
(E)	EXISTING	RPZ	ROOT PROTECTION ZONE
EA	EACH	RT	RIGHT
EJ	EXPANSION JOINT	SAN	SANITARY
ELC	EXTERIOR LIGHTING CONTROL	SD	STORM DRAIN
ELEV	ELEVATION	SEC	SECONDARY
ENG	ENGINEER	SIM	SIMILAR
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EQ	EQUAL	SSTL	STAINLESS STEEL
EST	ESTIMATE	STA	STATION
FB	FLAT BAR	STD	STANDARD
FD	FIELD DRAIN	STR	STRUCTURAL
FG	FINISH GRADE	TD	TRENCH DRAIN
FL	FLOW LINE	TEL	TELEPHONE
FOC	FACE OF CURB	THK	THICK
FTG	FOOTING	TOPO	TOPOGRAPHY
GALV	GALVANIZED	TC	TOP OF CURB
GA	GAUGE	TR	TOP OF RAMP
GFI	GROUND FAULT INTERRUPTER	TS	TOP OF STAIR
GB	GROUND BREAK	TPZ	TREE PROTECTION ZONE
GND	GROUND	TYP	TYPICAL
HDG	HOT DIP GALVANIZED	TW	TOP OF WALL
HMAC	HOT MIX ASPHALT CONCRETE	UG	UNDERGROUND
MHMAC	MINOR HOT MIX ASPHALT CONCRETE	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	VAR	VARIES
HP	HIGH POINT	VC	VERTICAL CURVE
HSS	HOLLOW STRUCTURAL SECTION	VOL	VOLUME
ID	INSIDE DIAMETER	W	WITH
IE	INVERT ELEVATION	W/O	WITHOUT
INT	INTERMEDIATE	WM	WATER METER
IR	IRON ROD	WP	WORK POINT
JT	JOINT	WT	WEIGHT
LT	LEFT	WWM	WELDED WIRE MESH
LF	LINEAR FEET	YD	YARD
LP	LOW POINT		
MAX	MAXIMUM		

## SYMBOLS LEGEND

SYMBOL	ITEM
XXX ———→	LEADER LABEL
TYP (1) ———→	REFERENCE KEYNOTE
XXX (X) LX.XX ———→	DETAIL REFERENCE
(X) LX.XX ———→	ELEVATION DETAIL REFERENCE
(X) LX.XX ———→	SECTION DETAIL REFERENCE
(X) ———→	SECTION REFERENCE (WITHIN DETAIL)
(X) ———→	ELEVATION REFERENCE (WITHIN DETAIL)
(X) LX.XX [ ]	ENLARGEMENT REFERENCE
1'-0"	LINEAR DIMENSION
R=3"	RADIUS DIMENSION
90°	ANGLE DIMENSION
MATCHLINE SEE SHEET LX.XX	SHEET MATCHLINE
SCALE: 1" = 10'-0"	SCALE BAR
NORTH	NORTH ARROW
# [ ]	REVISION TRIANGLE AND CLOUD
LIMIT OF WORK	LIMIT OF WORK LINE

## SITE DETAIL KEYNOTE SYSTEM LEGEND

SITE DETAIL KEYNOTES			
KEYNOTE CATEGORY HEADING NUMBER AND TITLE	NUMBER	ITEM	DETAIL / SHEET
(1.0) PAVING / CURBS / RAMPS	1.1		XX / LX.XX
	1.2		XX / LX.XX
	1.3		XX / LX.XX
	1.4		XX / LX.XX
	1.5		XX / LX.XX
	1.6		XX / LX.XX
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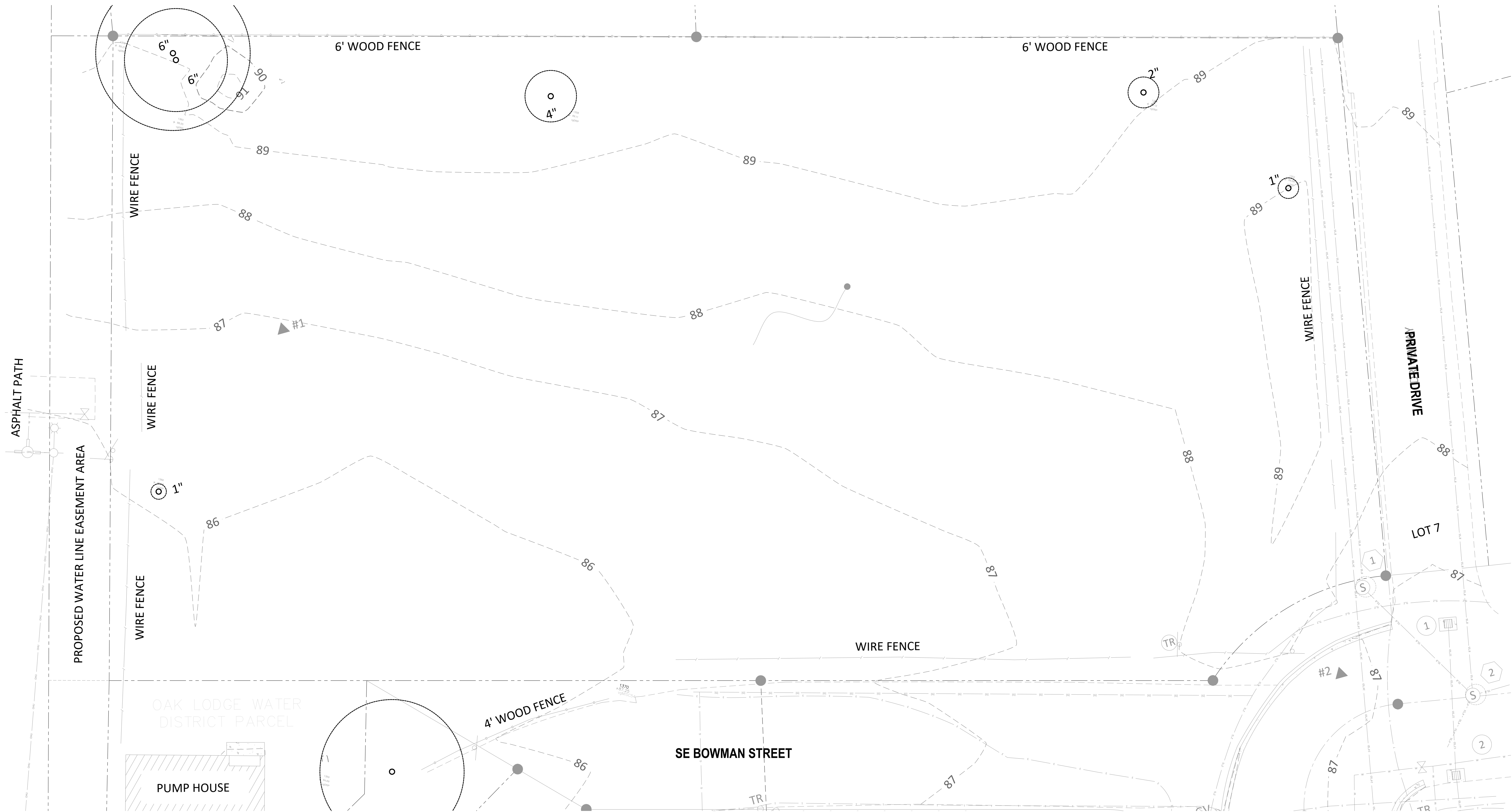
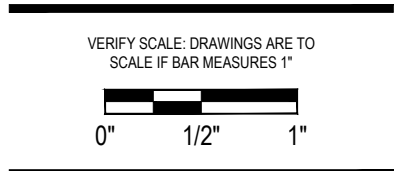
THE FOLLOWING KEYNOTE CATEGORIES HAVE BEEN PROPOSED IN THIS PROJECT:

1.0	PAVING / CURBS / RAMPS
2.0	JOINTING
3.0	STAIRS
4.0	WALLS
5.0	SITE FURNISHINGS
6.0	RAILINGS
7.0	DRAINAGE
8.0	IRRIGATION
9.0	PLANTING
10.0	PLAY
11.0	LIGHTING

(1.1) ———→  
SITE DETAIL KEYNOTE

## DETAIL FRAME LEGEND

TITLE/DESCRIPTION	(X) TITLE SECTION	SCALE NOTATION
DETAIL REFERENCE NUMBER		SCALE BAR
DRAWING TYPE		

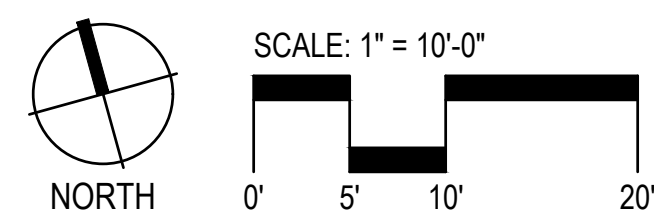


**UTILITY LOCATES**

- UTILITY LOCATIONS SHOWN ARE PER FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.

**BASIS OF ELEVATION**

- THE VERTICAL DATUM IS NAVD 88 (GEOD 12A). ELEVATION WAS ESTABLISHED THROUGH A GPS OBSERVATION ON CONTROL POINT NO. 1 USING THE OREGON REAL-TIME GPS NETWORK (ORGN).
- BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTH LINE OF PENNYWOOD SUBDIVISION AS SOUTH 74°27'44" EAST AS ESTABLISHED FROM FOUND MONUMENTS.

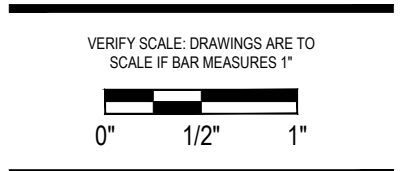


**EXISTING CONDITIONS GENERAL NOTES**

- SURVEY PROVIDED BY KPFF ON APRIL 20, 2022
- THE SCALE OF THE EXISTING CONDITIONS DRAWINGS ARE HALF THE SCALE INDICATED ON THE PLANS WHEN THE DRAWINGS ARE SIZE 11"X17".

**EXISTING CONDITIONS LEGEND**

SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		STORM MANHOLE WITH STRUCTURE		SANITARY SEWER LINE		EXISTING TREE
	SANITARY STRUCTURE		CURB LINE		WATER LINE		PROJECT CONTROL POINT
	SANITARY MANHOLE WITH STRUCTURE		EDGE OF ASPHALT		GAS LINE		CONCRETE SURFACE
	SANITARY CLEAN OUT		RIGHT-OF-WAY LINE		TELECOM LINE		ASPHALT SURFACE
	POWER POLE		EASEMENT LINE		WOOD FENCE		MAJOR CONTOUR
	TELECOM RISER		LOT LINE		CATCH BASIN		MINOR CONTOUR
	WATER METER		PROPERTY LINE		WATER VALVE		
	POWER POLE / LIGHT		ELECTRICAL LINE		FIRE HYDRANT		



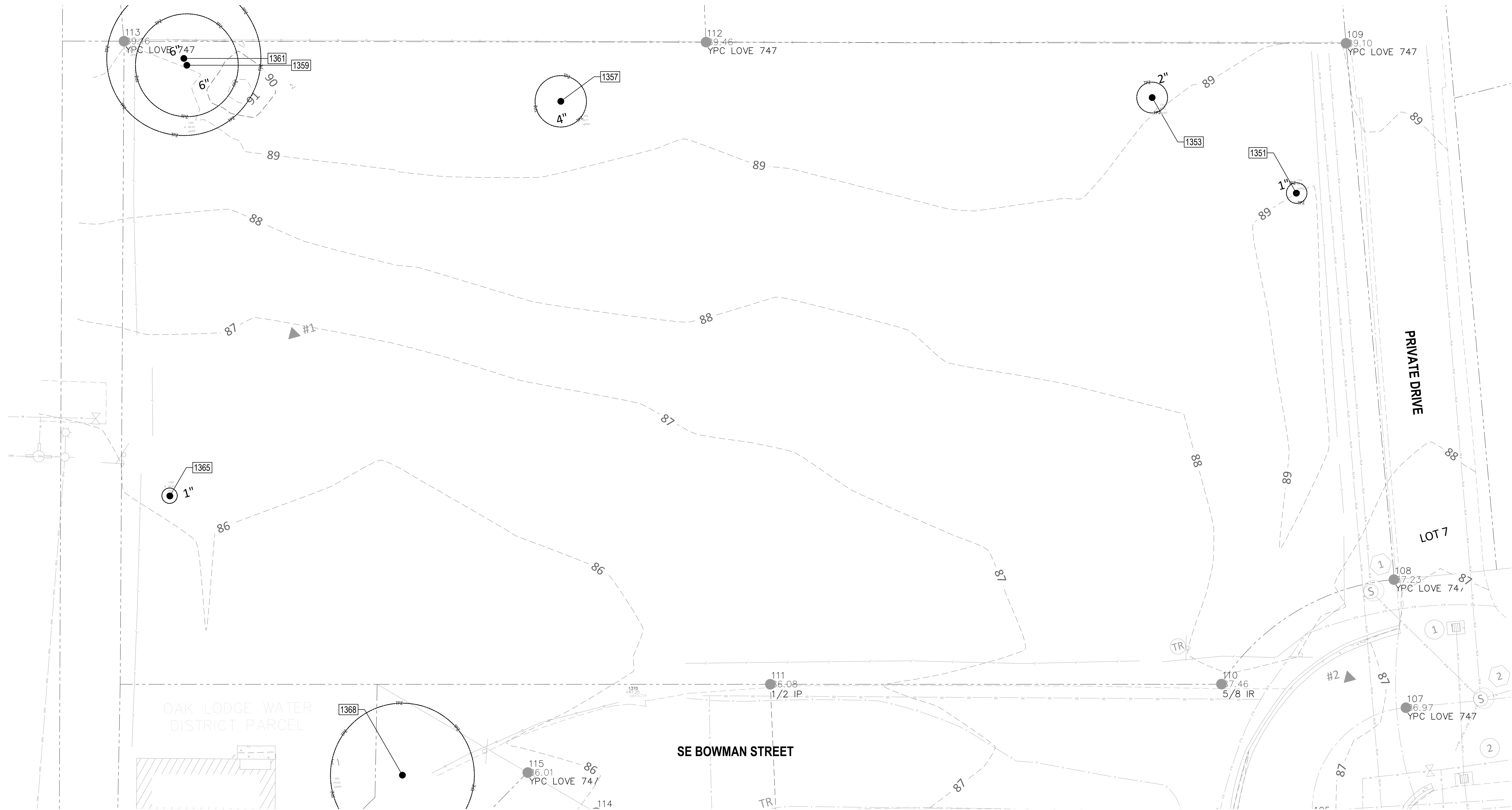
Project: Scott Park, Balfour Park, & Bowman Brae Park  
 City of Milwaukee  
 10722 SE Main Street  
 Milwaukee, WI 53214  
 503-786-7555

Submital: Design Development  
 Sheet Title - Bowman Brae Park :  
 Tree Protection Plan

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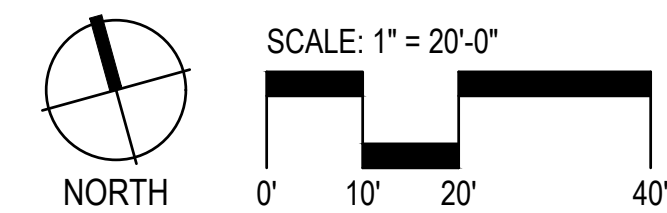
Date: 04/11/2023  
 Revisions:

Drawn By: GMYC  
 Checked By: BJ/GM  
 Job No. 210234.1  
 Approved: GW



**TREE PROTECTION GENERAL NOTES**

1. REFER TO ARBORIST REPORT FOR ALL TREE NUMBERS, SPECIES IDENTIFICATION, AND TREE HEALTH.
2. NO CONSTRUCTION ACTIVITIES ALLOWED TO IMPACT ONE-HALF TREE PROTECTION ZONE (TPZ) AREA.
3. TRUNK PROTECTION AND SUPPLEMENTAL WATERING MAY BE REQUIRED AT THE DISCRETION OF THE PROJECT ARBORIST.
4. ANY CONSTRUCTION WORK INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING AND TRENCHING IN ANY TPZ SHALL ONLY BE DONE WITH WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE. CUT AND GRIND ALL STUMPS EXCEPT AS NOTED.
5. NO PARKING, EXCAVATION, TRENCHING, GRADING, ROOT PRUNING, STOCKPILING OF ANY MATERIALS OR OTHER ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION FENCING UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
6. TREE PROTECTION FENCING NOT TO BE MOVED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.

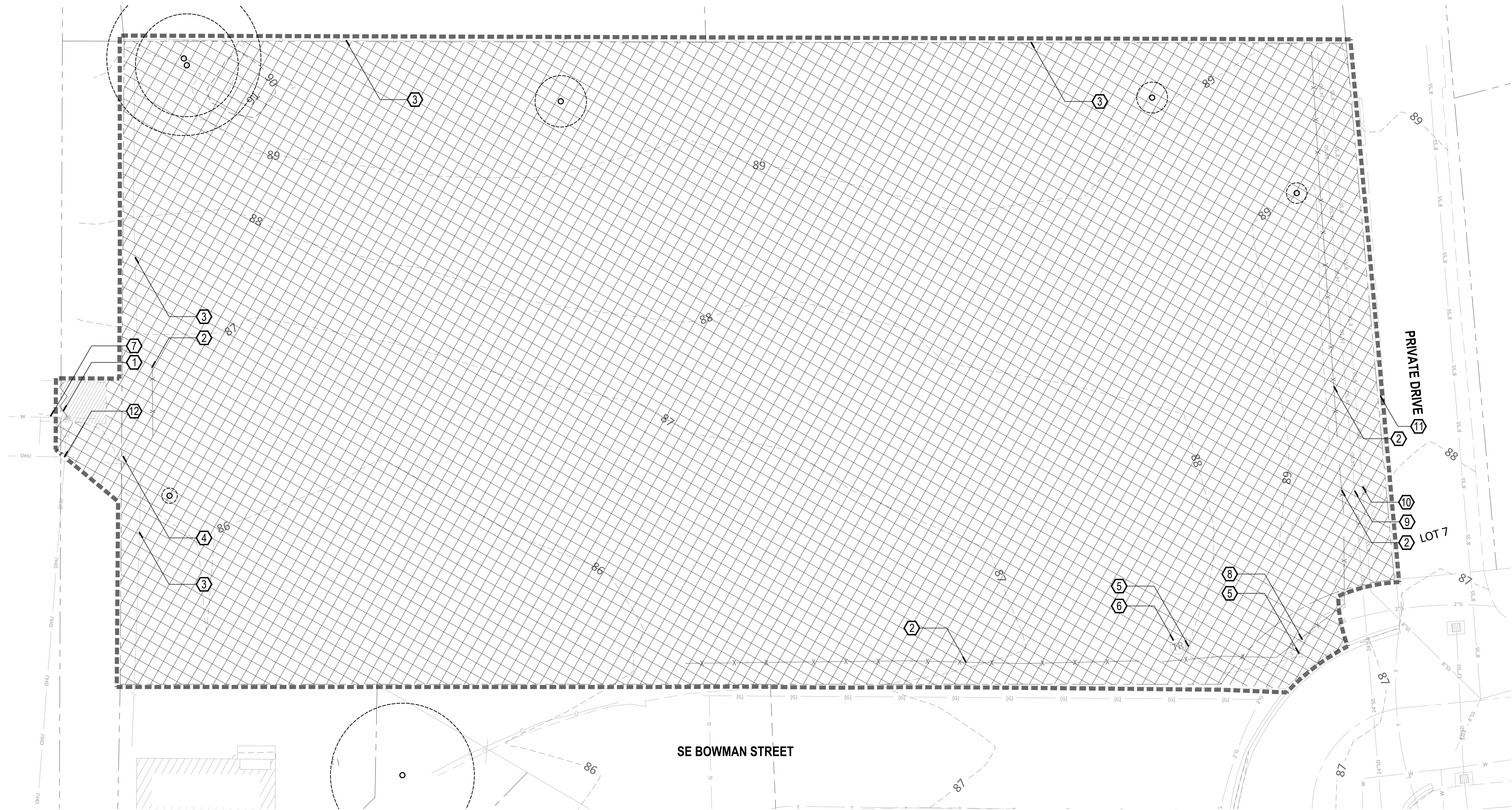
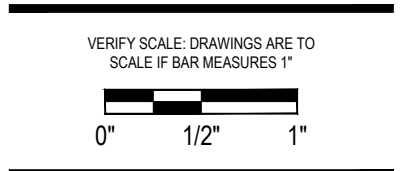


**TREE PROTECTION LEGEND**

SYMBOL	ITEM	SYMBOL	ITEM
	EXISTING TREES TO REMAIN		EXISTING TREES TO BE REMOVED
	TREE IDENTIFICATION LABEL		TREE PROTECTION ZONE (TPZ)
	TREE PROTECTION FENCING		

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**SITE DEMOLITION REFERENCE NOTES**

1. SAW CUT AND REMOVE CONCRETE OR ASPHALT PAVEMENT.
2. REMOVE AND DISPOSE OF EXISTING CHAIN AND BOLLARD FENCE.
3. PRESERVE AND PROTECT EXISTING FENCE.
4. REMOVE AND DISPOSE OF EXISTING SIGN.
5. SALVAGE EXISTING SIGN AND RELOCATE.
6. SALVAGE EXISTING TRASH RECEPTACLE.
7. PRESERVE AND PROTECT EXISTING WATER LINE.
8. PRESERVE AND PROTECT EXISTING GAS LINE.
9. PRESERVE AND PROTECT EXISTING STORM LINE.
10. PRESERVE AND PROTECT EXISTING SANITARY SEWER LINE.
11. PRESERVE AND PROTECT EXISTING TELECOMMUNICATIONS LINE.
12. PRESERVE AND PROTECT EXISTING POWER POLE / OVERHEAD LIGHT.

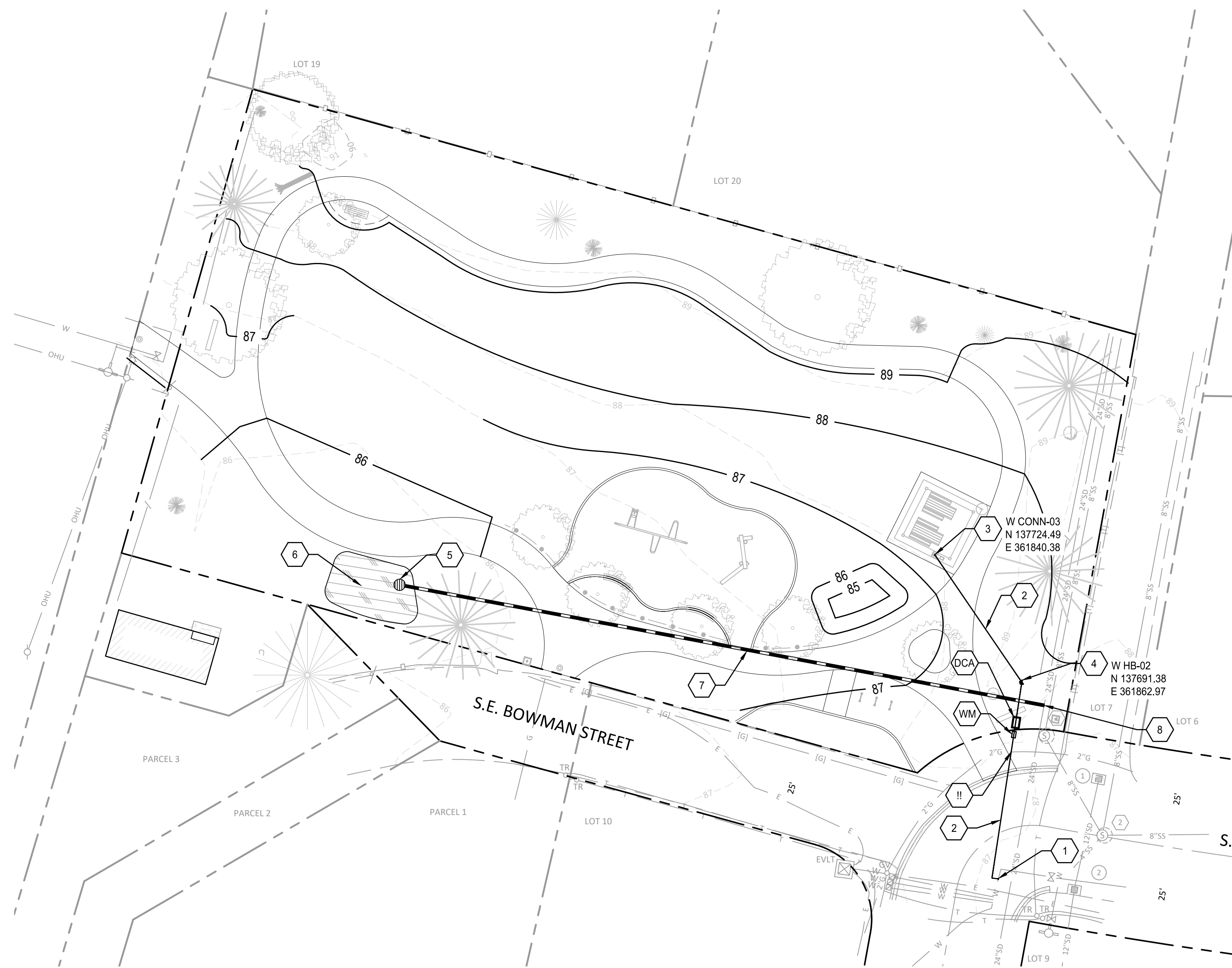
**SITE DEMOLITION GENERAL NOTES**

1. ITEMS ENCOUNTERED ON SITE (INCLUDING BELOW GRADE) WITHIN THE LIMITS OF WORK OR OTHERWISE FORTHCOMING WORK AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
2. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO COMPLETING BEGINNING ANY DEMOLITION WORK TO VERIFY WORK LIMITS AND IDENTIFY VEGETATION TO REMAIN.
3. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS IS APPROXIMATE AND MAY VARY IN THE FIELD. ADDITIONAL UTILITIES MAY EXIST ON SITE THAT ARE NOT SHOWN ON THE DRAWINGS. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.
4. SEE SPECIFICATIONS FOR GENERAL DEMOLITION, SALVAGE, CLEARING AND GRUBBING REQUIREMENTS.
5. ALL TREES EXCEPT THOSE SPECIFICALLY DESIGNATED ON THIS DRAWING TO BE REMOVED SHALL BE PROTECTED IN-PLACE. ADD TREE PROTECTION FENCING PRIOR TO DEMOLITION.
6. EROSION CONTROL FENCING SHALL BE INSTALLED BY CONTRACTOR PRIOR TO SITE DEMOLITION AND MUST REMAIN IN PLACE DURING ALL CONSTRUCTION PHASES.
7. SEE SITE DEMOLITION REFERENCE NOTES FOR HANDLING AND REUSE OF SALVAGED MATERIAL.
8. SEE GRADING PLAN AND DETAILS FOR REQUIRED EXCAVATION DEPTHS FOR SIDEWALKS, PAVEMENTS, PLAYGROUNDS AND LANDSCAPE AREAS.
9. ELEMENTS ON THE DRAWINGS SHOWN TO BE REMOVED SHALL BE REMOVED TO THE FULL DEPTHS OF THEIR CONSTRUCTION.
10. WORK AREAS INDICATED BY THE LIMIT OF WORK LINE SHALL BE COMPLETELY ENCLOSED WITH ABOVE GROUND SUPPORTED TEMPORARY CHAIN LINK FENCING A MINIMUM OF 6 FEET IN HEIGHT.
11. ALL SALVAGED ITEMS SHALL BE REUSED OR RETURNED TO THE OWNER'S REPRESENTATIVE AS INDICATED ON THE DRAWINGS.
12. DISPOSE ALL REMOVED MATERIALS OFF SITE IN AN APPROVED MANNER.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE CONSTRUCTION SITE, CONSTRUCTION EQUIPMENT, AND TO KEEP THE PUBLIC FROM HARM DUE TO CONSTRUCTION ACTIVITIES AND WORK IN PROGRESS.

DEMOLITION LEGEND	
SYMBOL	ITEM
	LIMIT OF WORK
	SAW CUT CONCRETE OR ASPHALT PAVING
	CLEAR AND GRUB
	CHAIN STANCHION TO BE REMOVED
	TREE TO BE REMOVED



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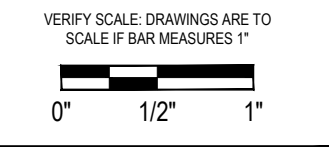


**SHEET NOTES**

1. PIPE BEDDING AND BACKFILL FOR ALL UTILITIES PER CITY OF MILWAUKIE STANDARD DETAIL 510/C28.00.
2. STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE.
3. INSTALL THRUST BLOCK ON WATER LINES PER DETAIL 1/C28.00.

**UTILITY KEY NOTES**

NOTE	DESCRIPTION	DETAIL REF.
1	INSTALL NEW WATER SERVICE CONNECTION TO CITY MAIN.	401/C28.00
2	INSTALL NEW 2" WATER LINE	
3	CONNECT TO WATER FOUNTAIN FEATURE, SEE LANDSCAPING PLANS FOR DETAILS.	
4	INSTALL NEW 45° BEND.	
5	INSTALL OVERFLOW INLET.	
6	LINED STORMWATER PLANTER	
7	INSTALL 8" STORM LINE.	
8	CONNECT TO CITY STORM SYSTEM.	
WM	INSTALL WATER METER.	401/C28.00
DCA	INSTALL DOUBLE CHECK BACKFLOW ASSEMBLY.	2/C28.00
!!	UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.	3/C28.00



**UTILITY LABEL LEGEND**

**STRUCTURE LABEL**

- UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP=FIRE PROTECTION)
- STRUCTURE TYPE CALLOUT
- ID NUMBER (WHERE APPLICABLE)
- LOCATION (WHERE APPLICABLE)
- STRUCTURE INFO (WHERE APPLICABLE)

**PIPE LABEL**

- UTILITY LENGTH
- UTILITY SIZE
- UTILITY TYPE
- SLOPE (WHERE APPLICABLE)

**STRUCTURE TYPE**

CALLOUT	DESCRIPTION	DETAIL REF.
CO	CLEANOUT TO GRADE	
DCA	DOUBLE CHECK BACKFLOW ASSEMBLY	2/C28.00
OF	OUTFALL	
OV	OVERFLOW INLET	
TEE	TEE CONNECTION	

Project:  
Scott Park, Balfour Park,  
& Bowman Brae Park

City of Milwaukee  
10722 SE Main Street  
Milwaukee, WI 53222  
503-786-7555

Submittal: Design Development  
Sheet Title - Bowman Brae Park:  
**UTILITY PLAN**

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Date: 03/21/2023

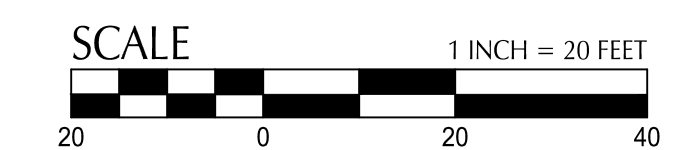
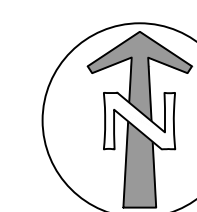
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Drawn By: CK/RC

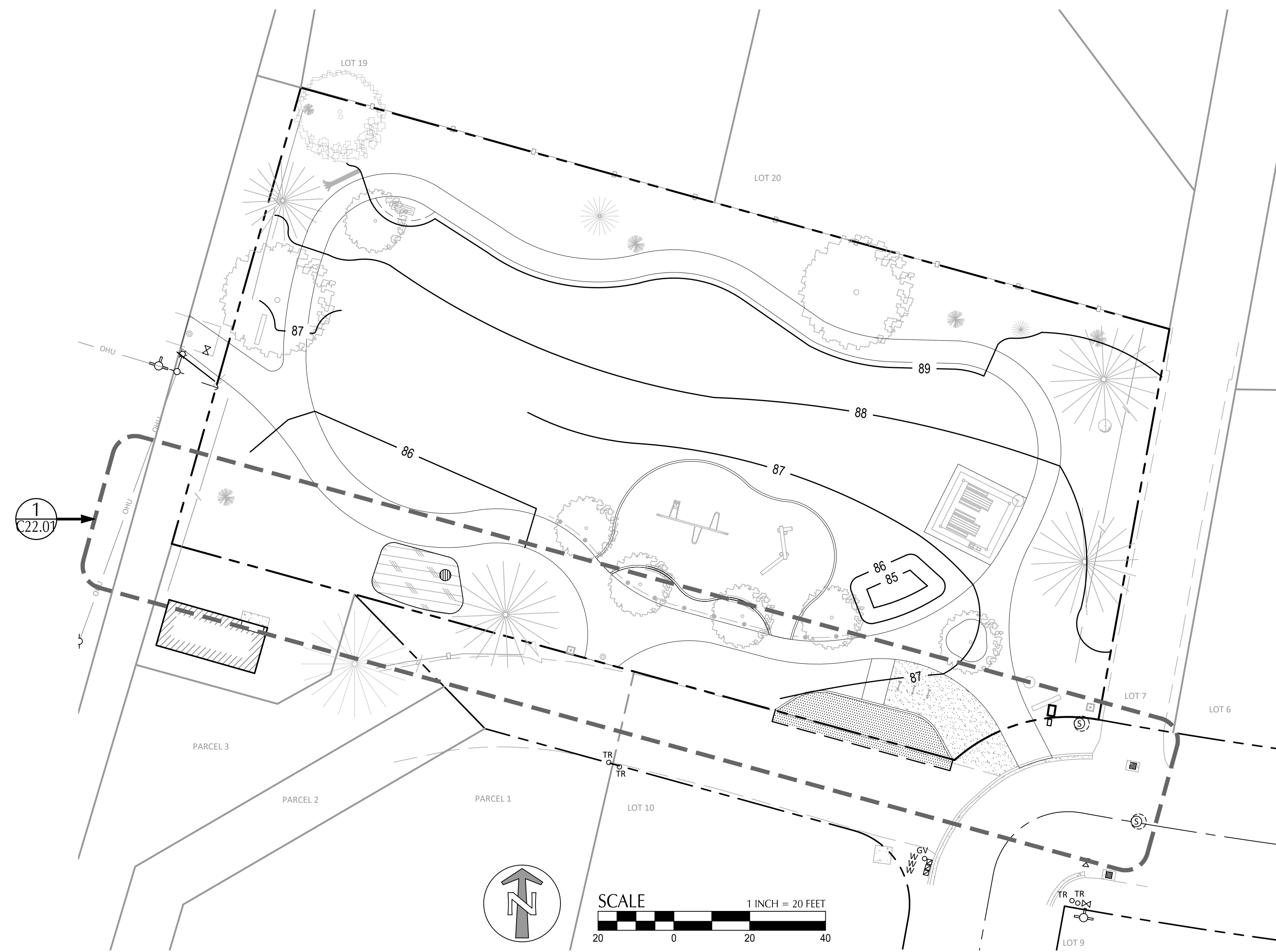
Checked By: JZ

Job No. 210234.1

Approved: CV



**C22.00**  
Sheet No. 34 of 52



**SHEET NOTES**

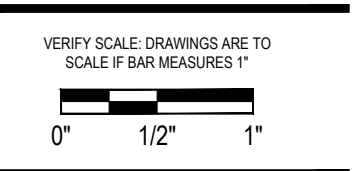
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
2. ALL SIDEWALK PAVEMENT JOINTS SHALL BE CONSTRUCTED PER DETAIL XX/XX.X.

**(X) PUBLIC WORKS KEY NOTES**

#	DESCRIPTION	DETAIL REF.
P1	CONCRETE SIDEWALK	
P2	CONCRETE DRIVEWAY	
P3	CONCRETE CURB RAMP WITH DETECTABLE WARNING	

**SHEET LEGEND**

	PROPERTY LINE		(X) (S.V)
	SAWCUT LINE		(X) (S.V)
	GRAVEL		
	STANDARD ASPHALT PAVEMENT		



**Project:**  
Scott Park, Balfour Park,  
& Bowman Brae Park  
City of Milwaukee  
10722 SE Main Street  
Milwaukee, WI 53222  
503-786-7555

**Submittal:** Design Development  
Sheet Title - Bowman Brae Park:  
**FRONTAGE  
IMPROVEMENT**

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Date: 03/21/2023

Revisions:

Drawn By: CK/RC

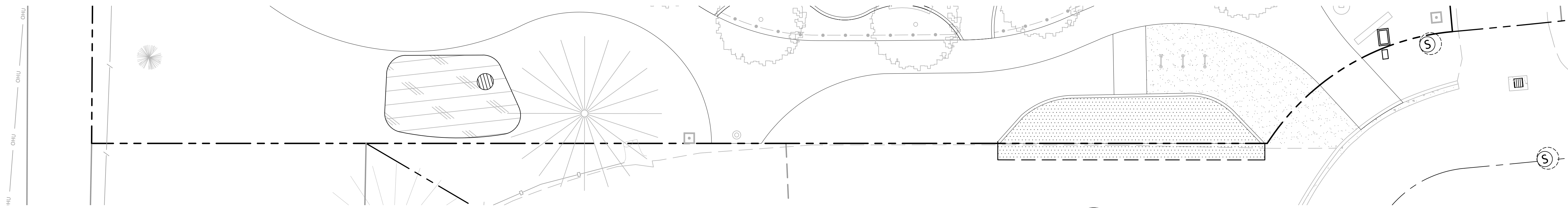
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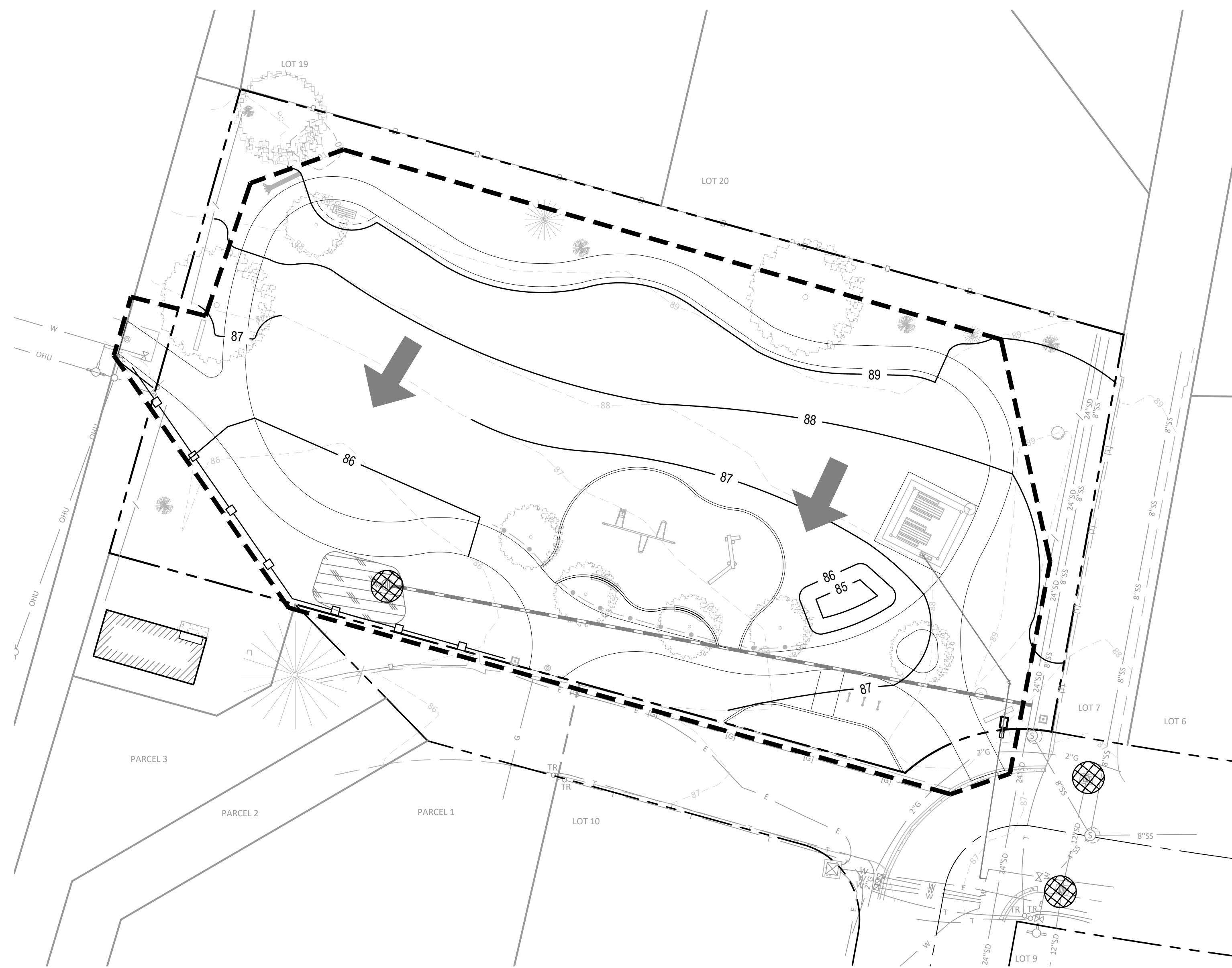
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Sheet No. 35 of 52



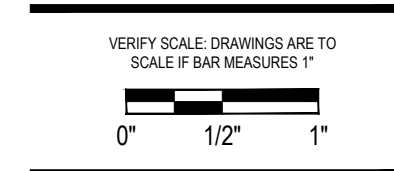
**1 ENLARGEMENT 1**  
SCALE: 1" = 10'





**EROSION PREVENTION AND  
SEDIMENT CONTROL (ECS) NOTES:**

- ALL EROSION PREVENTION MEASURES SHALL BE IN PLACE, FUNCTIONAL, AND APPROVED IN ACCORDANCE WITH THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. ALL SOIL DISTURBING AND CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH MMC CHAPTER 16.28 EROSION CONTROL AND ANY APPLICABLE LOCAL, STATE OR FEDERAL REQUIREMENTS.
- ALTERNATIVE SEDIMENT CONTROLS MUST PROVIDE A DISCHARGE THAT IS CLEAN AND FREE OF SEDIMENT, SURFACTANTS, AND OTHER POLLUTANTS PRIOR TO ENTERING THE STORM SYSTEM. APPROVAL OF ALTERNATIVE SEDIMENT CONTROLS BY THE CITY OF MILWAUKIE WASTEWATER DIVISION MANAGER IS REQUIRED PRIOR TO INSTALLATION.
- WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES SHALL BE DEVELOPED, MAINTAINED, AND IMPLEMENTED ON THE CONSTRUCTION SITE.
- DUMPING OR DISPOSAL OF SPOIL MATERIALS INTO ANY STREAM CORRIDOR, WETLANDS, SURFACE WATERS OR ON ANY PUBLIC OR PRIVATE PROPERTY NOT SPECIFIED FOR SAID PURPOSE IS PROHIBITED.
- SEDIMENT AND POLLUTANTS SHALL NOT BE WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES. DRY SWEEPING SHALL BE IMPLEMENTED TO CLEAN UP CONSTRUCTION AREAS TO PREVENT RELEASE OF SEDIMENTS INTO THE STORM SYSTEM.
- DISPOSAL OF SEDIMENT LADEN WATER INTO THE WASTEWATER SYSTEM IS PROHIBITED, UNLESS PRIOR WRITTEN APPROVAL IS RECEIVED FROM THE CITY OF MILWAUKIE WASTEWATER DIVISION MANAGER. SEDIMENT LADEN WATER SHALL BE PUMPED THROUGH AN APPROVED SEDIMENT CONTROL BMP PRIOR TO DISPOSAL INTO THE WASTEWATER SYSTEM.
- SAWCUTTING SLURRY AND DEBRIS SHALL BE VACUUMED AND REMOVED FROM ALL IMPERVIOUS SURFACES. VACUUMED SAWCUTTING SLURRY SHALL BE PROPERLY DISPOSED OF AND NOT DISCHARGED INTO THE STORM SYSTEM.
- WATER TIGHT TRUCKS SHALL BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE.
- TEMPORARY STABILIZATION AND COVERING OF SOIL STOCKPILES SHALL OCCUR AT THE END OF EACH WORK DAY.
- ALL TOXIC OR HAZARDOUS MATERIALS SHALL BE PROPERLY STORED, APPLIED, AND DISPOSED.
- AN AREA SHALL BE DESIGNATED FOR WASHING OUT CONCRETE TRUCKS SUCH THAT RUNOFF FROM WASHING ACTIVITIES ARE CONTAINED AND DO NOT LEAVE THE SITE OR ENTER THE STORM SYSTEM.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE WASHED TO THE STREET OR STORM SYSTEM. SWEEPINGS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN THE TRASH.
- PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUNOFF INTO THE STORM SYSTEM IS PROHIBITED.
- TRACKING OF DIRT AND DEBRIS ONTO IMPERVIOUS SURFACES, SUCH AS STREETS AND PARKING LOTS, IS PROHIBITED. IMPERVIOUS SURFACES SHALL BE KEPT FREE OF DIRT AND DEBRIS AT ALL TIMES IF IT CAN BE SPREAD BY TRAFFIC OR CAN ENTER THE STORM SYSTEM.
- GRAVEL OR DIRT CURB RAMPS ARE PROHIBITED. ONLY WOOD STEP STYLE CURB RAMPS ARE ALLOWED.
- UPON COMPLETION OF SITE RESTORATION AND APPROVAL FROM THE CITY OF MILWAUKIE ENGINEERING DIRECTOR, ALL TEMPORARY EROSION CONTROL MEASURES MAY BE REMOVED.
- DRAINAGE FROM SPRINGS OR GROUNDWATER MUST BE ADDRESSED DURING CONSTRUCTION BY THE CONTRACTOR. DISCHARGE FROM GROUNDWATER ENCOUNTERED ON THE SITE MUST BE CLEAN OF SEDIMENT OR POLLUTANTS.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCH, OR OTHER APPROVED MEASURES.
- DATES OF IMPLEMENTATION OF WET WEATHER MEASURES ARE OCTOBER 1ST TO APRIL 30TH.
- MATERIALS SHALL NOT BE STOCKPILED ON PUBLIC STREETS OR IN THE RIGHT OF WAY FOR LONGER THAN IMMEDIATE USE.



**Project:**  
Scott Park, Balfour Park,  
& Bowman Brae Park  
City of Milwaukie  
10722 SE Main Street  
Milwaukie, OR 97222  
503-786-7655

**Submittal:** Design Development  
Sheet Title - Bowman Brae Park:  
**EROSION CONTROL  
PLAN**

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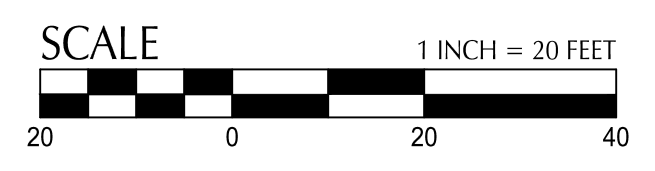
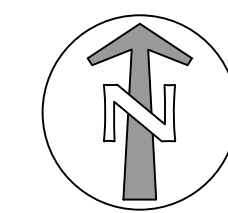
Date: 03/21/2023  
Revisions:

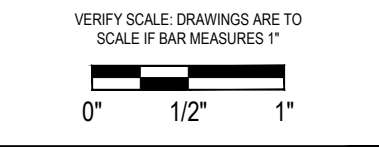
Drawn By: CK/RC  
Checked By: JZ  
Job No. 210234.1  
Approved: CV

**C22.02**  
Sheet No. of ###

**SHEET LEGEND**

	PROPERTY LINE		INLET PROTECTION	
	EX. CONTOUR MINOR		SURFACE FLOW DIRECTION	
	EX. CONTOUR MAJOR		TREE PROTECTION FENCE	
	PROP. CONTOUR MINOR		TEMPORARY GRASS SEED MIX	SEE LANDSCAPE PLANS FOR MORE INFORMATION.
	PROP. CONTOUR MAJOR			
	EXTENT OF WORK			
	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).			





**SITE MATERIALS KEY NOTES**

ITEM	DETAIL /SHEET(S)	SPEC SECTION
<b>1.0</b>	<b>PAVEMENTS, CURBS</b>	
1.1	ASPHALT PAVING	
1.2	CONCRETE PAVING	
1.3	EWF PLAY SURFACING	
1.4	CONCRETE CURB	
<b>2.0</b>	<b>JOINTING</b>	
2.1	DOWELED EXPANSION JOINT	
2.2	CONTRACTION JOINT	
2.3	DUMMY JOINT	
<b>3.0</b>	<b>WALLS</b>	
3.1	CONCRETE PLANTER WALL	
<b>4.0</b>	<b>RAILINGS, BARRIERS</b>	
4.1	BOLLARD AND CABLE FENCING	
4.2	PLAY AREA FENCING	
4.3	REMOVABLE BOLLARD	
<b>5.0</b>	<b>SITE LIGHTING</b>	
5.1	EXISTING LAMP AND POST	
<b>6.0</b>	<b>MISCELLANEOUS SITE FEATURES</b>	
6.1	PICNIC TABLE	
6.2	6' BENCH	
6.3	BICYCLE RACK	
6.4	DRINKING FOUNTAIN	
6.5	PARK SIGN	
6.6	WOOD LOG	
6.7	PICNIC SHELTER	
6.8	SWING	
6.9	TRASH OR DOG WASTE CAN	
6.10	TRUNCATED DOMES	

**SITE MATERIALS GENERAL NOTES**

- REFER TO SHEET L22.00 FOR SITE MATERIALS NOTES.
- GENERAL MATERIALS NOTES APPLY TO ALL SITE MATERIALS DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE MATERIALS PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.

Project:  
**Scott Park, Balfour Park,  
& Bowman Brae Park**

City of Milwaukee  
10722 SE Main Street  
Milwaukee, OR 97222  
503-786-7555

Submittal: Design Development

**Sheet Title – Bowman Brae Park :  
Materials Notes**

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC

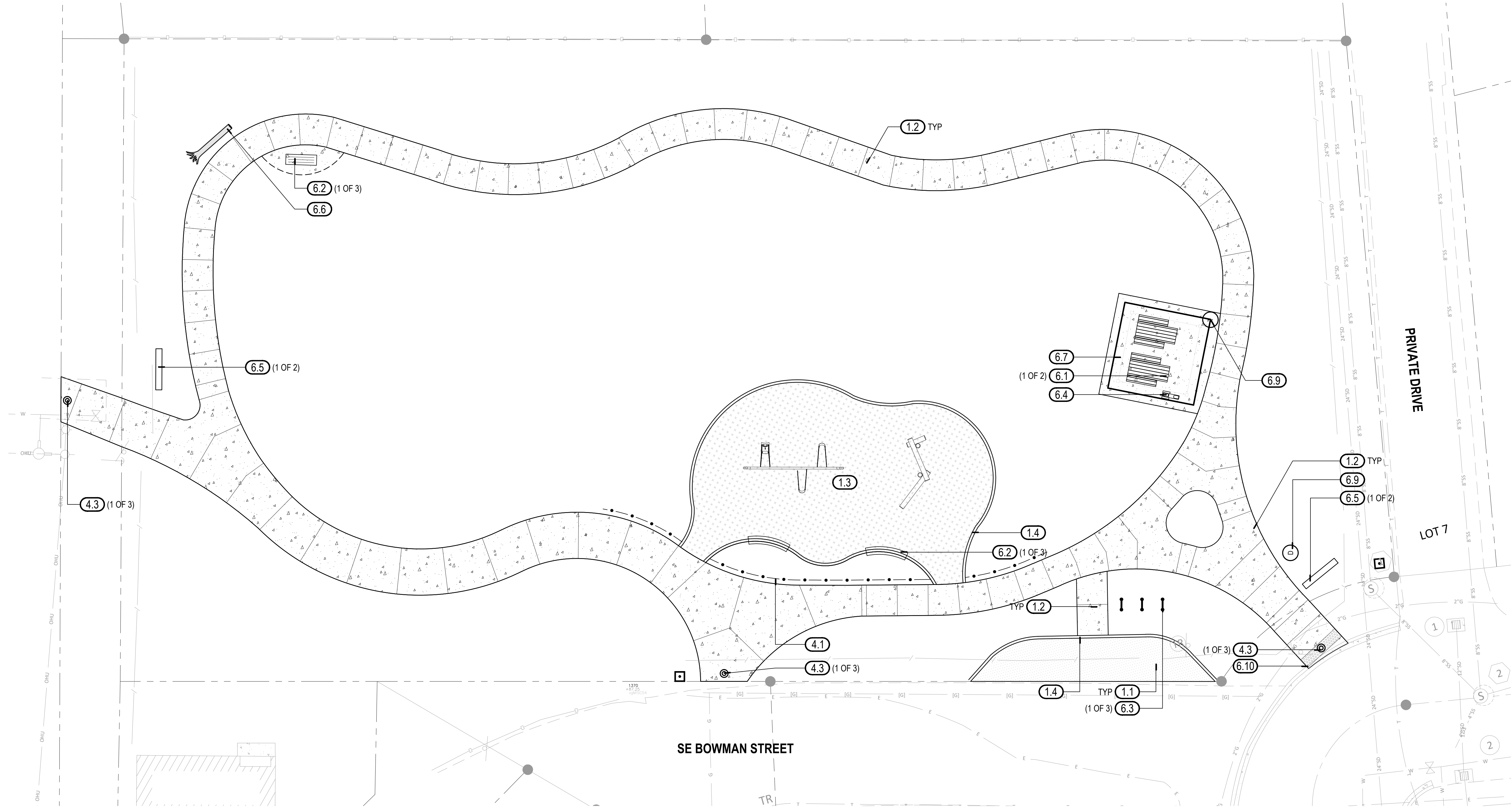
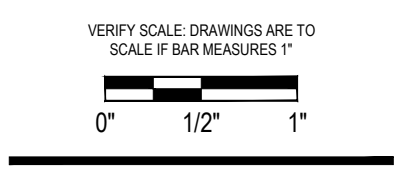
Checked By: BJ/GM

Job No. 210234.1

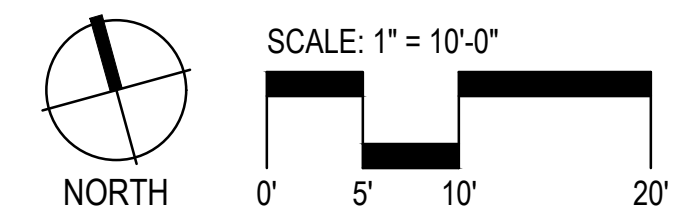
Approved: GW

**L22.00**

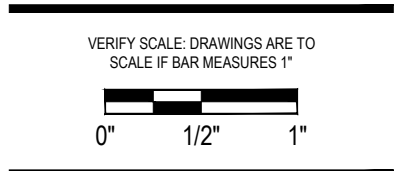
Sheet No. 37 of 52



MATERIALS LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	PERMEABLE CONCRETE PAVING		DOWELED EXPANSION JOINT
	GRAVEL		CONTRACTION JOINT
	ENGINEERED WOOD FIBER		DUMMY JOINT
	CONCRETE CURB OR WALL		WOOD BENCH
	BOLLARD & CABLE FENCE		BICYCLE RACK
	PICNIC TABLE		TRUNCATED DOMES



G:\PROJECTS\210234\_1\_MILWAUKEE\_PARKS\_CE\_DESIGN\_DEVELOPMENT\_SERVICES\210234\_1\_BWMM\_MATL.DWG



Project: Scott Park, Balfour Park, & Bowman Brae Park

Sheet Title - Bowman Brae Park : Layout Plan

City of Milwaukee  
10722 SE Main Street  
Milwaukee, WI 53222  
503-786-7555

Submittal: Design Development

Date: 04/11/2023

Revisions:

Drawn By: GM/YC

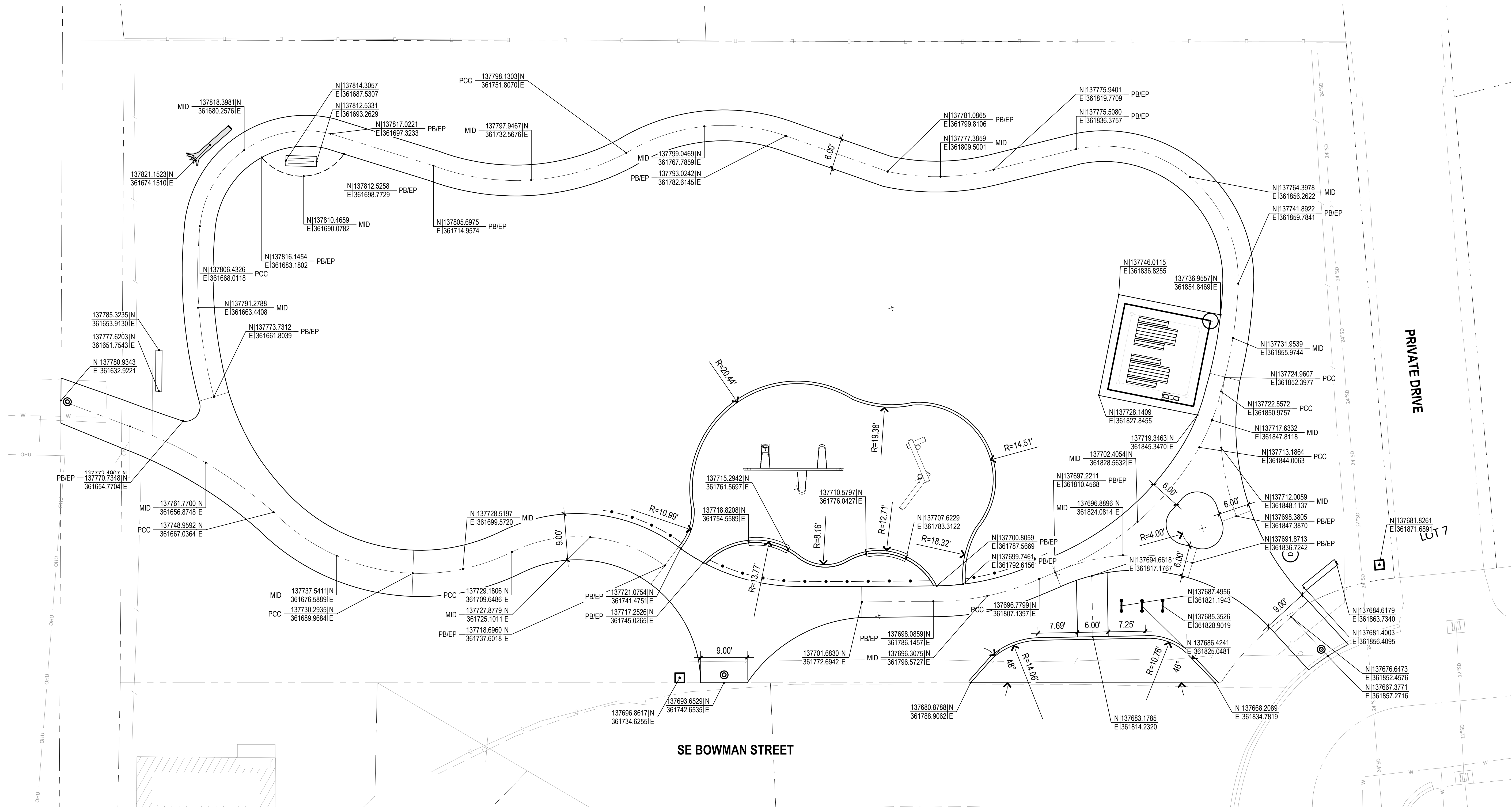
Checked By: BJ/GM

Job No. 210234.1

Approved: GW

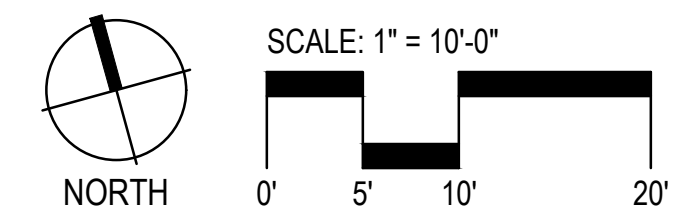
**L23.01**

Sheet No. 39 of 52



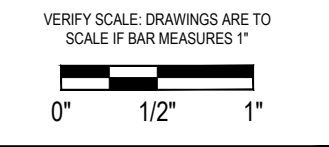
**SITE LAYOUT GENERAL NOTES**

1. GENERAL LAYOUT NOTES APPLY TO ALL SITE LAYOUT DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE LAYOUT PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.
2. VERIFY ALL DIMENSIONS AND PROJECT LAYOUT PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF MATERIALS. IF LAYOUT CONFLICTS ARISE, CONTACT THE OWNER'S REPRESENTATIVE.
3. DIMENSIONS ARE TO FACE OF BUILDING, PAVING, WALLS, AND CURBS, ETC. UNLESS INDICATED OTHERWISE.
4. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE OF PLANS
5. DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF LAYOUT CONFLICTS ARISE IN FIELD, CONTACT OWNER'S REPRESENTATIVE FOR RESOLUTION.
6. ALL CURVED WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED.
7. CONTRACTOR SHALL STAKE PATHS AND PAVING AREAS. FINAL LAYOUT WILL BE APPROVED BY OWNER'S REPRESENTATIVE.
8. OWNER'S REPRESENTATIVE TO APPROVE FORMWORK FOR PATHS PRIOR TO CONTRACTOR PLACING CONCRETE.



LAYOUT LEGEND	
SYMBOL	ITEM
	CENTERLINE
	LINEAR DIMENSION
	RADIAL DIMENSION
	NORTHING AND EASTING COORDINATES

G:\PROJECTS\2023\1\_MILWAUKEE\_PARKS\_CE\_DESIGN\_DEVELOPMENT\_SERVICES\02\_PRODUCTION\01\_CAD\03\_BOWMAN\_BRAE\_PARK\01\_PLOT\_SHEETS\210234\_1\_BWMM\_LAYOUT.DWG



Project: Scott Park, Balfour Park, & Bowman Brae Park

City of Milwaukee  
10722 SE Main Street  
Milwaukee, WI 53222  
503-786-7555

Submittal: Design Development

Sheet Title – Bowman Brae Park :

Grading Plan

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC

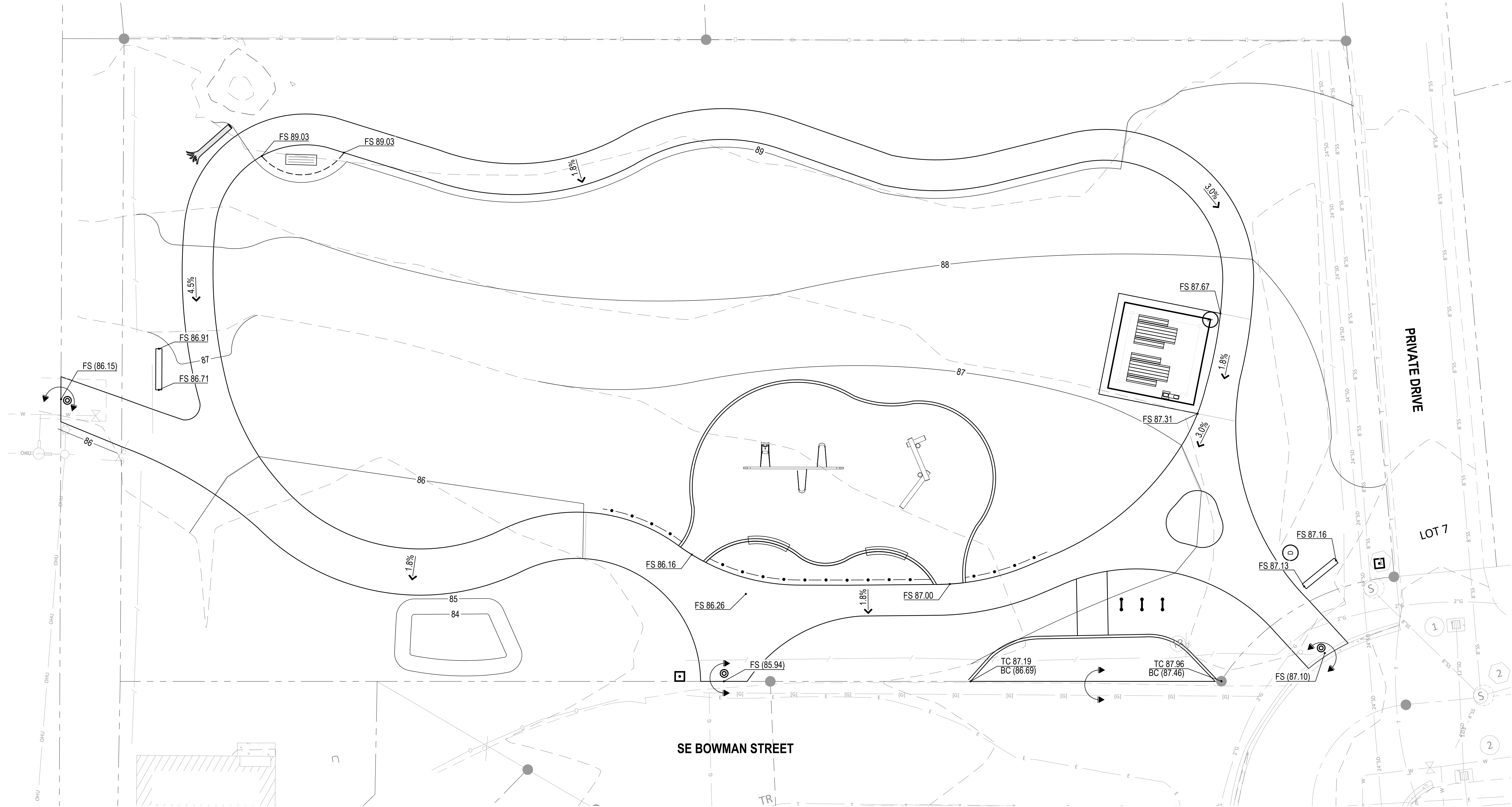
Checked By: BJ/GM

Job No. 210234.1

Approved: GW

**L24.01**

Sheet No. 40 of 52



**GRADING REFERENCE NOTES**

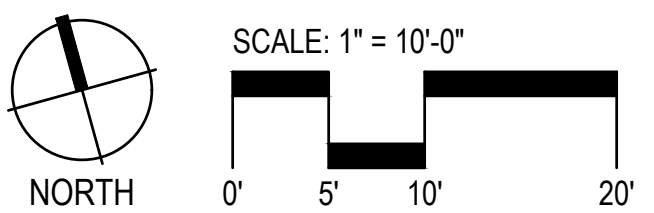
1. ALL CONCRETE PATHS SHALL NOT EXCEED 5% RUNNING SLOPE AND MUST MAINTAIN 1%-2% CROSS SLOPE.
2. ALL GRAVEL AREAS AND TRAILS SHALL NOT EXCEED 5% RUNNING SLOPE AND MUST MAINTAIN 2% CROSS SLOPE.

**GRADING GENERAL NOTES**

1. GENERAL GRADING NOTES APPLY TO ALL SITE GRADING DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE GRADING PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.

**GRADING LEGEND**

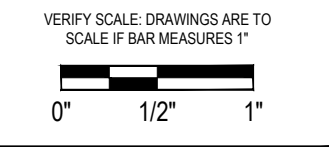
SYMBOL	ITEM
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR



G:\PROJECTS\210234\_1\_MILWAUKEE\_PARKS\_CE\_DESIGN\_DEVELOPMENT\_SERVICES\02\_PRODUCTION\01\_CADD\03\_BOWMAN\_BRAE\_PARK\01\_PLOT\_SHEETS\210234\_1\_BWMM\_GRAD.DWG







VERIFY SCALE DRAWINGS ARE TO  
SCALE IF BAR MEASURES 1"

Project:  
Scott Park, Balfour Park,  
& Bowman Brae Park

City of Milwaukee  
10722 SE Main Street  
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503-786-7555

Submittal: Design Development

Sheet Title – Bowman Brae Park :  
Irrigation Plan

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Date: 04/11/2023

Revisions:

Drawn By: MM

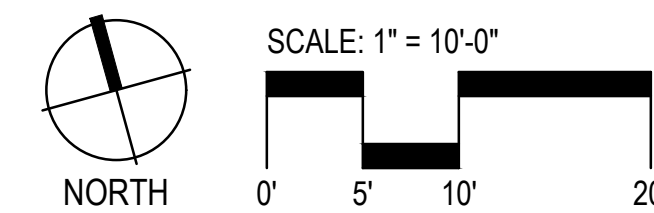
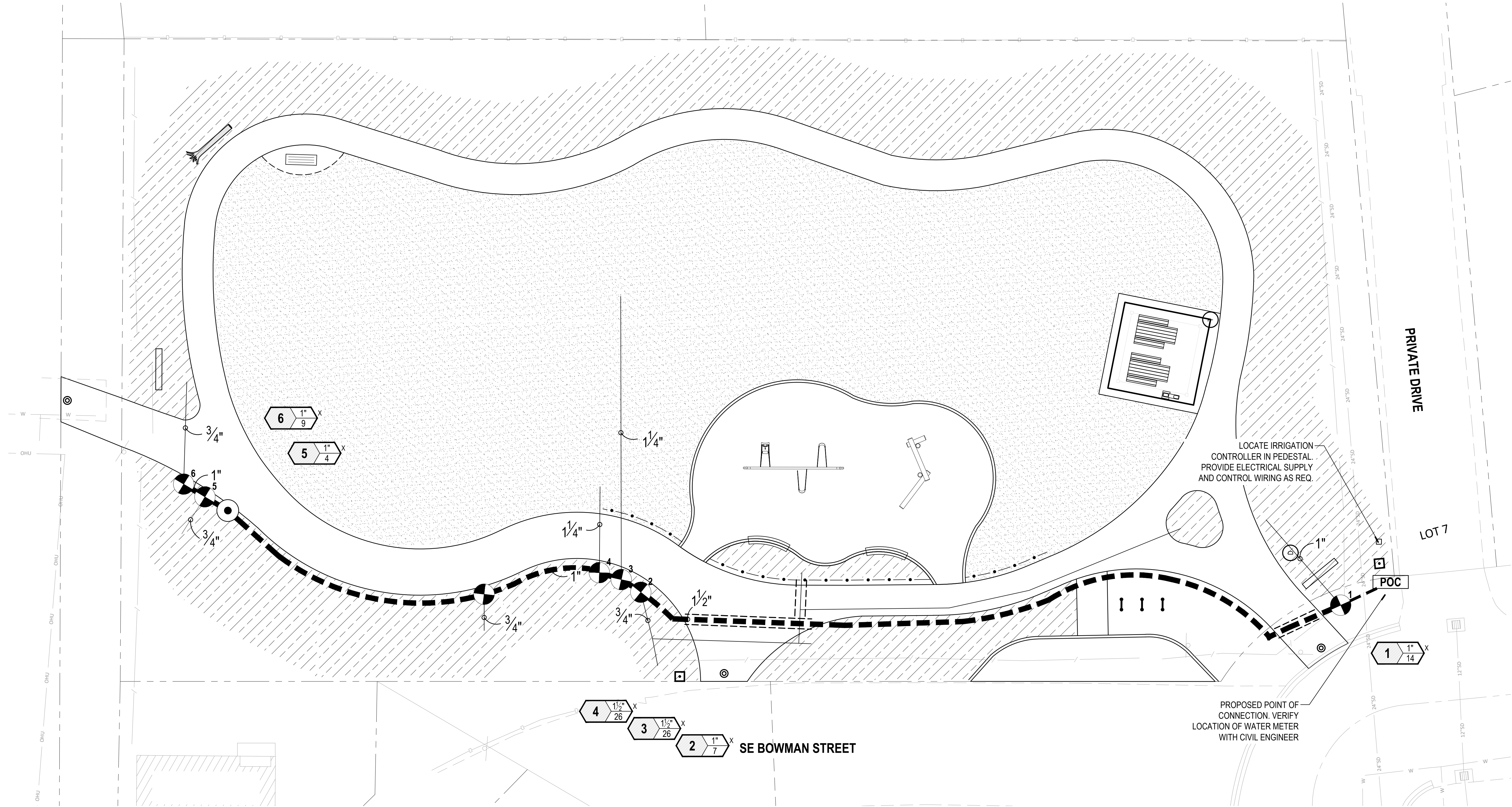
Checked By: BJ/GM

Job No. 210234.1

Approved: GW

**L25.01**

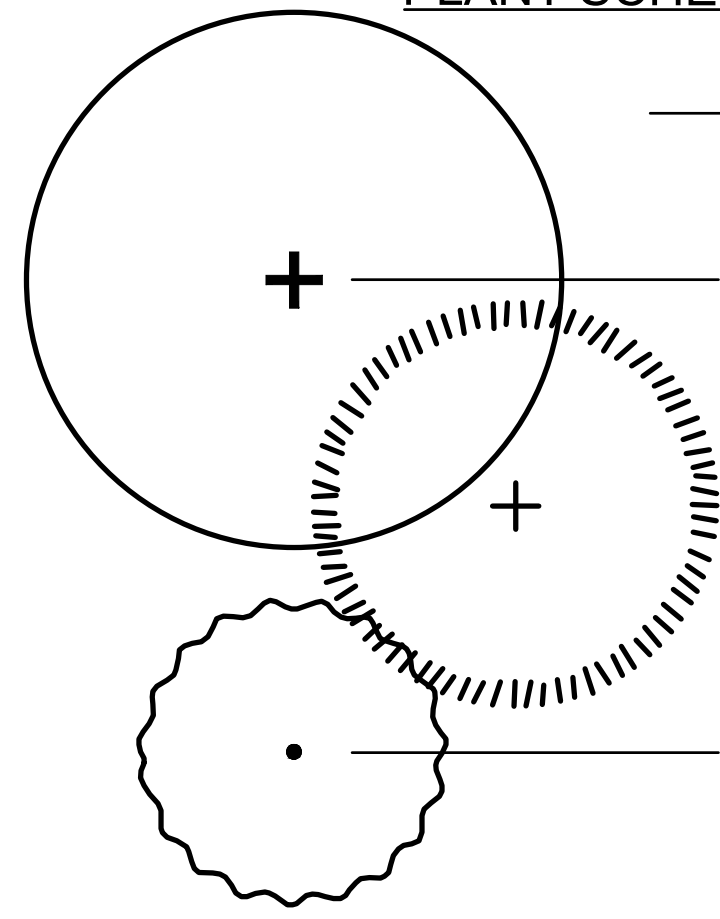
Sheet No. 42 of 52



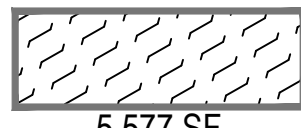
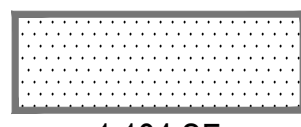



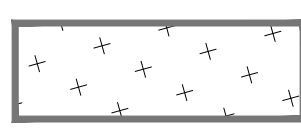

SCALE: 1" = 10'-0"

G:\PROJECTS\210234\_1\_MILWAUKEE\_PARKS\_CE\_DESIGN\_DEVELOPMENT\_SERVICES\210234\_1\_BWMN\_IRRIG.DWG

**PLANT SCHEDULE**



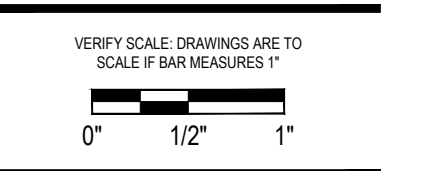
TREES					
BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.	
ULMUS DAVIDIANA 'JFS KW2UD'	GREENSTONE ELM	1.5" CAL., B&B	AS SHOWN	2	
QUERCUS GARRYANA	OREGON WHITE OAK	1.5" CAL., B&B	AS SHOWN	4	
RHAMNUS PURSHIANA	CASCARA	1.5" CAL., BAREROOT	AS SHOWN	6	

SHRUBS / GROUNDCOVERS					
BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	QTY. /100SF	TOTAL QTY.
<b>FULL SUN SCREENING SHRUBS</b>					
 5,577 SF	Spiraea douglasii Philadelphus lewisii Gaultheria shallon	Douglas spirea Lewis' mock orange Salal		2 GAL 2 GAL 1 GAL	
<b>WOODLAND UNDERSTORY PLANTING</b>					
 1,184 SF	Symphoricarpos albus Vaccinium ovatum Asplenium trichomanes	Snowberry Evergreen huckleberry Maidenhair spleenwort		2 GAL 2 GAL 2 GAL	
<b>NATIVE GRASS AND WILDFLOWERS</b>					
 3,722 SF	Deschampsia caespitosa Achillea millefolium Campanula rotundifolia	Tufted Hair Grass Yarrow Common Harebell		1 GAL 1 GAL 1 GAL	
<b>POLLINATOR PLANTS</b>					
 577 SF	Erigonum nudum Ceanothus integerrimus Spiraea douglasii var. douglasii	Barestem Buckwheat Deerfush Douglas' Spiraea		1 GAL 1 GAL 1 GAL	
<b>RAIN GARDEN</b>					
 327 SF	Cornus sericea Spiraea betulifolia Juncus effusus sp. spacificus	Red Twig Dogwood White Spirea Pacific Rush		1 GAL 1 GAL 1 GAL	
<b>TURF SEED MIX:</b>					
 11,697 SF	LOLIUM PERENNE FESTUCA ARUNDINACEA POA PRATENSIS	PERENNIAL RYEGRASS FINE FESCUE KENTUCKY BLUEGRASS			
<b>BARK MULCH</b>					
 93 SF					

PLANT SAME SPECIES IN GROUPS OF 1, 3, OR 5

**PLANTING REFERENCE NOTES**

- EXISTING PLANTING AREA TO REMAIN, PRESERVE AND PROTECT.
- SEED ALL DISTURBED AREAS.



**PLANTING GENERAL NOTES**

- PROVIDE PLANTING SOIL AND BARK MULCH TO THE COMPOSITION AND DEPTHS IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- INSTALL PLANTS IN ACCORDANCE WITH THE DRAWINGS AND THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- PLANT QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. ALL COUNTS MUST BE VERIFIED PRIOR TO INSTALLATION. IN THE CASE OF A DISCREPANCY BETWEEN THE LEGEND AND THE PLAN, PLANTS INDICATED ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN THE LEGEND.
- UTILITY LOCATIONS SHOWN ON PLANS MAY DIFFER FROM FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE INSTALLATION. CONFLICTS BETWEEN ANY EXISTING AND PROPOSED UTILITIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- PLANTS INDICATED TO BE INSTALLED IN STORMWATER FACILITIES DESIGNED TO BE FREQUENTLY INUNDATED (TO WATER DEPTHS ABOVE THE SMALLEST INSTALLED PLANT HEIGHT) SHALL BE ENTIRELY DEWATERED PRIOR TO PLANT INSTALLATION. PLANTS INSTALLED IN STORMWATER FACILITIES WITH ANTICIPATED HIGH WATER LEVELS MAY BE INSTALLED OUTSIDE THE SPECIFIED PLANT INSTALLATION WINDOW IF ADDITIONAL SUPPLEMENTAL IRRIGATION IS PROVIDED.

Project: Scott Park, Balfour Park, & Bowman Brae Park  
 City of Milwaukee  
 10722 SE Main Street  
 Milwaukee, WI 53222  
 503-786-7555

Submittal: Design Development  
**Sheet Title – Bowman Brae Park : Plant Schedule and Notes**

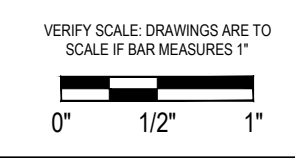
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Date: 04/11/2023  
 Revisions:

Drawn By: JD/YC  
 Checked By: BJ/GM  
 Job No. 210234.1  
 Approved: GW

**L26.00**  
 Sheet No. 43 of 52

G:\PROJECTS\210234\_1\_MILWAUKEE\_PARKS\_CE\_DESIGN\_DEVELOPMENT\_SERVICES\02\_PRODUCTION\01\_CAD\03\_BOWMAN\_BRAE\_PARK\01\_PLOT\_SHEETS\210234\_1\_BOWMAN\_PLANT.DWG



Project:  
Scott Park, Balfour Park,  
& Bowman Brae Park

City of Milwaukee  
10722 SE Main Street  
Milwaukee, OR 97222  
503-786-7555

Submittal: Design Development

Sheet Title – Bowman Brae Park :

Planting Plan

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Date: 04/11/2023

Revisions:

Drawn By: JD/YC

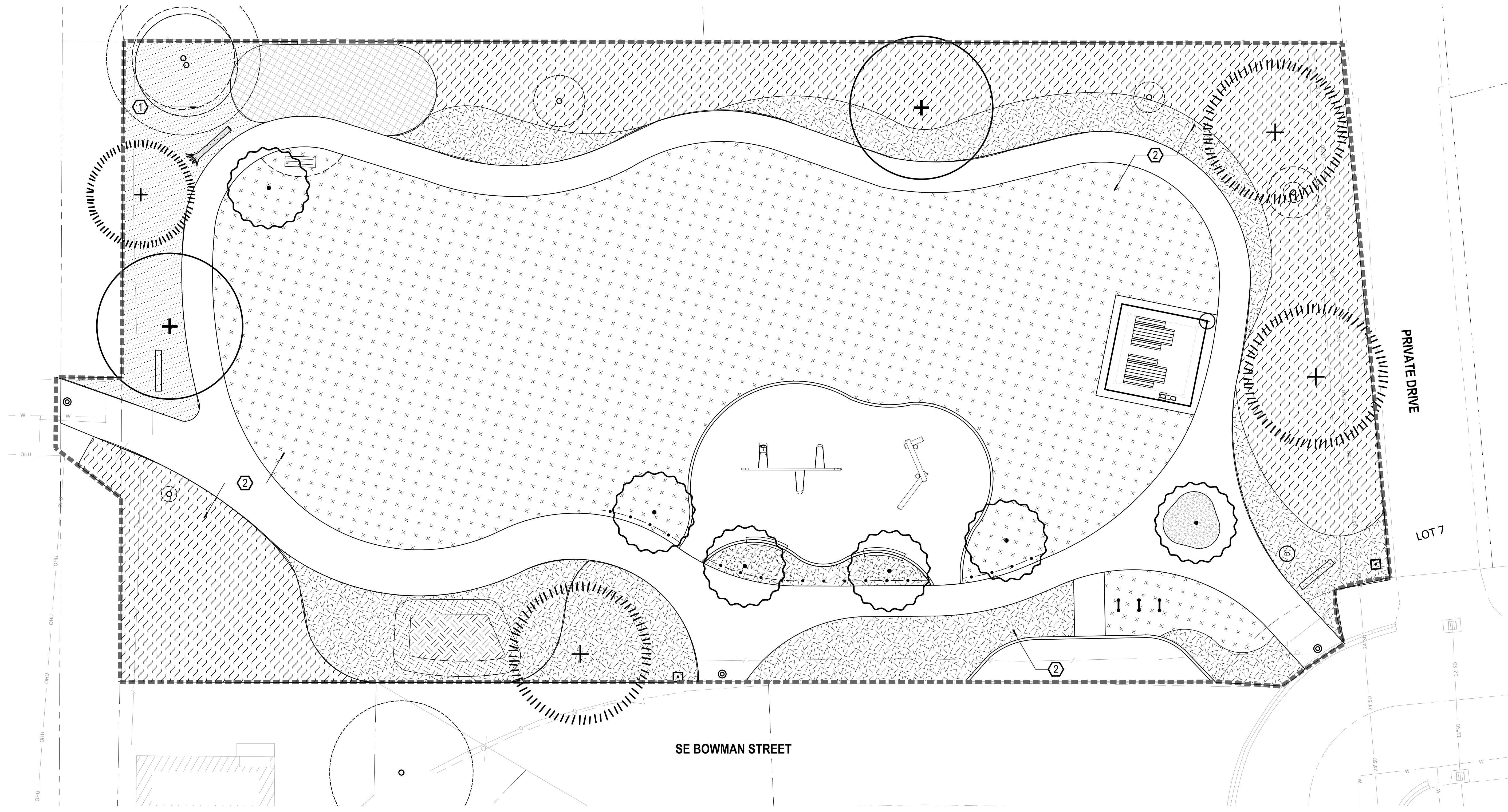
Checked By: BJ/GM

Job No. 210234.1

Approved: GW

**L26.01**

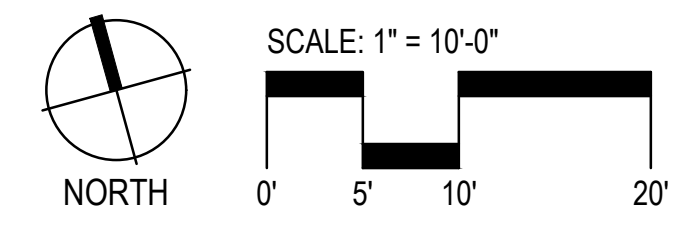
Sheet No. 44 of 52



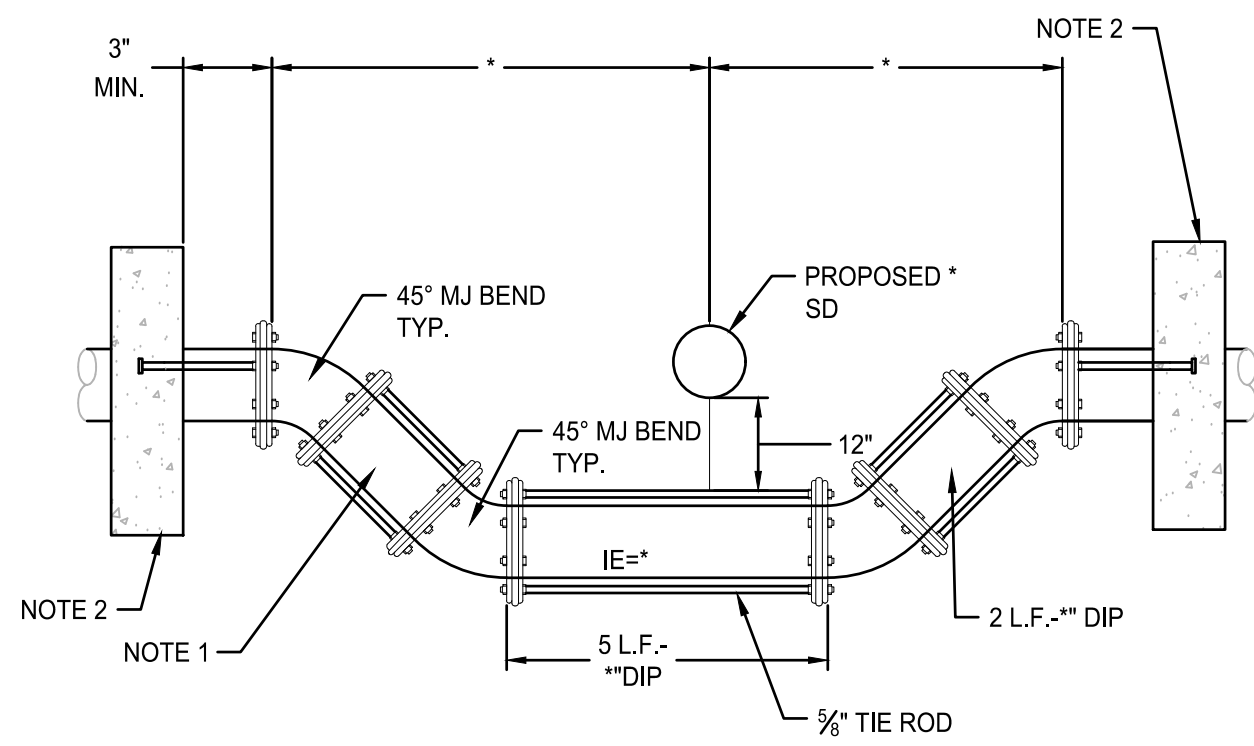
SE BOWMAN STREET

PRIVATE DRIVE

LOT 7

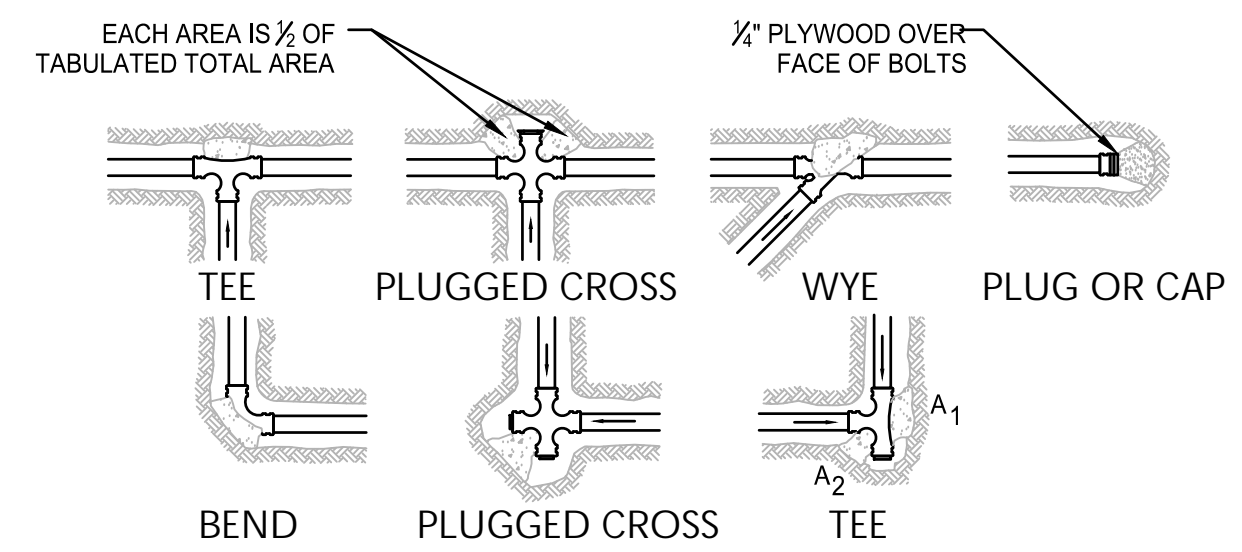


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- NOTES:
- DIP MJ SPOOL, \* L.F.-\* DIP CONTRACTOR TO VERIFY LENGTH OF \* DIP NECESSARY TO MEET WATERLINE CLEARANCE TYP.
  - CONC. ANCHOR BLOCK W/ TIE BOLTS, DUCT LUGS OR STEEL PLATE AS APPROVED

**3 TYPICAL WATERLINE UTILITY CROSSING**  
SCALE: NTS



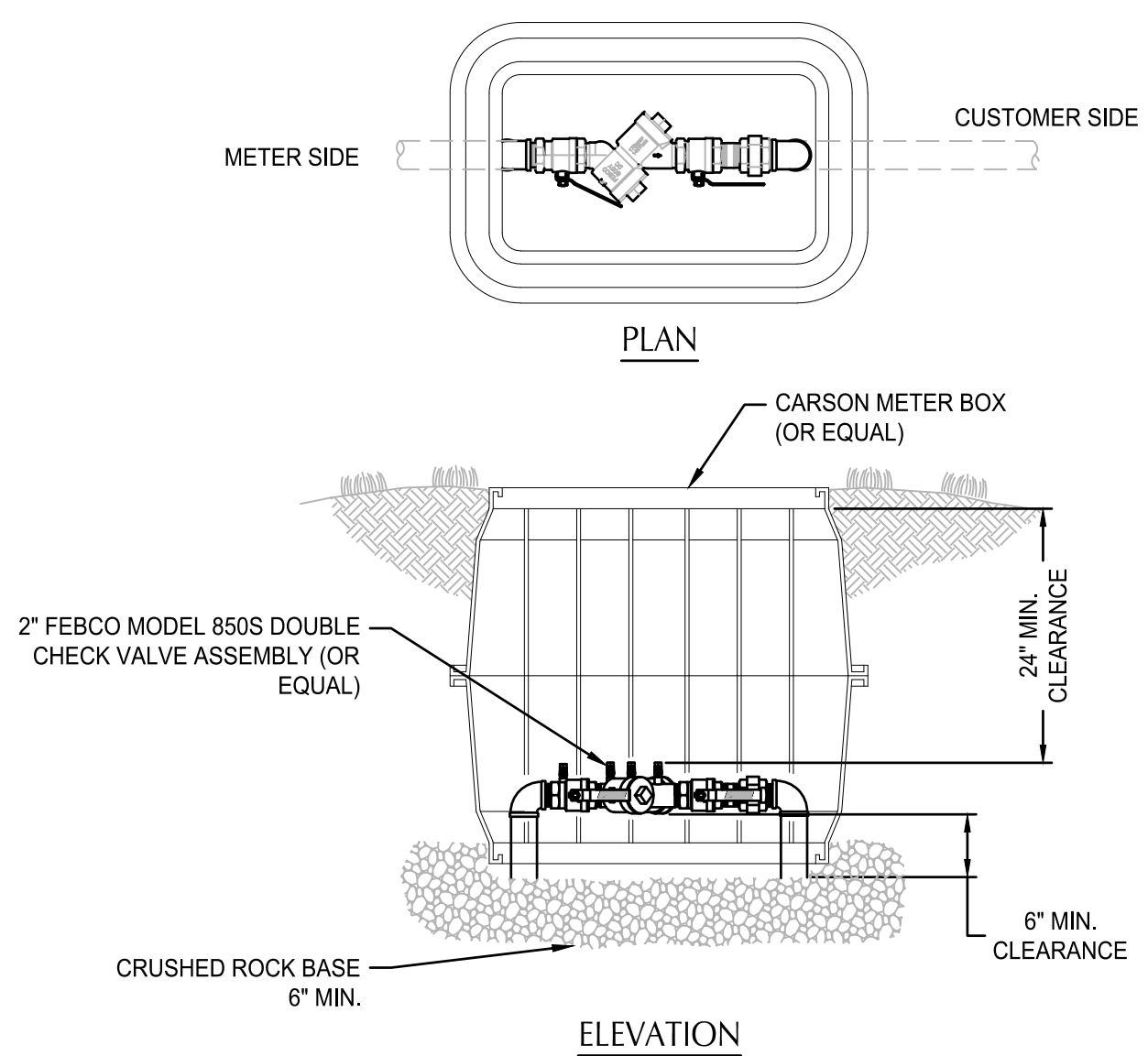
- CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
- KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
- THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENCIRCLED ON THE PLAN; e.g. 15 INDICATES 15 SQUARE FEET BEARING AREA REQUIRED.
- IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW, ADJUST IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS (ES) STATED IN THE SPECIAL SPECIFICATIONS.
- BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.

BEARING AREA OF THRUST BLOCK IN SQUARE FOOT

FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22 1/2° BEND	11 1/2° BEND
			A1	A2			
4	1.0	1.4	1.9	1.4	1.0		
6	2.1	3.0	4.3	3.0	1.6	1.0	
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0
10	5.9	8.4	11.8	8.4	4.6	2.4	1.2

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 p.s.i. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 p.s.i. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURE AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150)(X)2000/ SOIL BEARING STRESS(X)TABLE VALUE).

**1 THRUST BLOCK**  
SCALE: NTS



NOTE: INSTALLATION SHOWN IS ONLY A SUGGESTION. THE DISTANCE FROM BOTTOM OF DEVICE TO FINISH GRADE, FREEZE PROTECTION, AND CLEARANCE FOR TESTING & REPAIR ARE THE MAJOR CONSIDERATIONS FOR INSTALLATION. PLUGS TO BE INSTALLED IN TEST COCKS OF BELOW GROUND INSTALLATIONS (NO DISSIMILAR METALS). IF FREEZE PROTECTION IS PROVIDED, THE 24" MIN CLEARANCE MAY BE REDUCED.

**2 DOUBLE CHECK BACKFLOW ASSEMBLY**  
SCALE: NTS

CLASSIFICATION	DEPTH (IN.) WHICH EVER IS GREATER
ARTERIAL/INDUSTRIAL	8 OR EXISTING
COLLECTOR	6 OR EXISTING
LOCAL	4 OR EXISTING

NOTES:

- ADDITIONAL REPAIR IS REQUIRED FOR STREETS PAVED WITHIN THE LAST 5 YEARS; SEE STANDARD DETAIL NO. 511.
- FINAL SAWCUTS MUST BE 6" WIDER THAN THE WIDTH OF THE ROLLER USED FOR COMPACTION
- PAVING TO CONSIST OF LEVEL 3 ASPHALT CONCRETE AND BE PLACED IN LIFTS. EACH LIFT MUST HAVE A MAXIMUM DEPTH OF 3" & MINIMUM DEPTH OF 2".
- INFRARED ASPHALT REPAIRS MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER.
- UNDERMINED, BROKEN OR CRACKED PAVEMENT EDGES MUST BE SAWCUT AND REMOVED AT THE DISCRETION OF THE CITY ENGINEER.
- CONTROL DENSITY FILL (CDF) MAY BE REQUIRED AT CITY ENGINEER'S DISCRETION.
- ALL ROCK AND BACKFILL TO BE COMPACTED TO 95% MAX. DENSITY AASHTO T-180.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.  
**Trench Patch**  
DRAWING NO. 510

NO.	REVISIONS	DATE	BY
3	ADDED T-CUT LANGUAGE	12/14	AKR
4	DRAWING NUMBER CHANGED	11/18	TAP
5	UPDATED NOTES, DRAWING NUMBER CHANGE	06/19	TAP

UNTHREADED GALVANIZED PIPE CONNECTION:

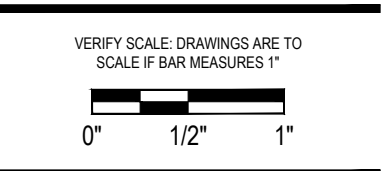
COMPONENT	DESCRIPTION
ROMAC STYLE 511 COUPLING OR APPROVED EQUAL	M.I.P. THREAD C.T.S. BRASS COUPLING FORD C84-44
GALVANIZED NIPPLE	COPPER PIPE
GALVANIZED BUSHING TO MATCH SERV. SIZE	DIELECTRIC UNION WATTS SERIES LF3003 OR APPROVED EQUAL

NOTES:

- IF COPPER TUBING CROSSES CATHODICALLY PROTECTED LINE, ENCASE COPPER IN POLYETHYLENE TUBING FOR 24" (CENTERED AT THE CROSSING LINE) AND FASTEN WITH 2" WIDE ADHESIVE TAPE THAT IS COMPATIBLE WITH POLYETHYLENE.
- PLACE METER BOXES (1) LOCATED BEHIND THE SIDEWALK WHERE THERE IS SUFFICIENT RIGHT-OF-WAY; (2) WITHIN THE PLANTER STRIP, EXCLUDING WATER QUALITY FACILITIES; (3) WITHIN THE SIDEWALK WITH THE BACK OF THE METER BOX AT THE BACK EDGE OF THE SIDEWALK.
- CONNECT GALVANIZED SERVICE PIPE; (1) AT EXISTING THREADED FITTING WITHIN 5 FEET OF WATER METER; (2) RETHREAD EXISTING GALVANIZED SERVICE PIPE; (3) IF EXISTING PIPE IS IN POOR CONDITION AND CANNOT BE RETHREADED, USE UNTHREADED GALVANIZED PIPE CONNECTION DETAIL.
- IF METER BOX IS LOCATED IN THE SIDEWALK, DIELECTRIC UNION WILL BE INSTALLED (1) 6" FROM BACK OF METER INSIDE OF METER BOX, (2) BEHIND BACK OF SIDEWALK.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.  
**3/4 to 1 Inch Water Service**  
DRAWING NO. 401

NO.	REVISIONS	DATE	BY
5	ADDED DIELECTRIC UNION NOTE	12/14	AKR
6	ADDED 3/4" WATER SERVICE	11/18	TAP
7	TITLE CHANGE	06/19	TAP



CITY OF MILWAUKIE

Project: Scott Park, Balfour Park, & Bowman Brae Park  
City of Milwaukee  
10722 SE Main Street  
Milwaukee, WI 53228  
503-786-7555

Submittal: Design Development  
Sheet Title: DETAILS

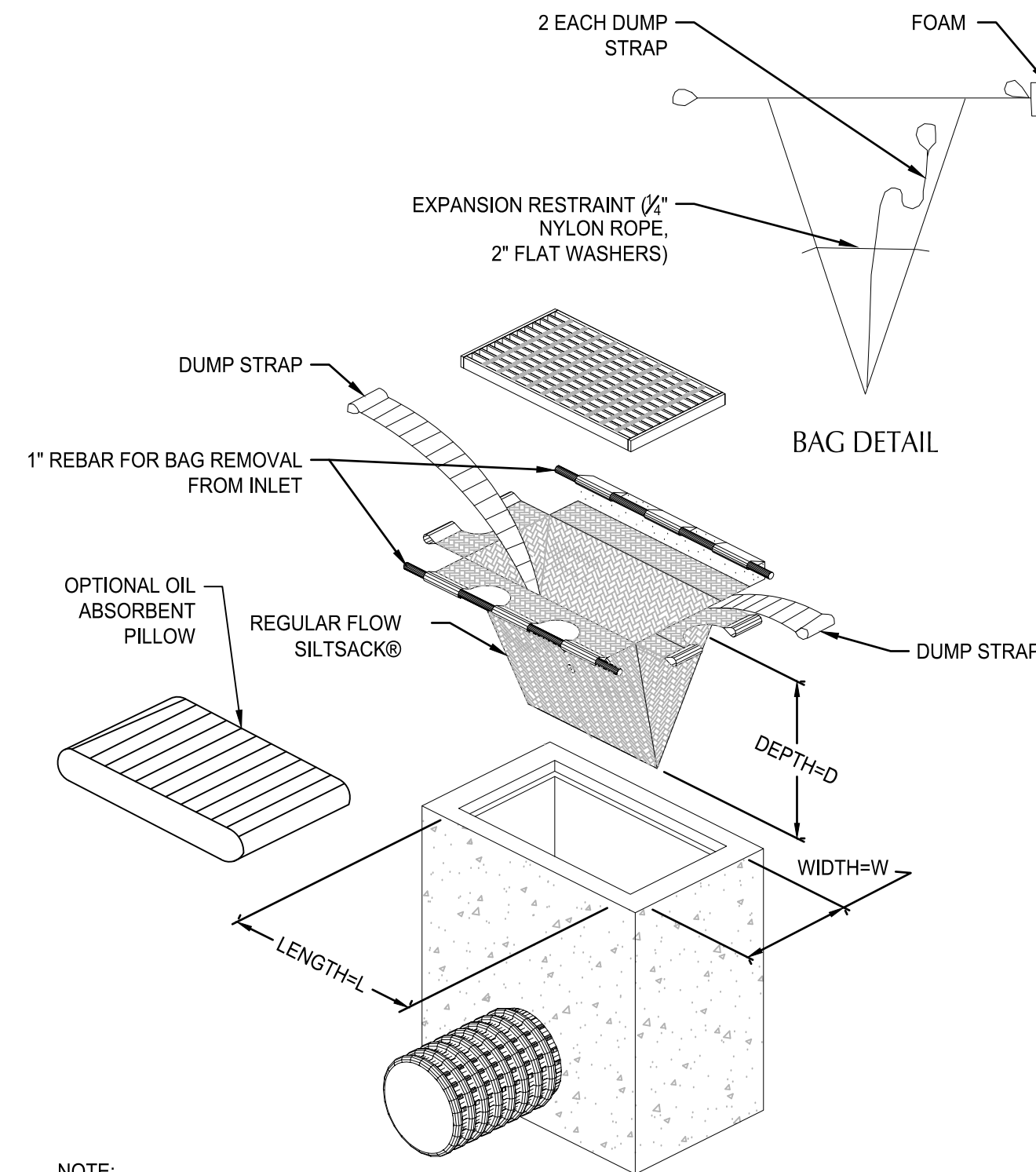
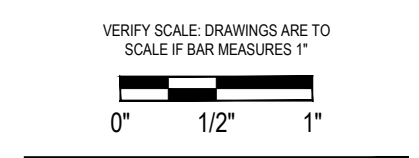
GREENWORKS, P.C.  
2023. ALL RIGHTS RESERVED.  
THESE DRAWINGS ARE THE PROPERTY OF GREENWORKS, P.C. AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER EXCEPT WITH THE PRIOR WRITTEN PERMISSION OF GREENWORKS, P.C.

Date: 03/21/2023

Revisions:

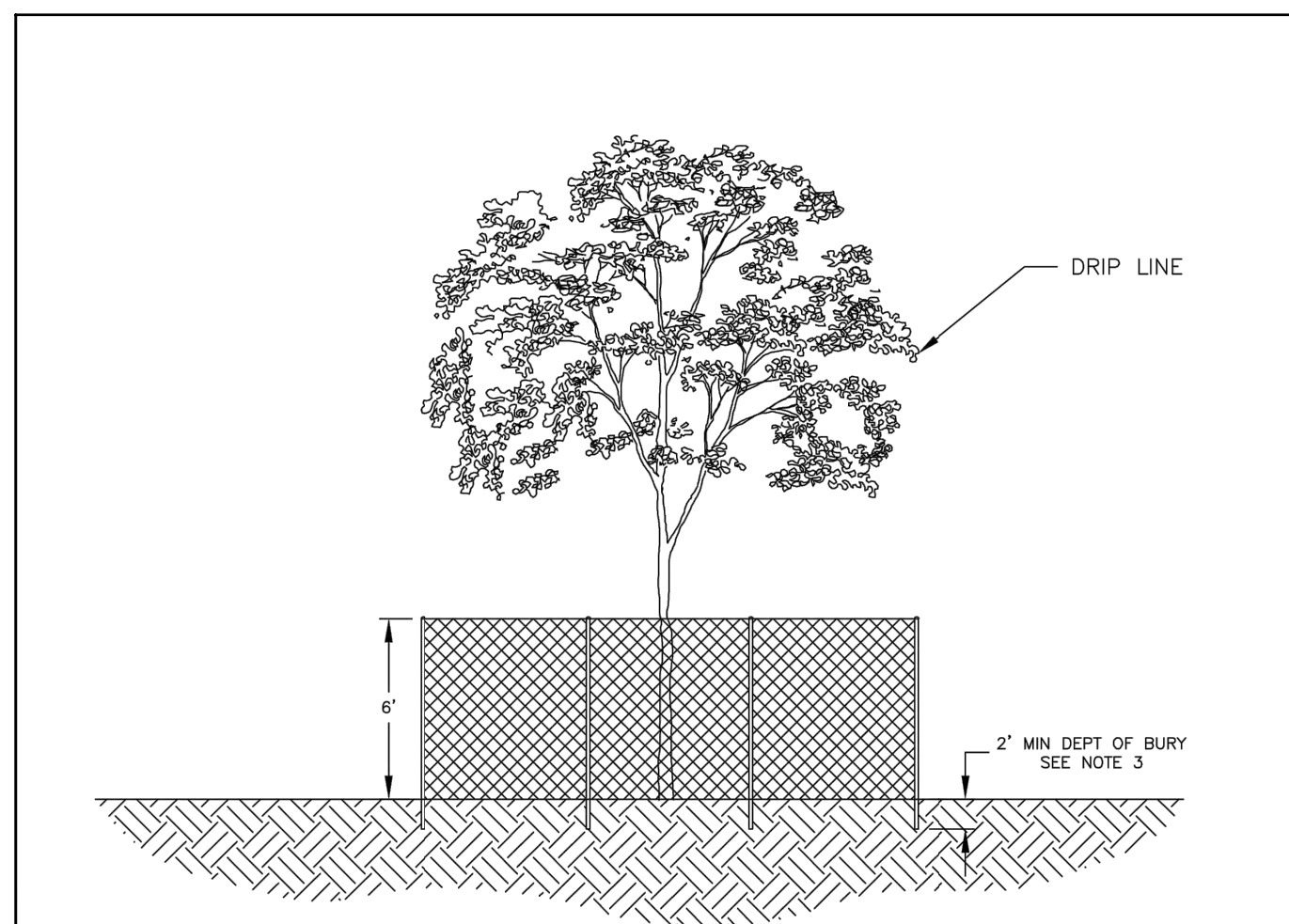
Drawn By: CK/RC  
Checked By: JZ  
Job No. 210234.1  
Approved: CV

**C28.00**  
Sheet No. 46 of 52



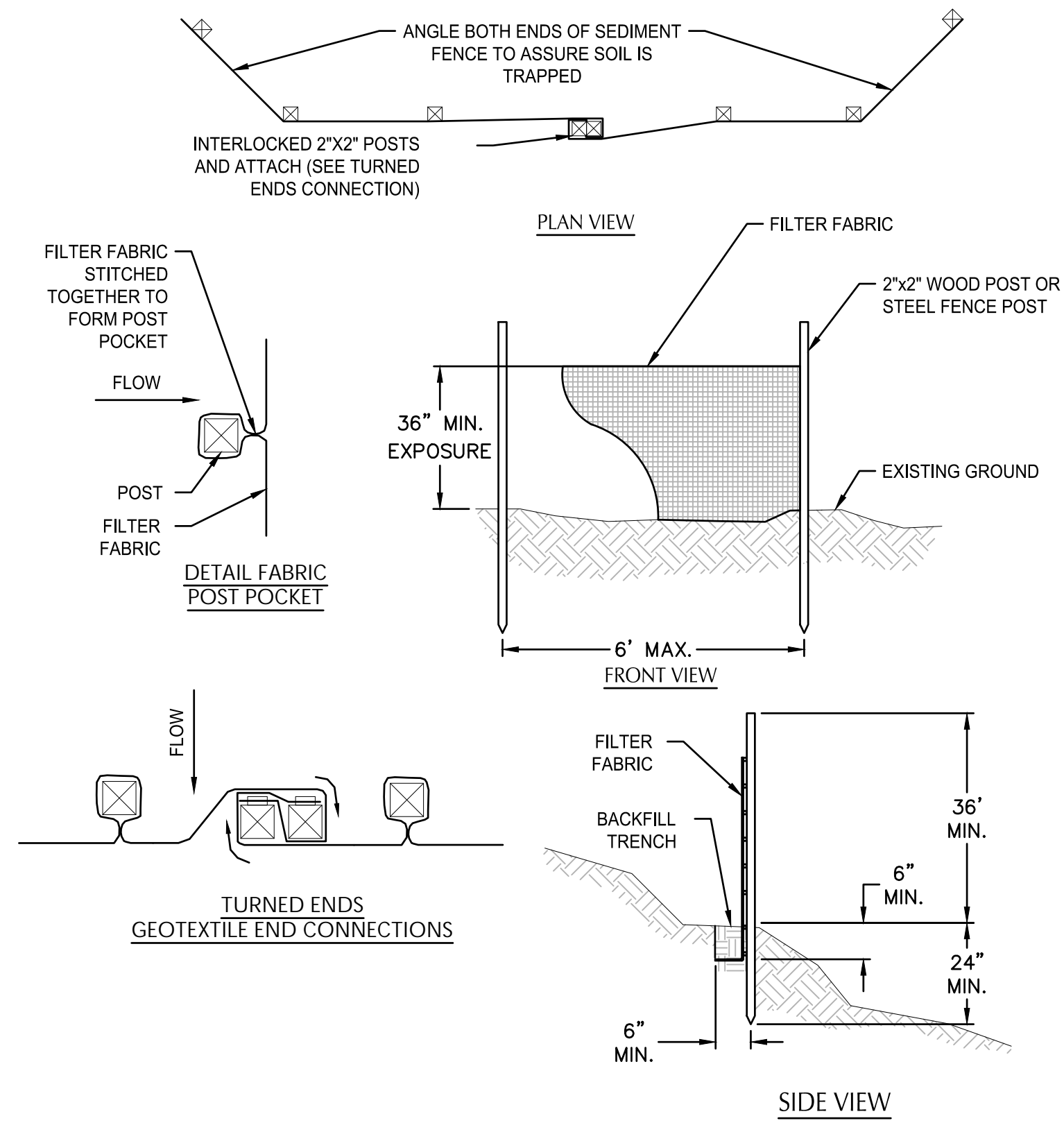
**NOTE:**  
1. DO NOT USE HIGH FLOW INSERT BAGS.

**2 INLET SEDIMENT PROTECTION**  
SCALE: NTS



- NOTES**
1. FENCE MUST BE 6 FEET IN HEIGHT AND SET AT THE TREE DRIP LINE.
  2. FENCE MATERIALS TO CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1-1/2" DIA. STEEL OR ALUMINUM POST.
  3. POST TO BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
  4. TREE PROTECTION FENCING MUST BE INSTALLED, INSPECTED AND APPROVED BY THE CITY'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY EROSION CONTROL FENCING BEING INSTALLED OR ANY GRADING ACTIVITIES OCCUR.
  5. FENCE MUST REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.		DRAWING NO.	
Tree Protection Fencing		524	
APPROVED: <i>[Signature]</i>	NO. 1	REVISIONS	DATE
CITY ENGINEER	01/2021	NEW DRAWING	08/10
			TAP



- NOTES:**
1. THE FILTER FABRIC SHALL BE (36" MIN. WIDTH) PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACH AS SHOWN ON DETAIL SHEET.
  2. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6- FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
  3. THE FILTER FABRIC SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION, SHALL BE BACKFILLED AND COMPACTED, ALONG THE ENTIRE DISTURBED AREA.
  4. STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS WITH STAKES SHALL BE INSTALLED ON THE DOWN-HILL SIDE OF THE SLOPED AREA.
  5. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP-SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
  6. FILTER FABRIC FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

**1 SEDIMENT FENCE**  
SCALE: NTS

**Project:**  
Scott Park, Balfour Park,  
& Bowman Brae Park

**City of Milwaukie**  
10722 SE Main Street  
Milwaukie, OR 97222  
503-786-7555

**Submittal:** Design Development

**Sheet Title:**  
**DETAILS**

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2023. ALL RIGHTS RESERVED.

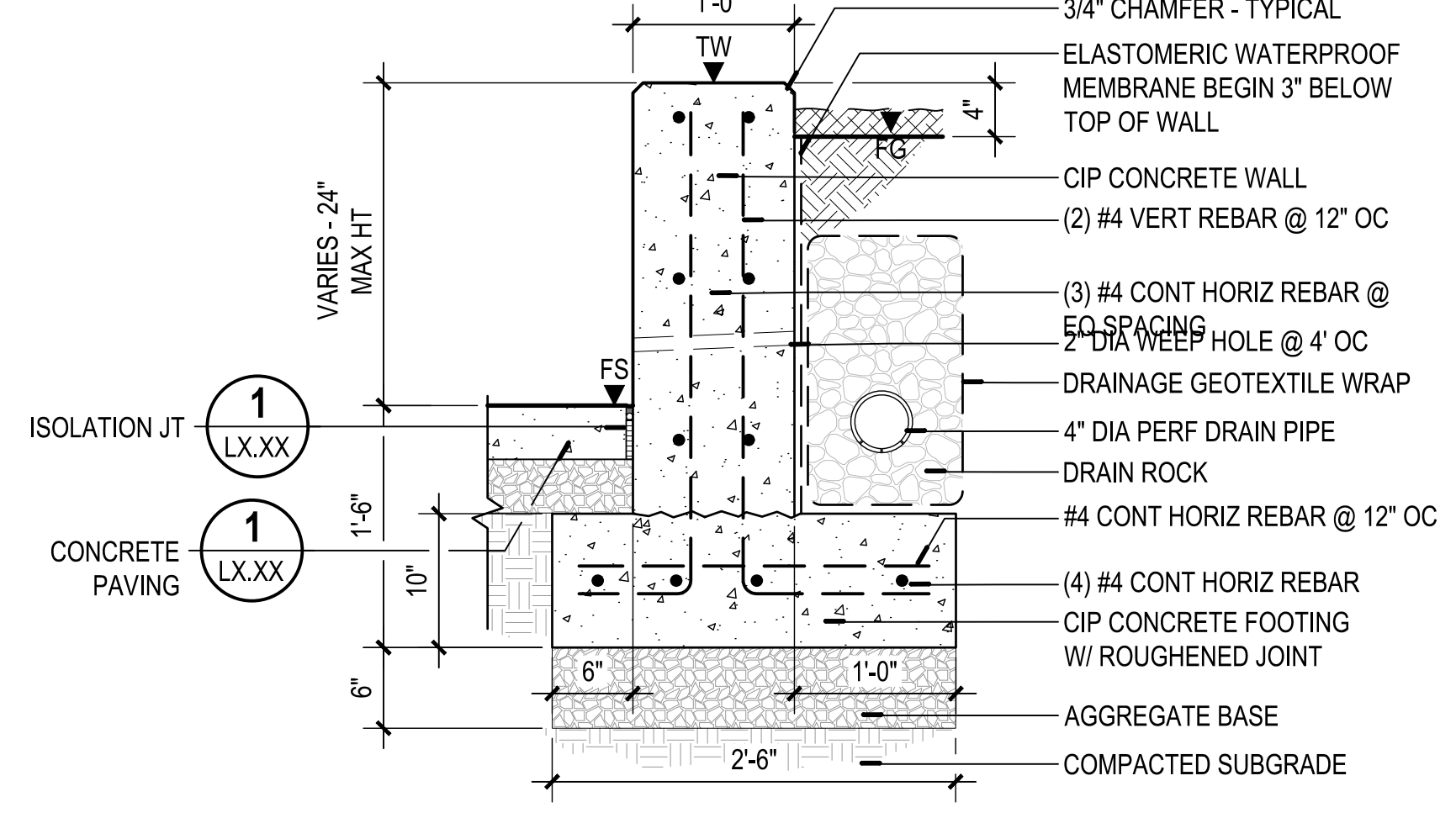
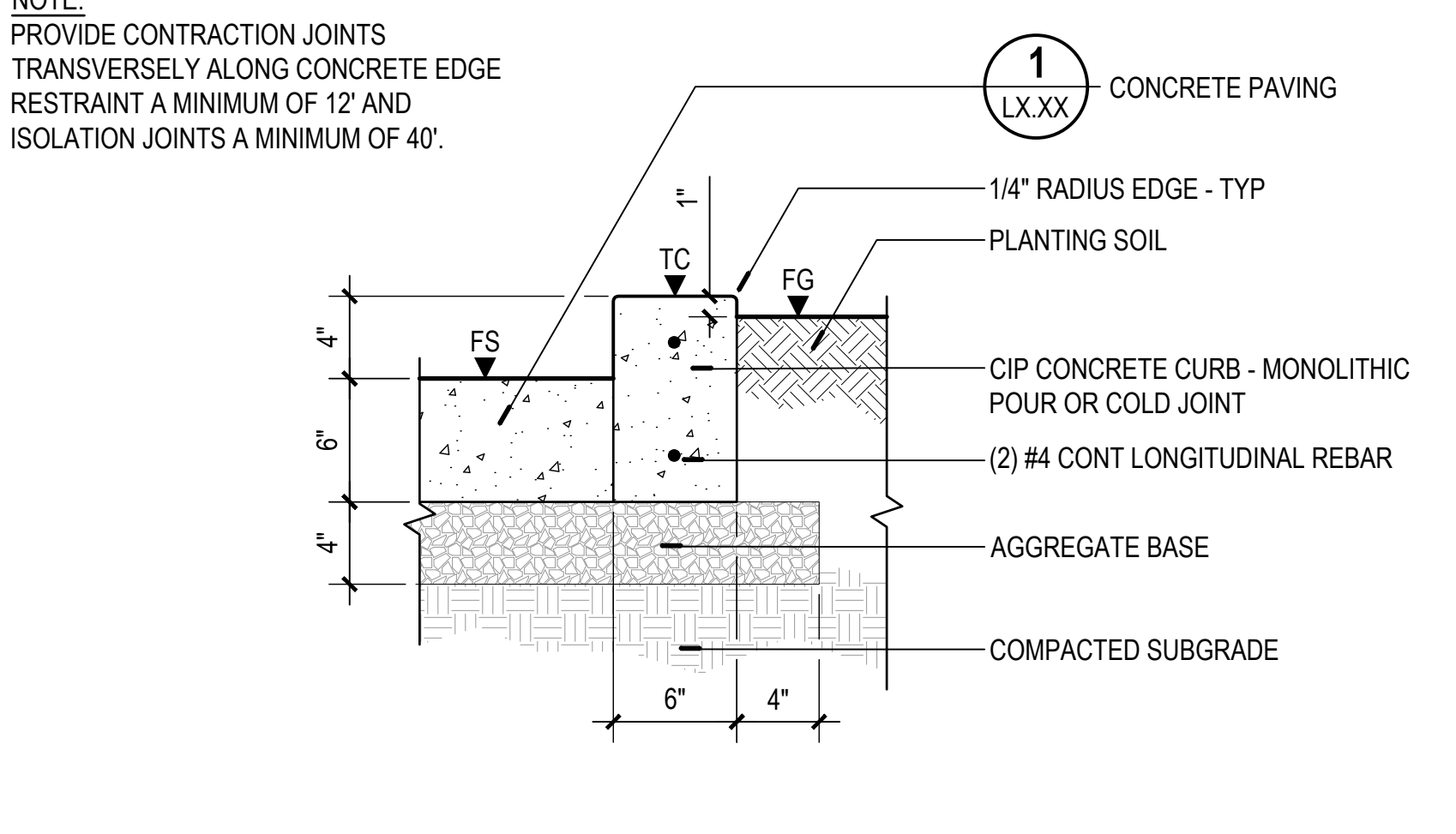
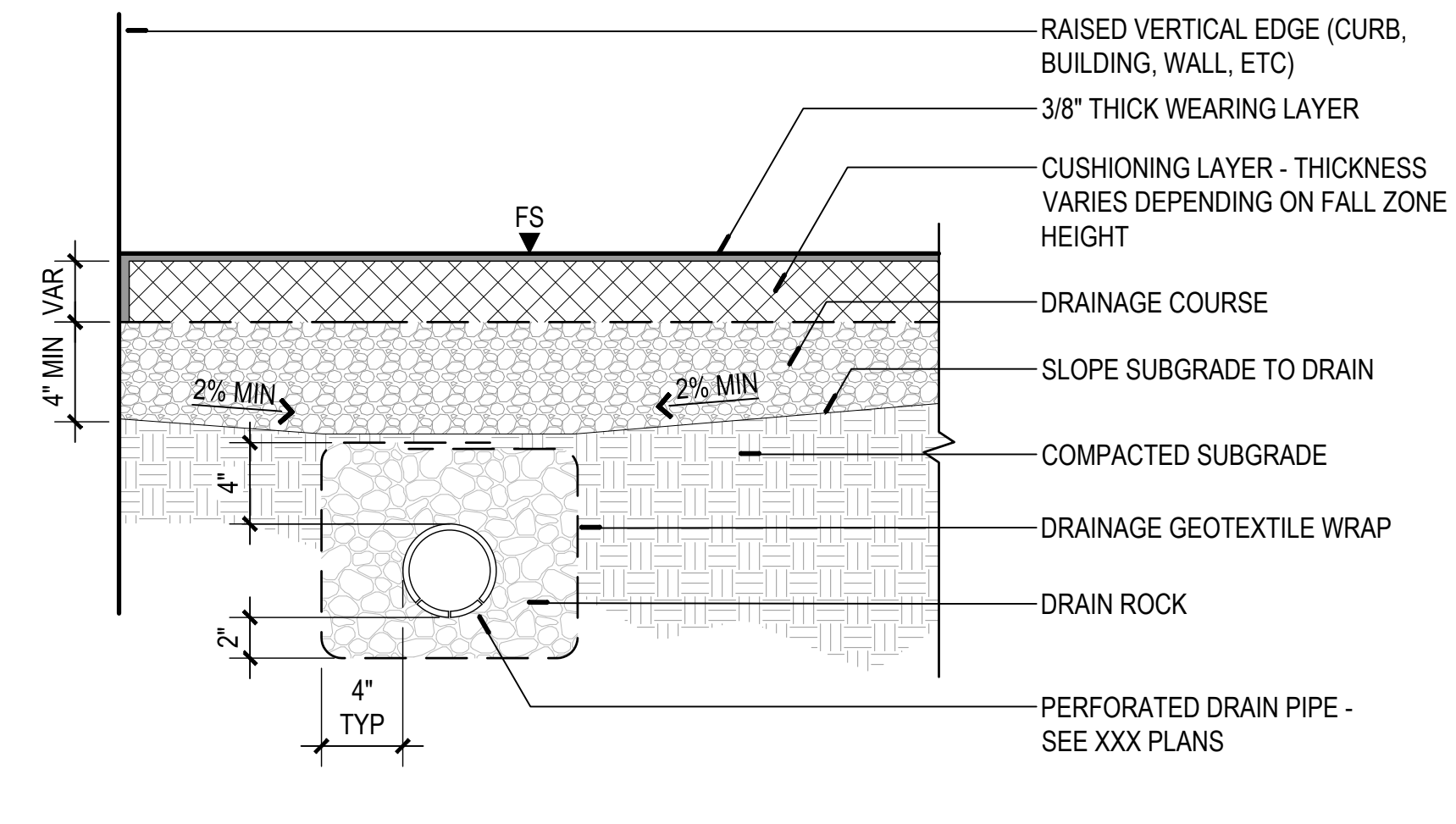
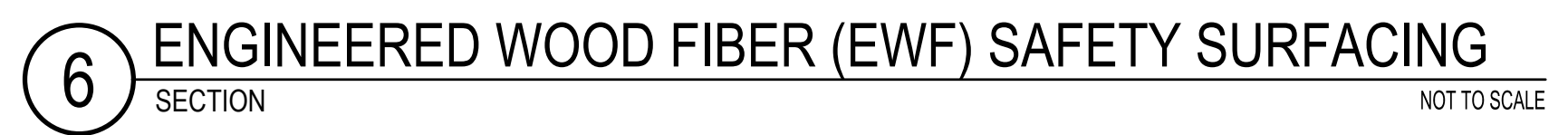
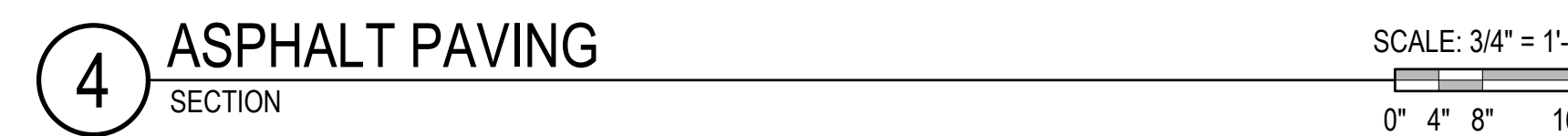
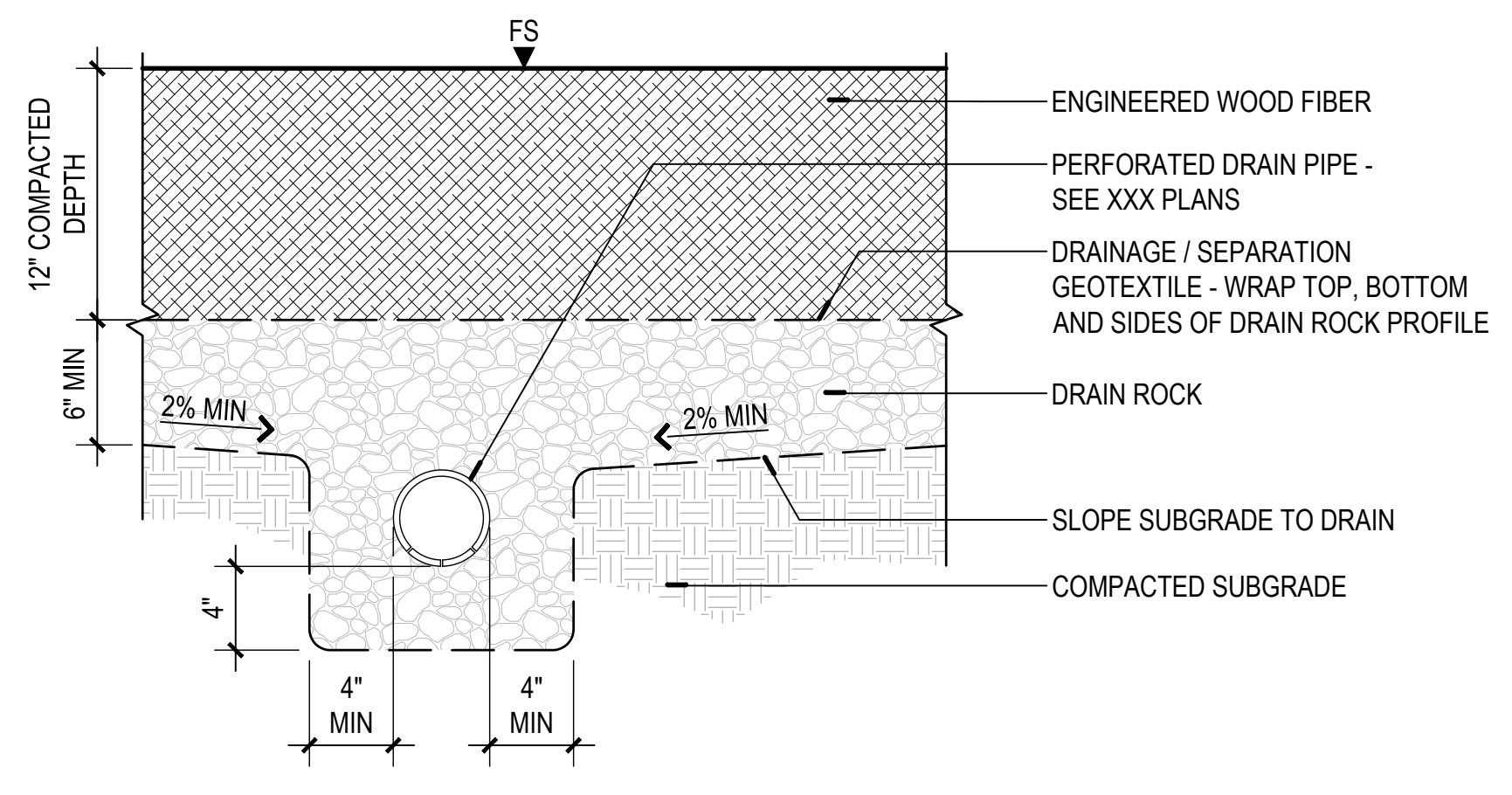
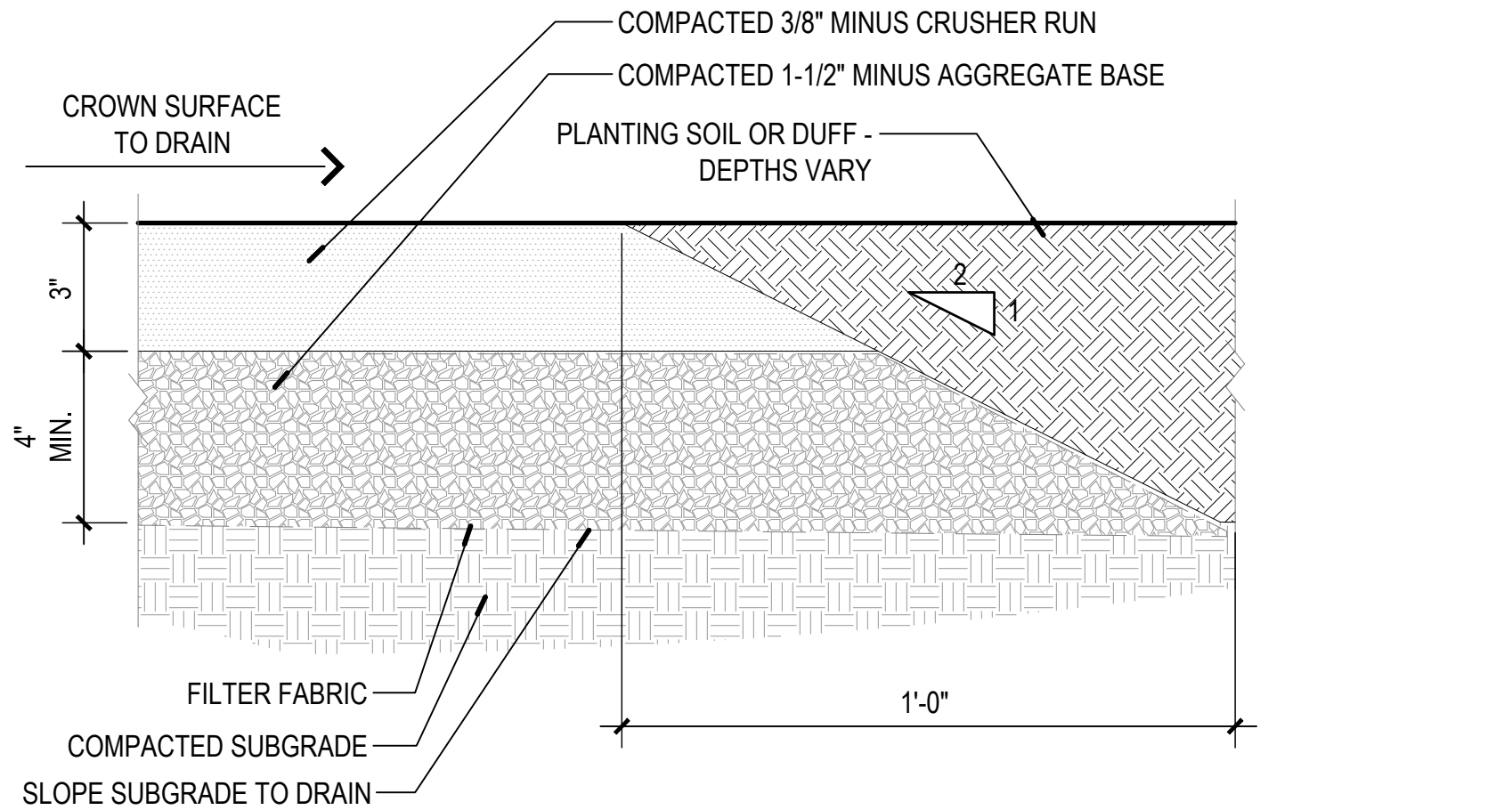
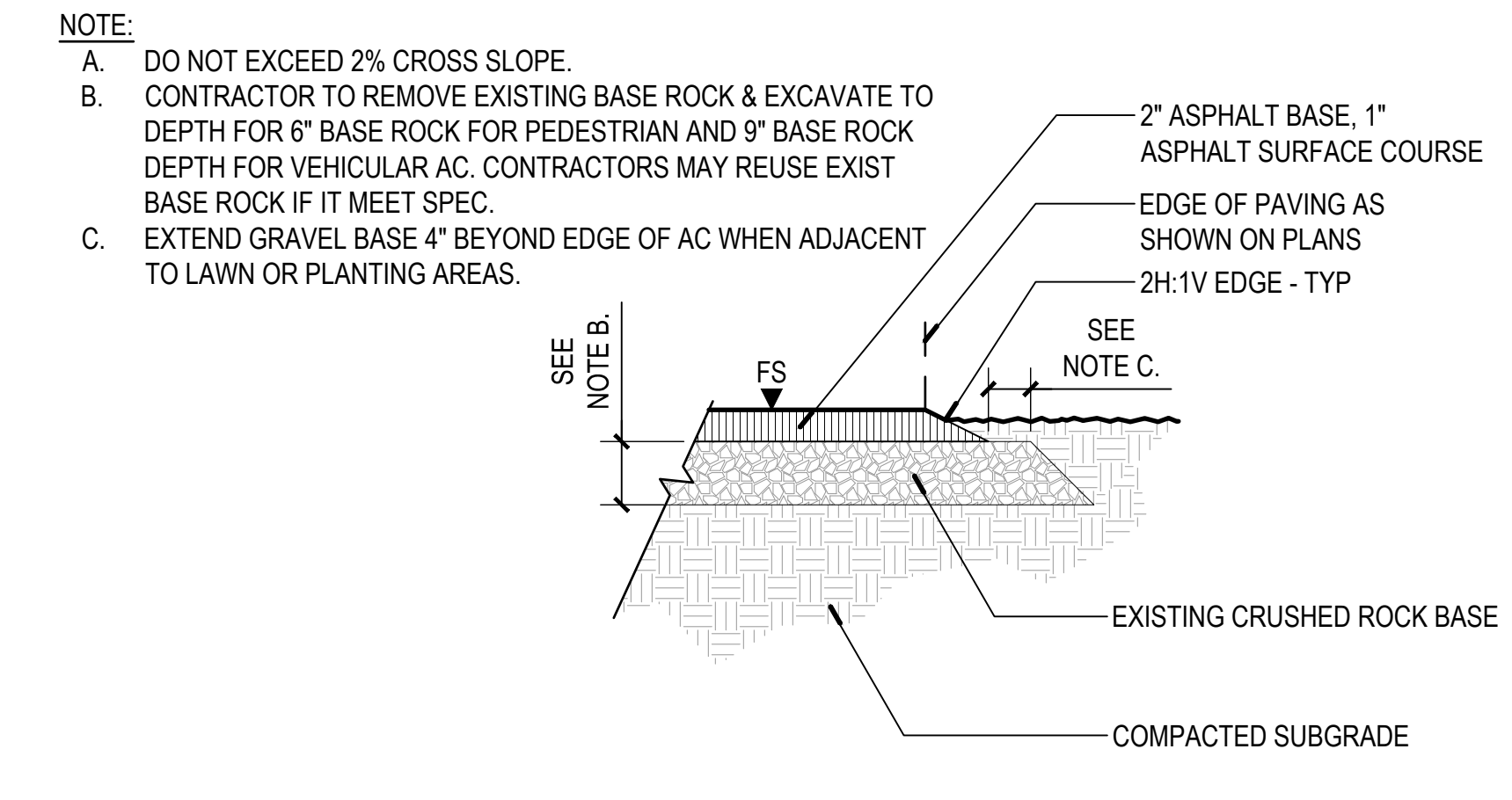
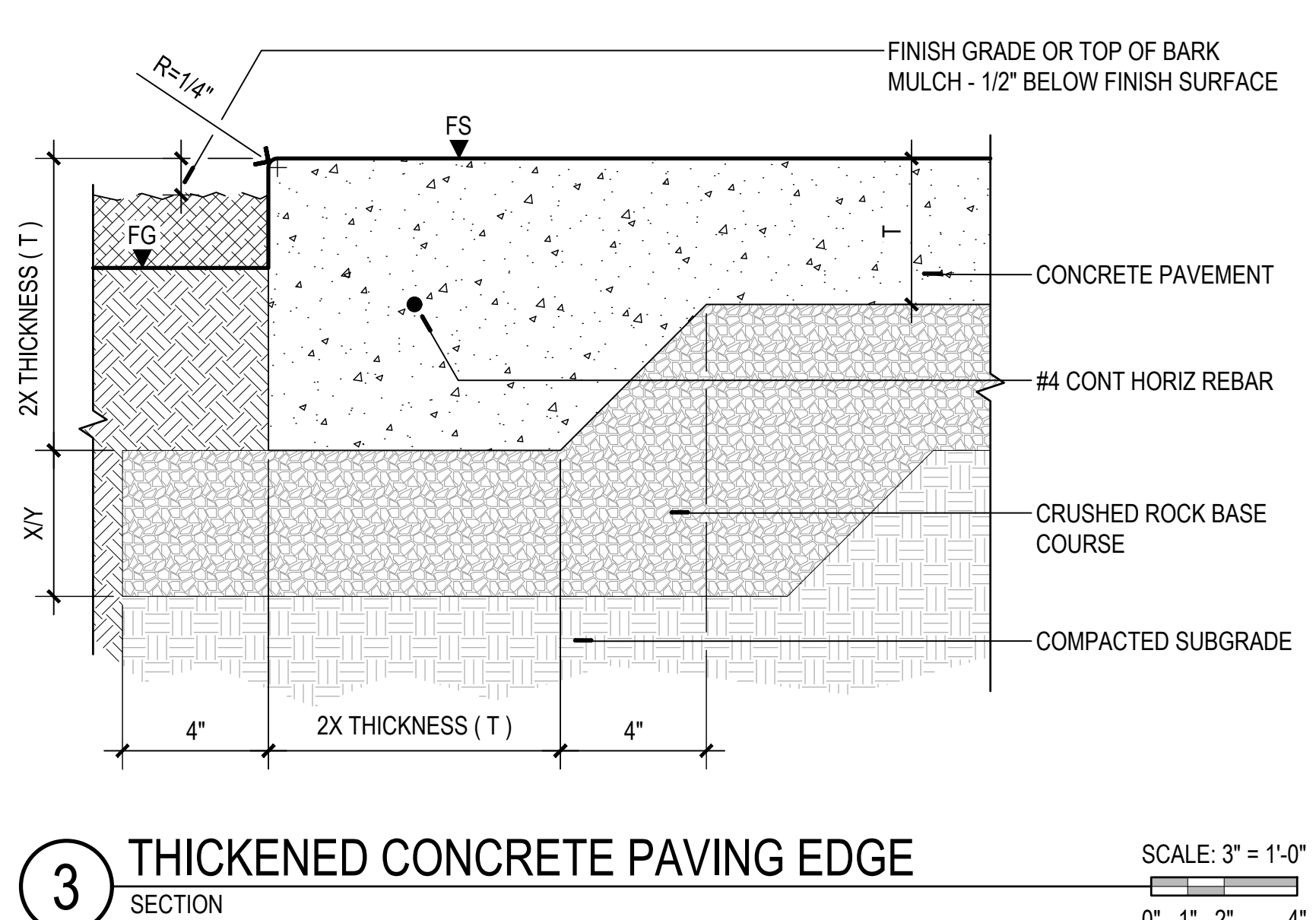
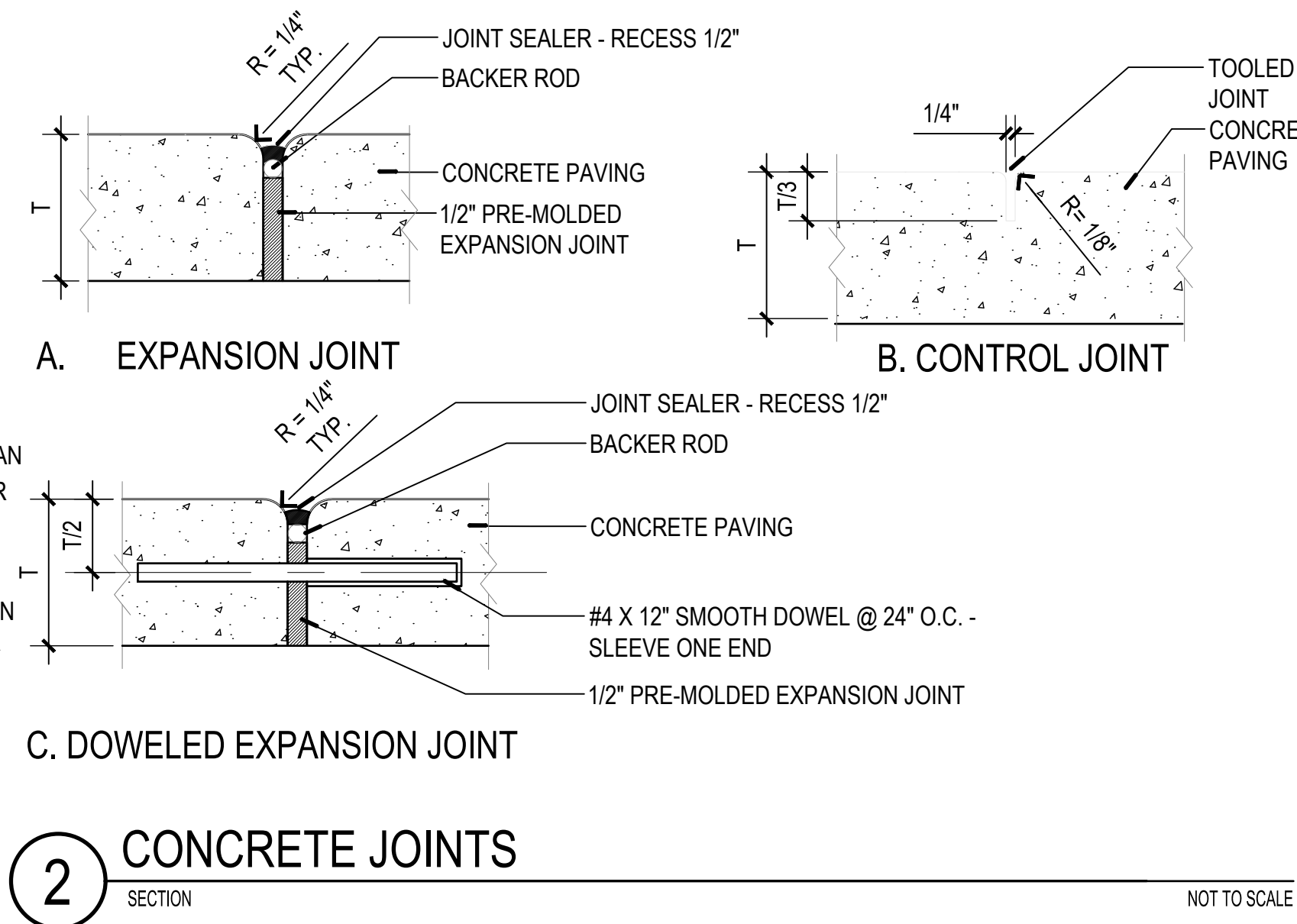
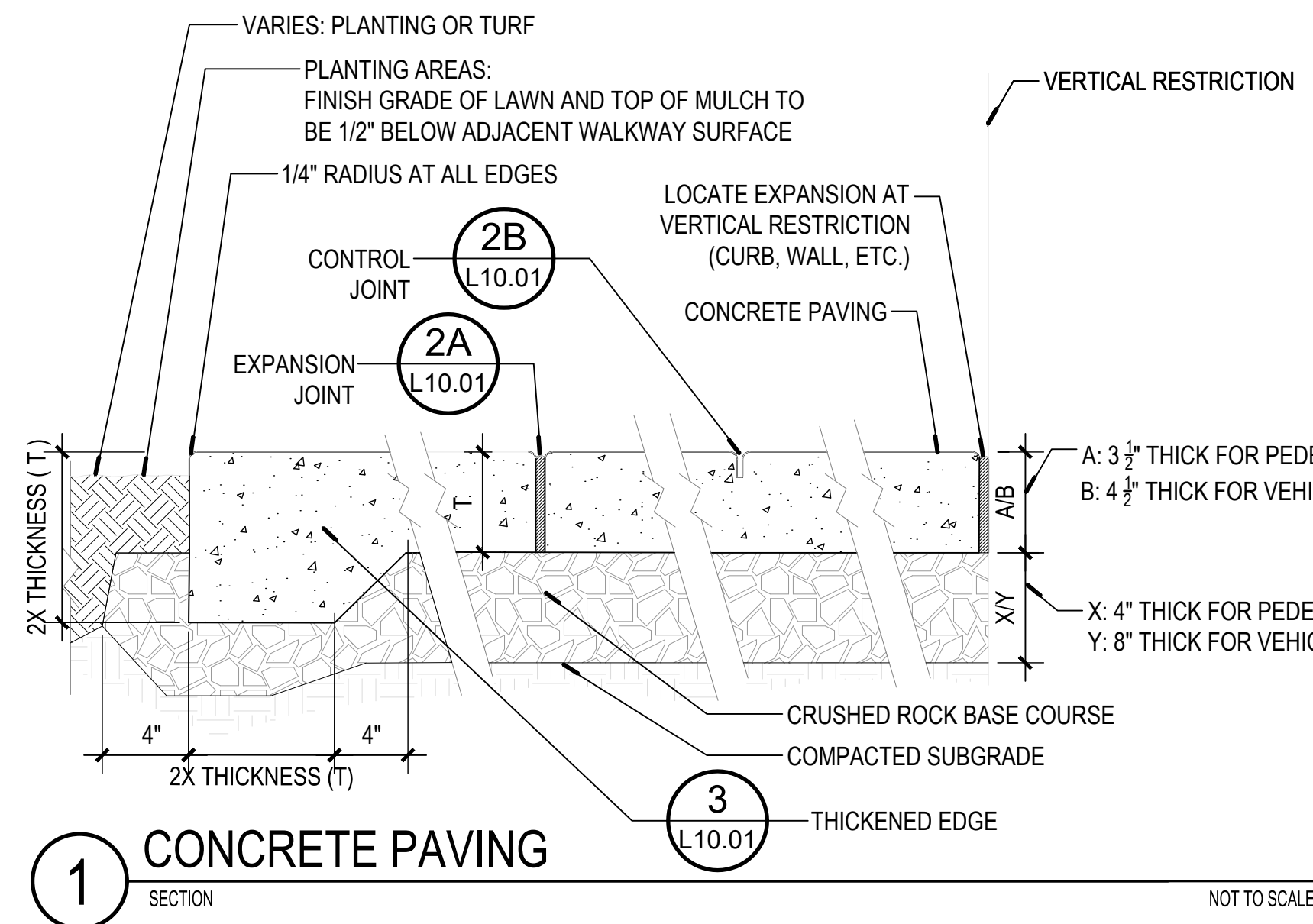
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Date: 03/21/2023

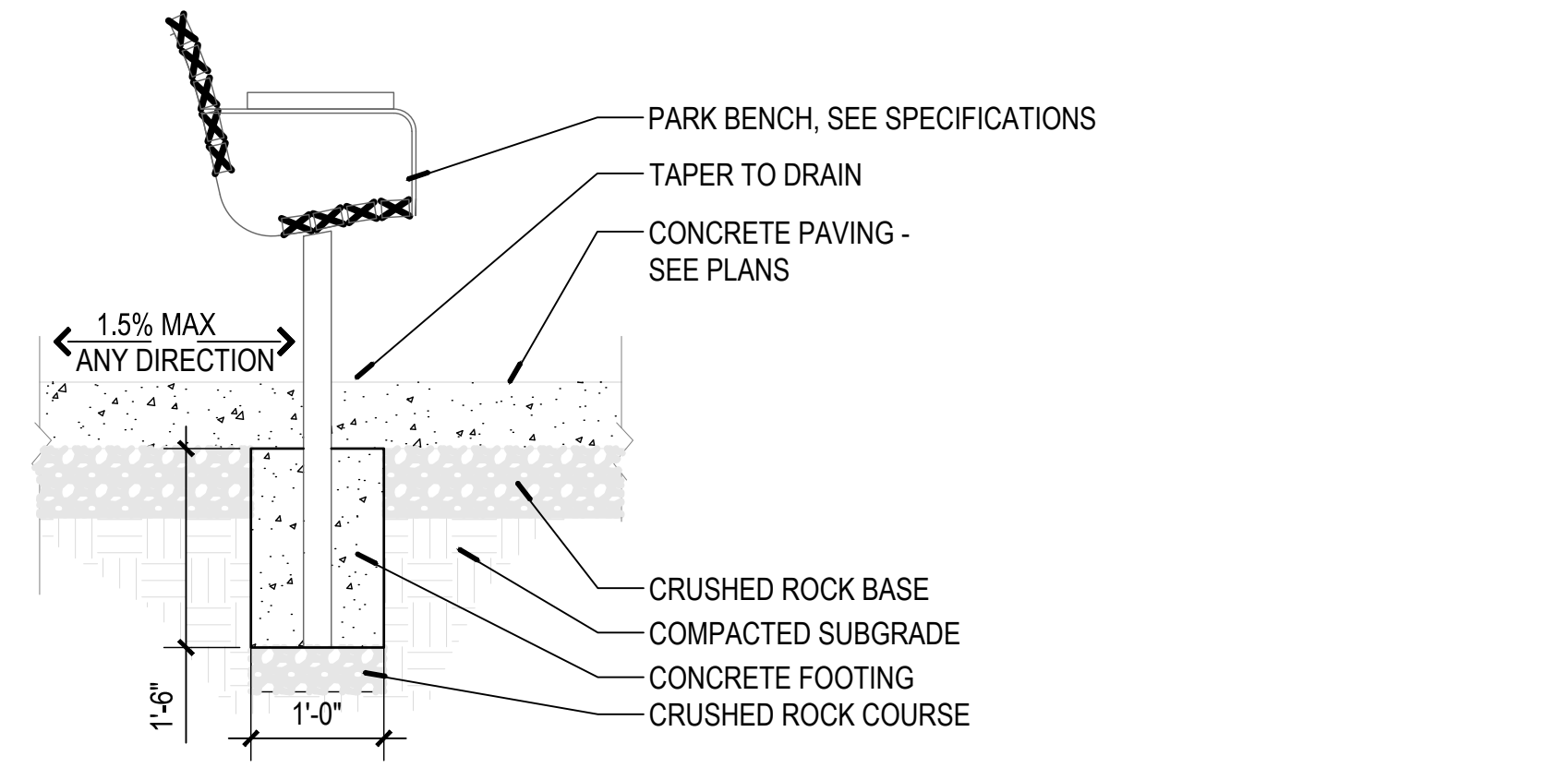
Revisions:

Drawn By: CK/RC  
Checked By: JZ  
Job No. 210234.1  
Approved: CV

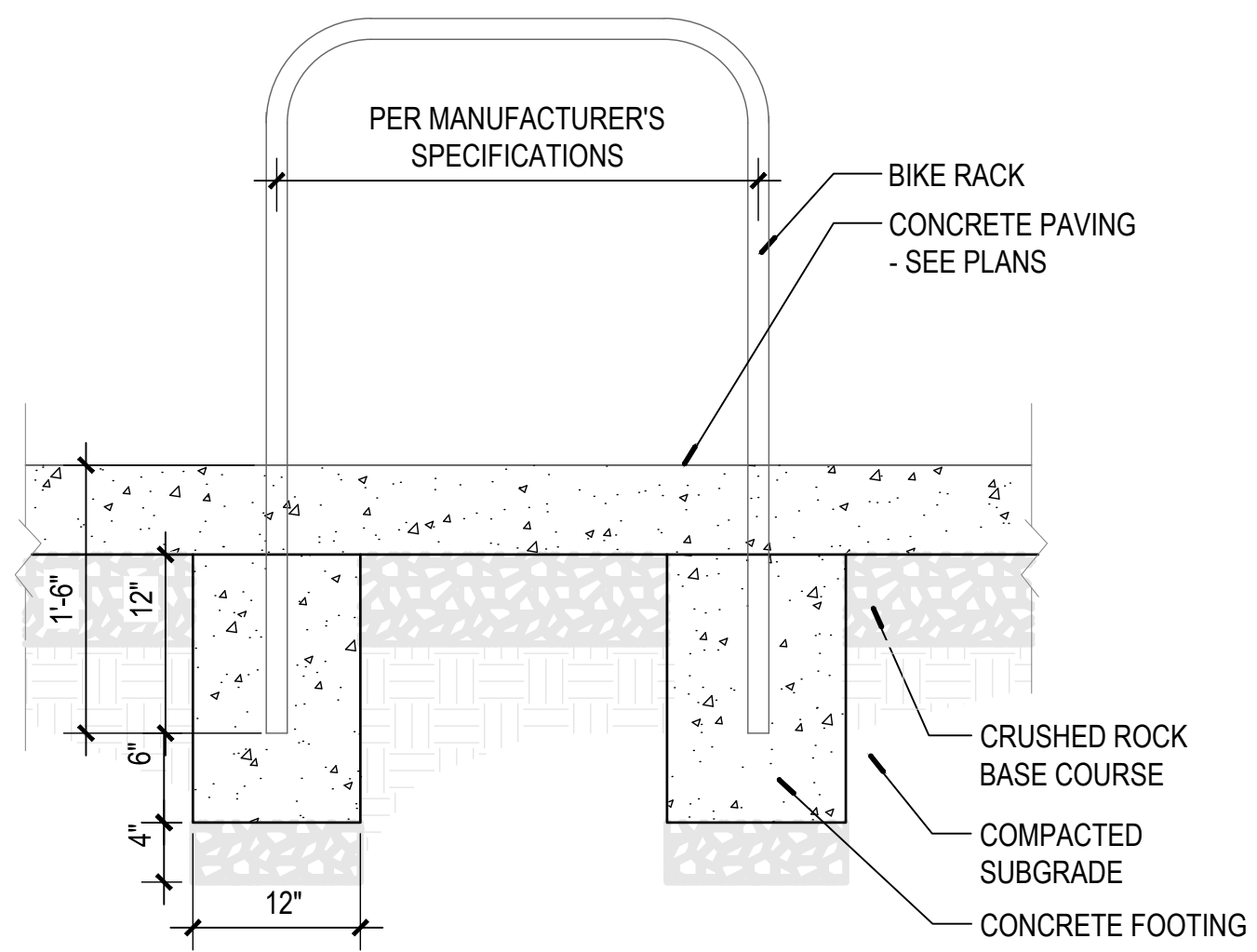
**C28.01**  
Sheet No. 47 of 52



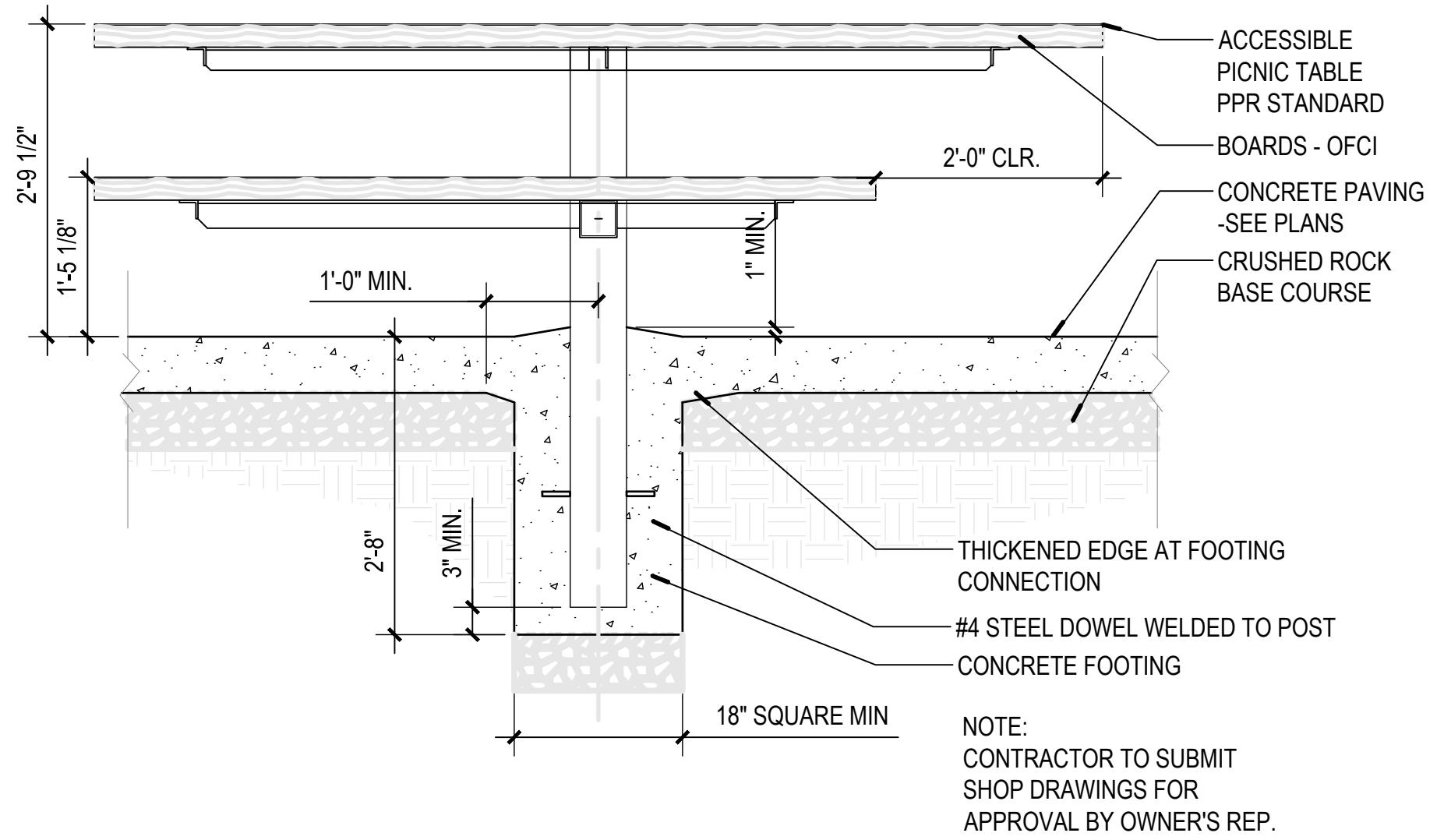
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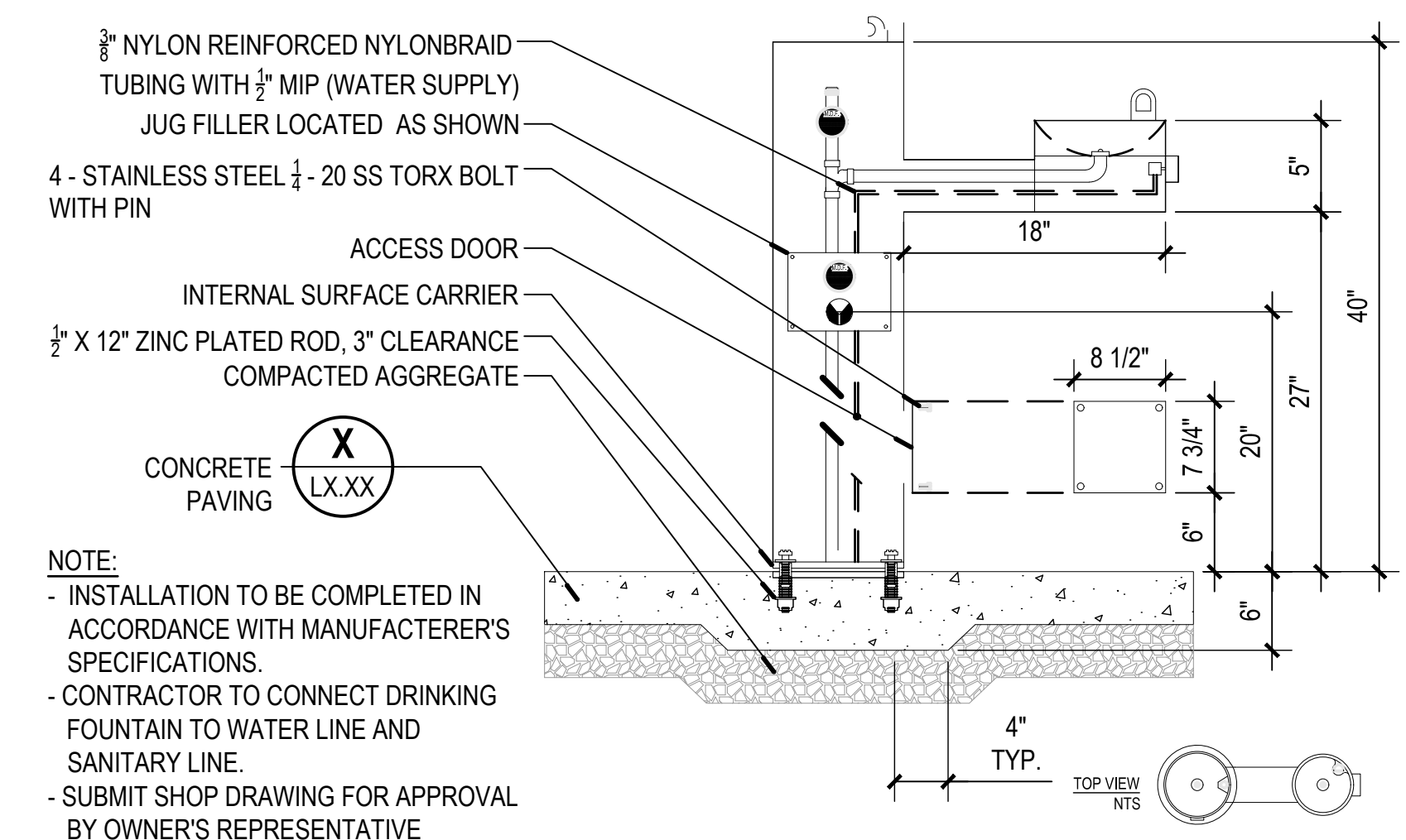
**1 STANDARD BENCH**  
 SECTION PLAN  
 SCALE: 3/4" = 1'-0"  
 0" 4" 8" 16"



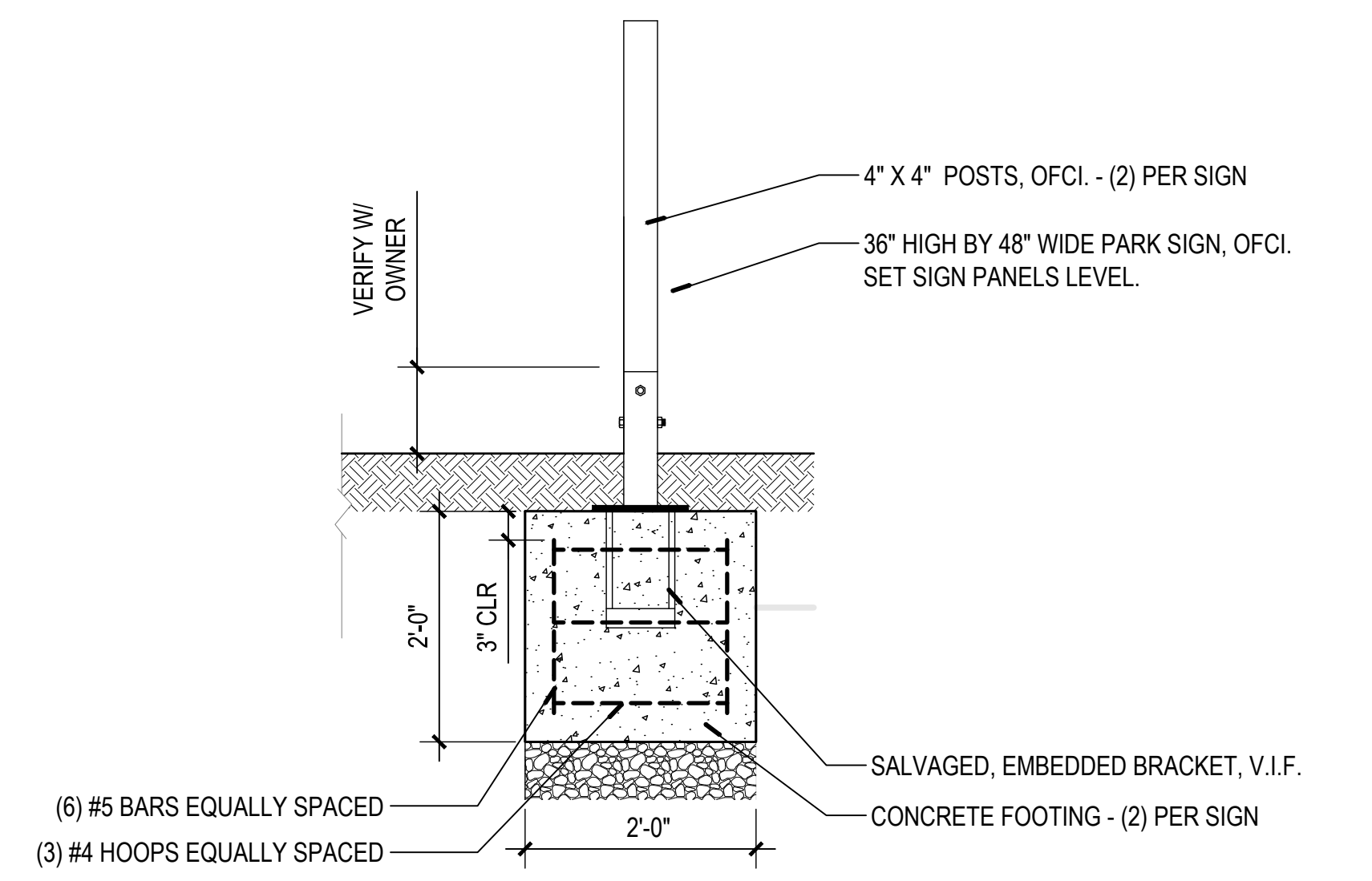
**2 BIKE RACK**  
 SECTION  
 SCALE: 1" = 1'-0"  
 0" 3" 6" 12"



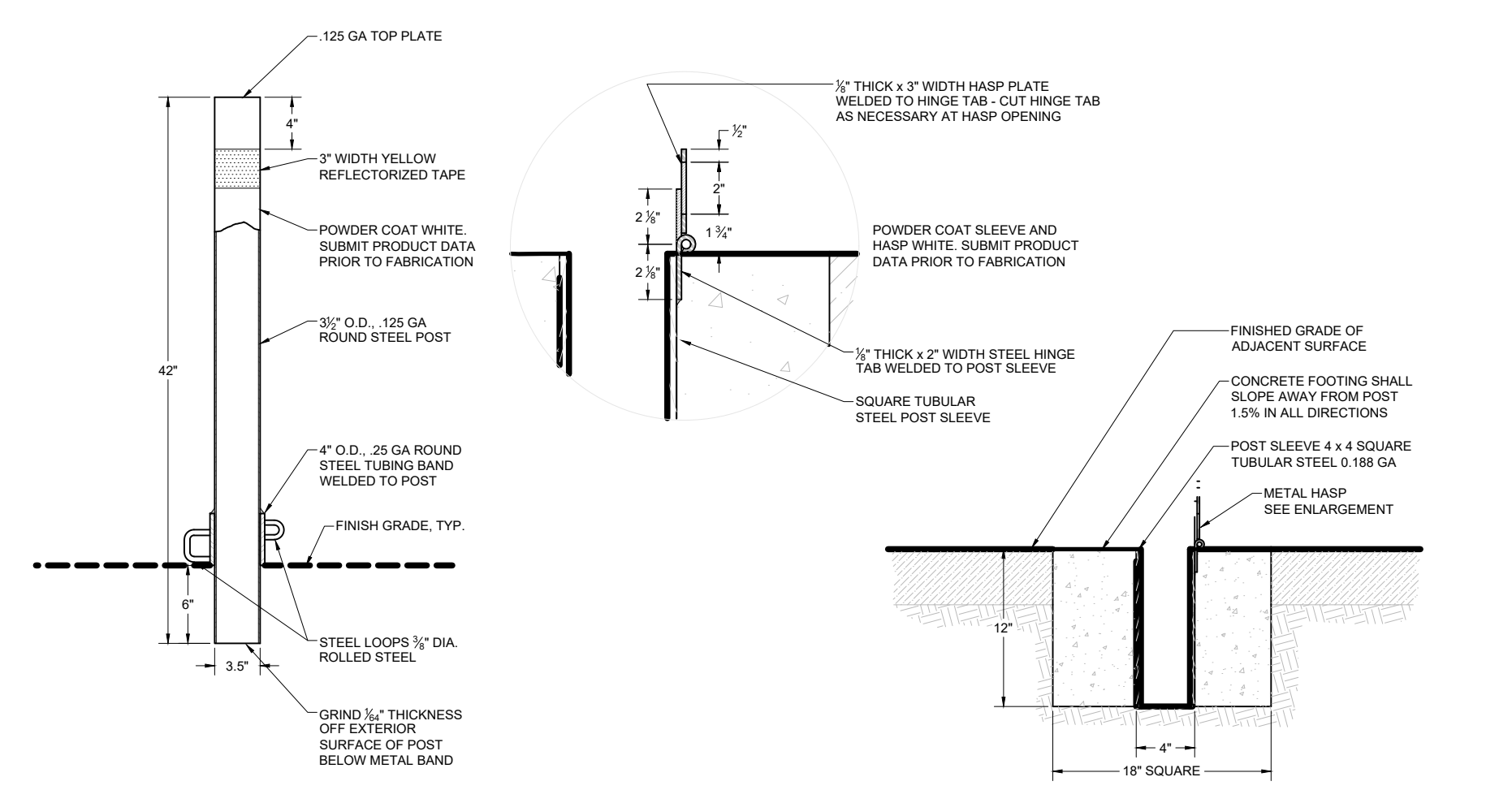
**3 ACCESSIBLE PICNIC TABLE**  
 SECTION  
 SCALE: 3/4" = 1'-0"  
 0" 4" 8" 16"



**4 DRINKING FOUNTAIN**  
 SECTION  
 SCALE: 1" = 1'-0"  
 0" 3" 6" 12"



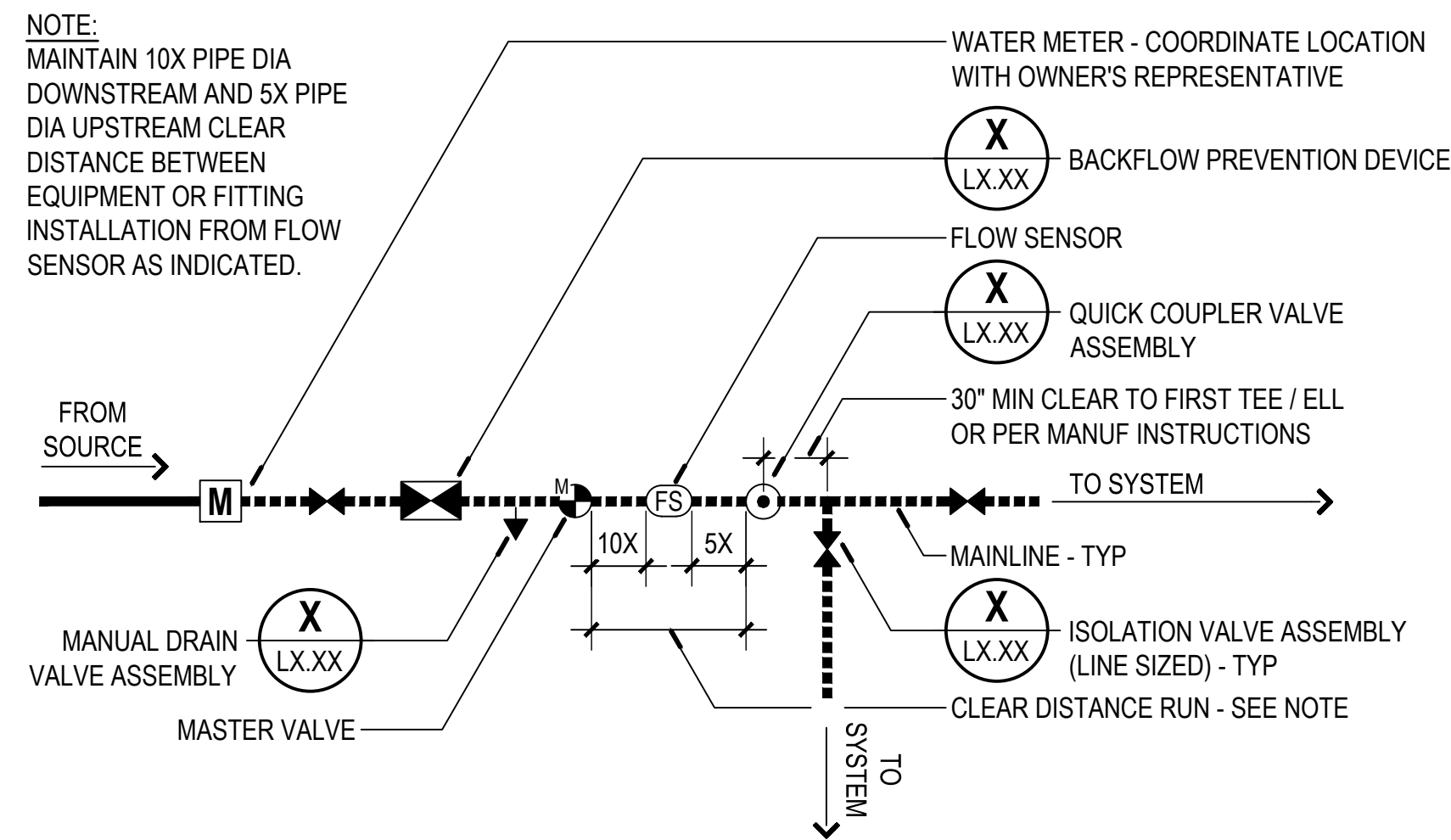
**5 PARK SIGN FOOTING**  
 SECTION PLAN  
 SCALE: 3/4" = 1'-0"  
 0" 4" 8" 16"



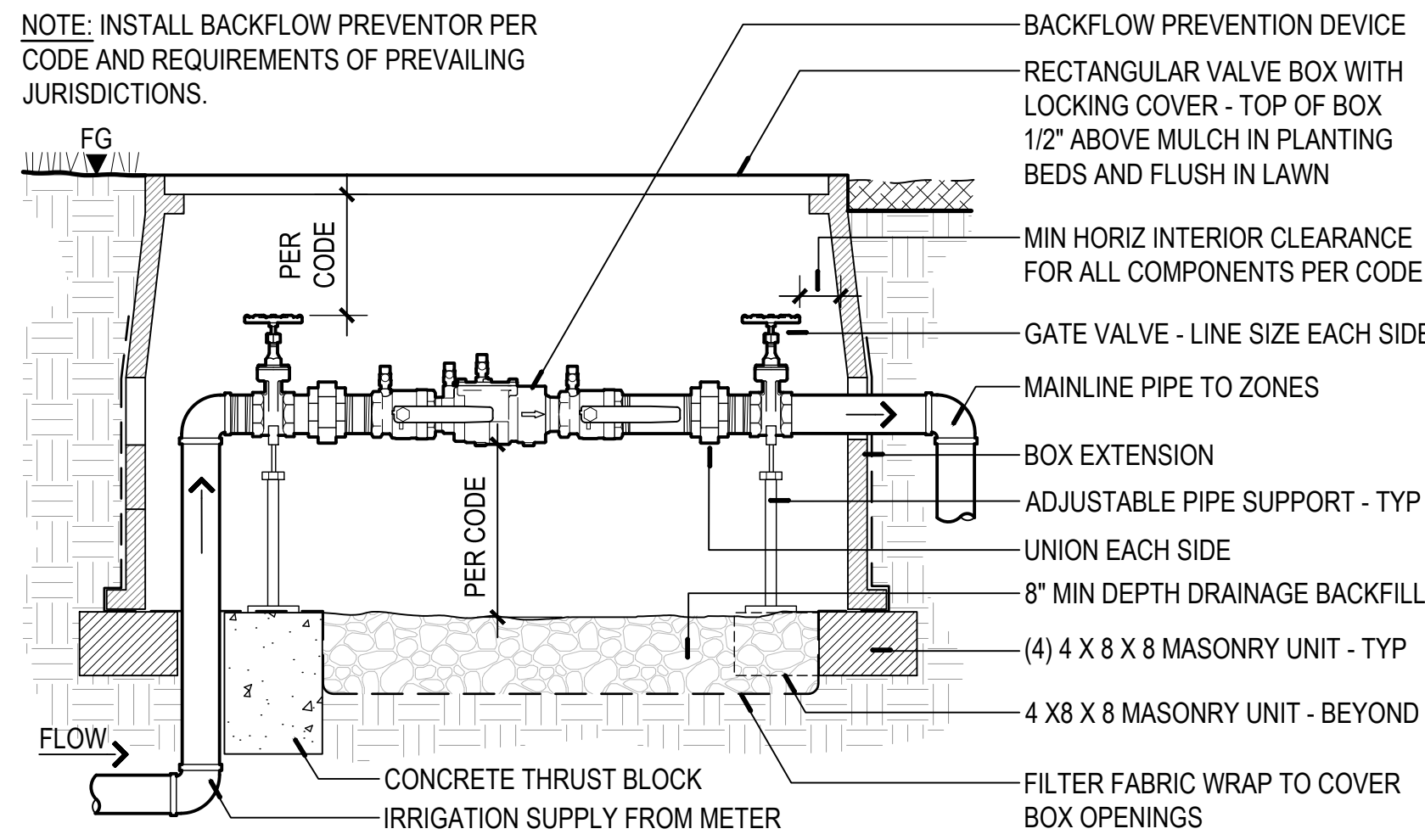
**6 REMOVABLE BOLLARD**  
 SECTION  
 SCALE: 1" = 1'-0"  
 0" 1/4" 1/2" 1"

G:\PROJECTS\210234 - MILWAUKEE PARKS - CE DESIGN DEVELOPMENT SERVICES\210234 - MILWAUKEE PARKS - CE DESIGN DEVELOPMENT - PRODUCTION\1 - CAD\07 - PLOT SHEETS - ALL PARKS\210234 - 1 DETL.DWG

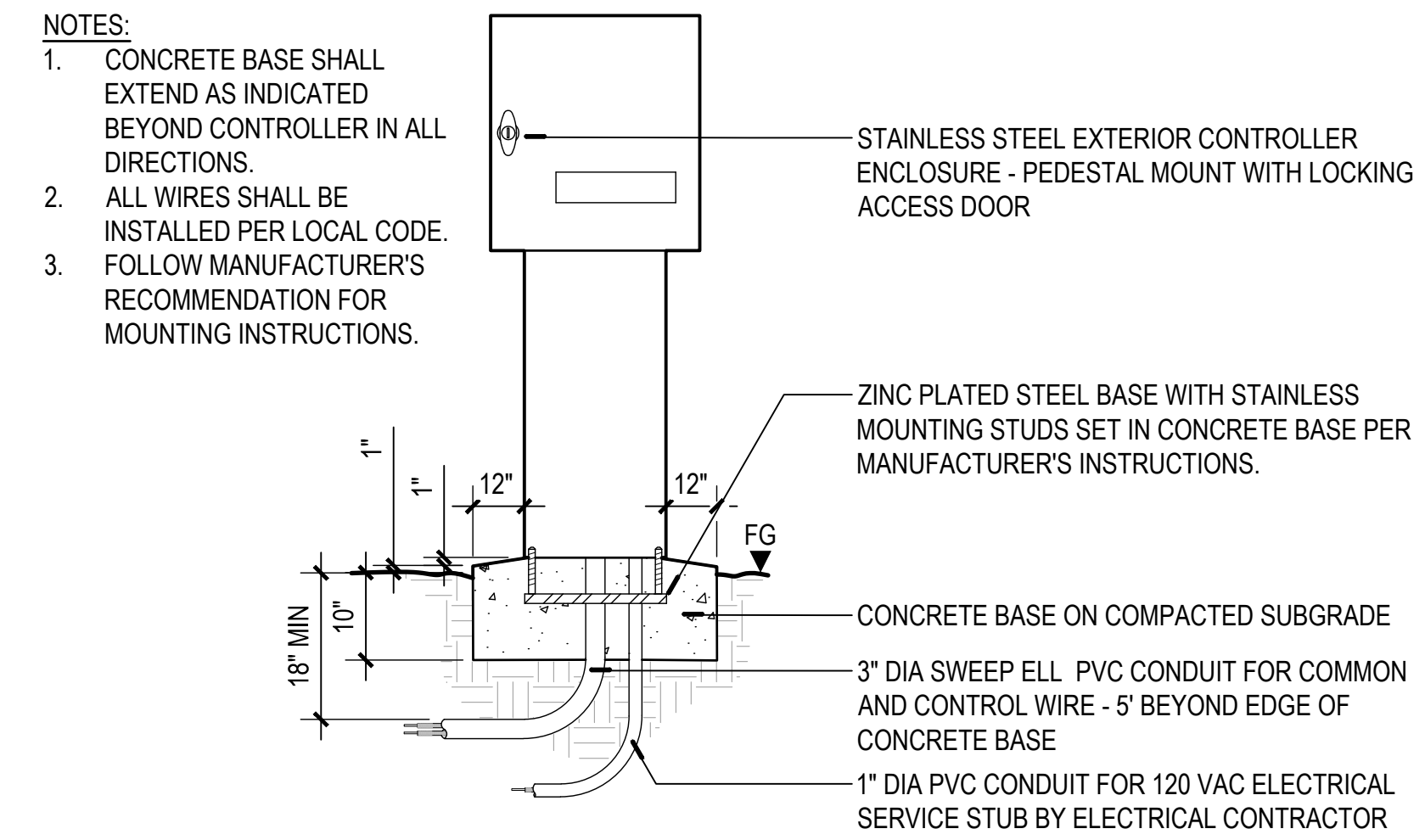




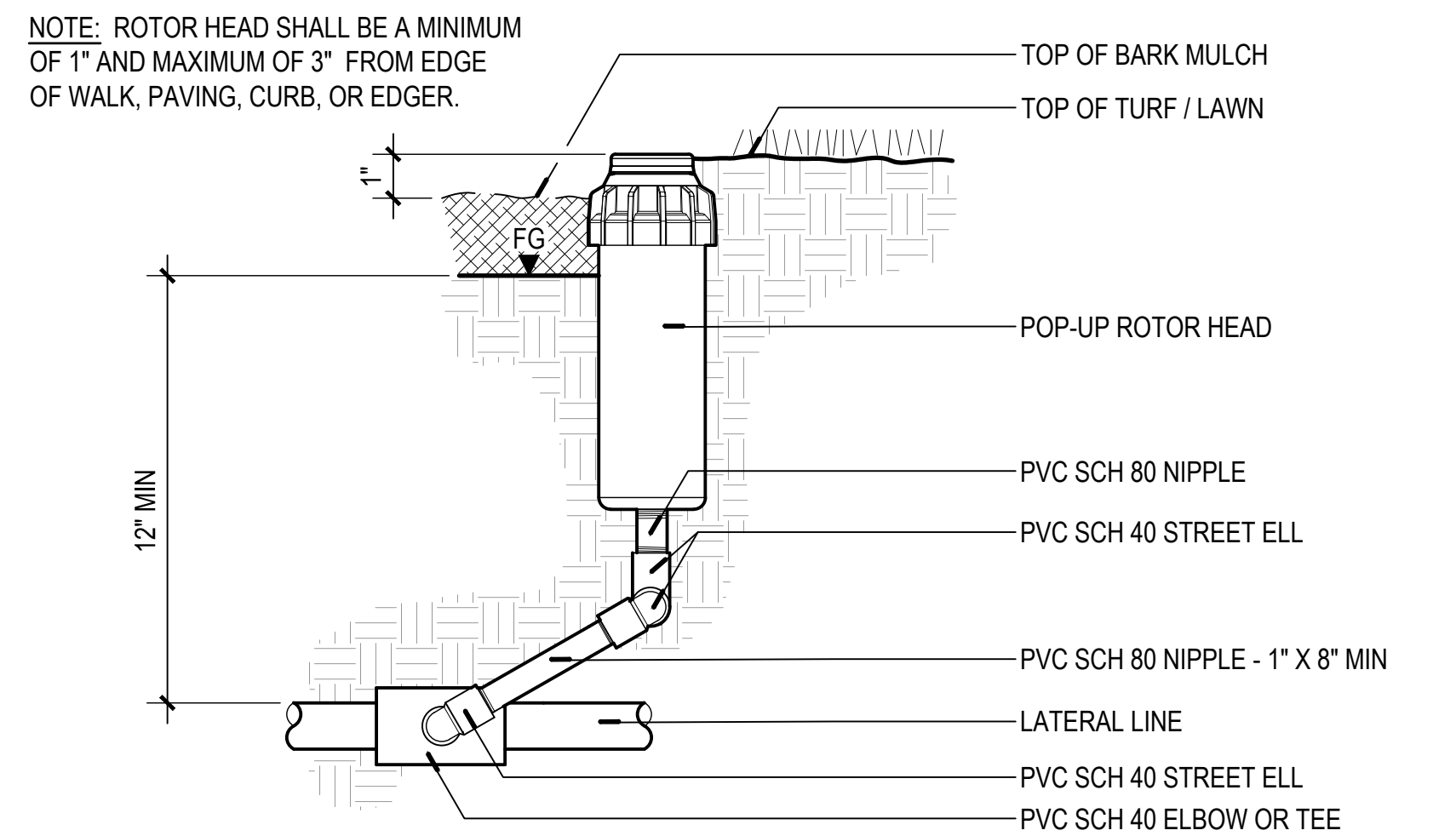
**1 POINT OF CONNECTION DIAGRAM**  
PLAN NOT TO SCALE



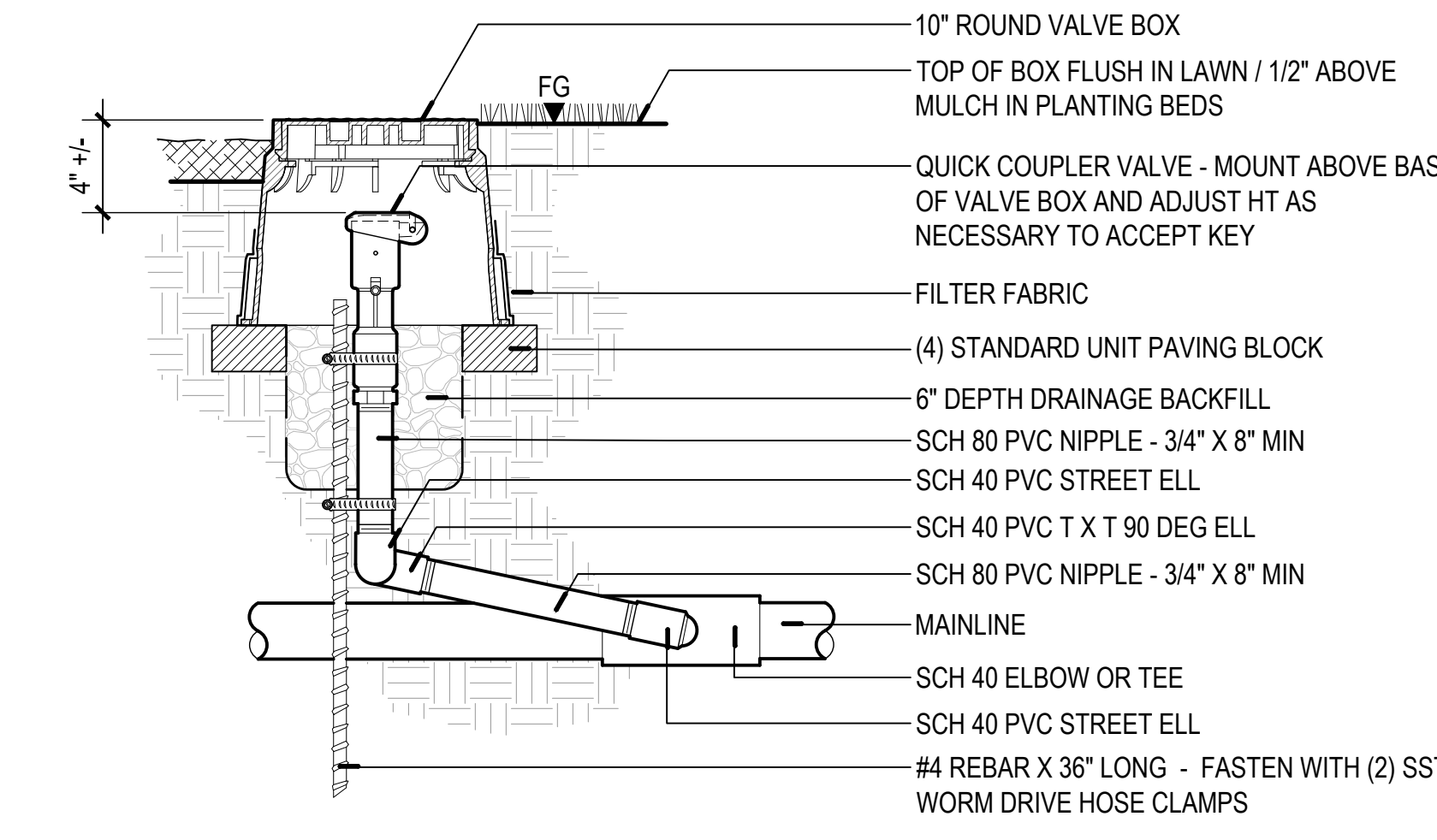
**2 BACKFLOW PREVENTION DEVICE ASSEMBLY**  
SECTION NOT TO SCALE



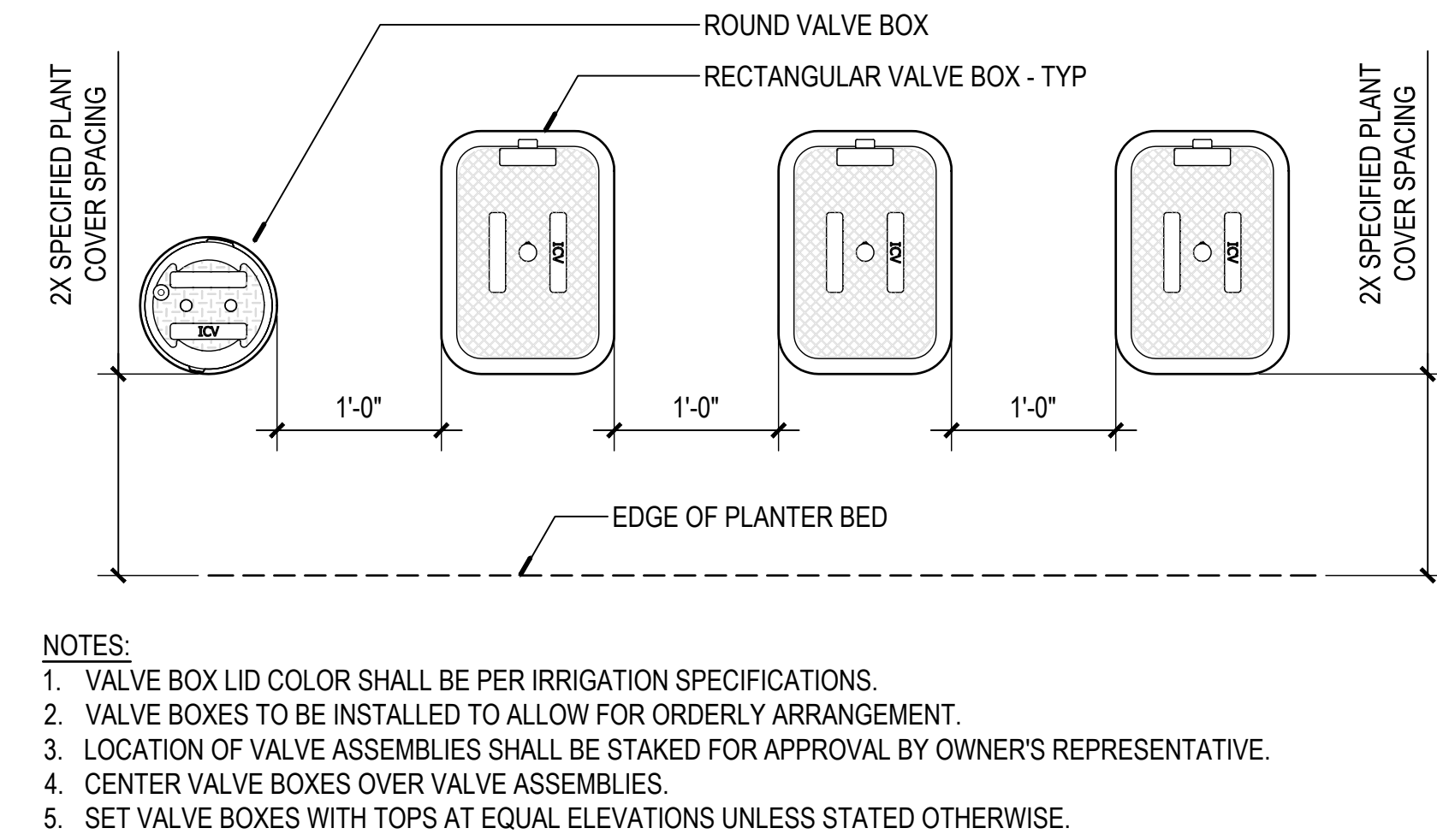
**3 CONTROLLER - PEDESTAL MOUNT**  
SECTION NOT TO SCALE



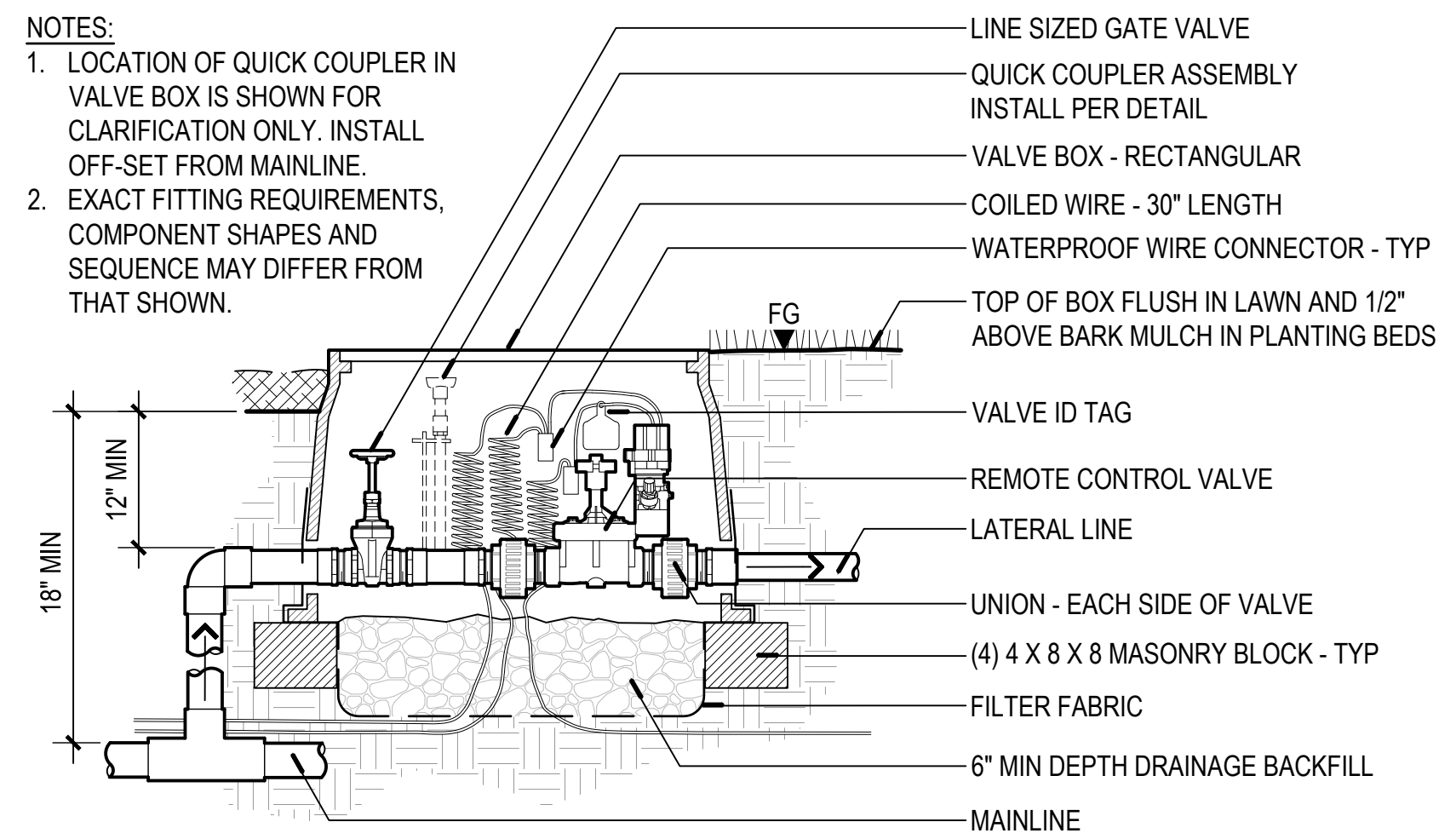
**4 ROTOR HEAD - PVC SWING JOINT ASSEMBLY**  
SECTION NOT TO SCALE



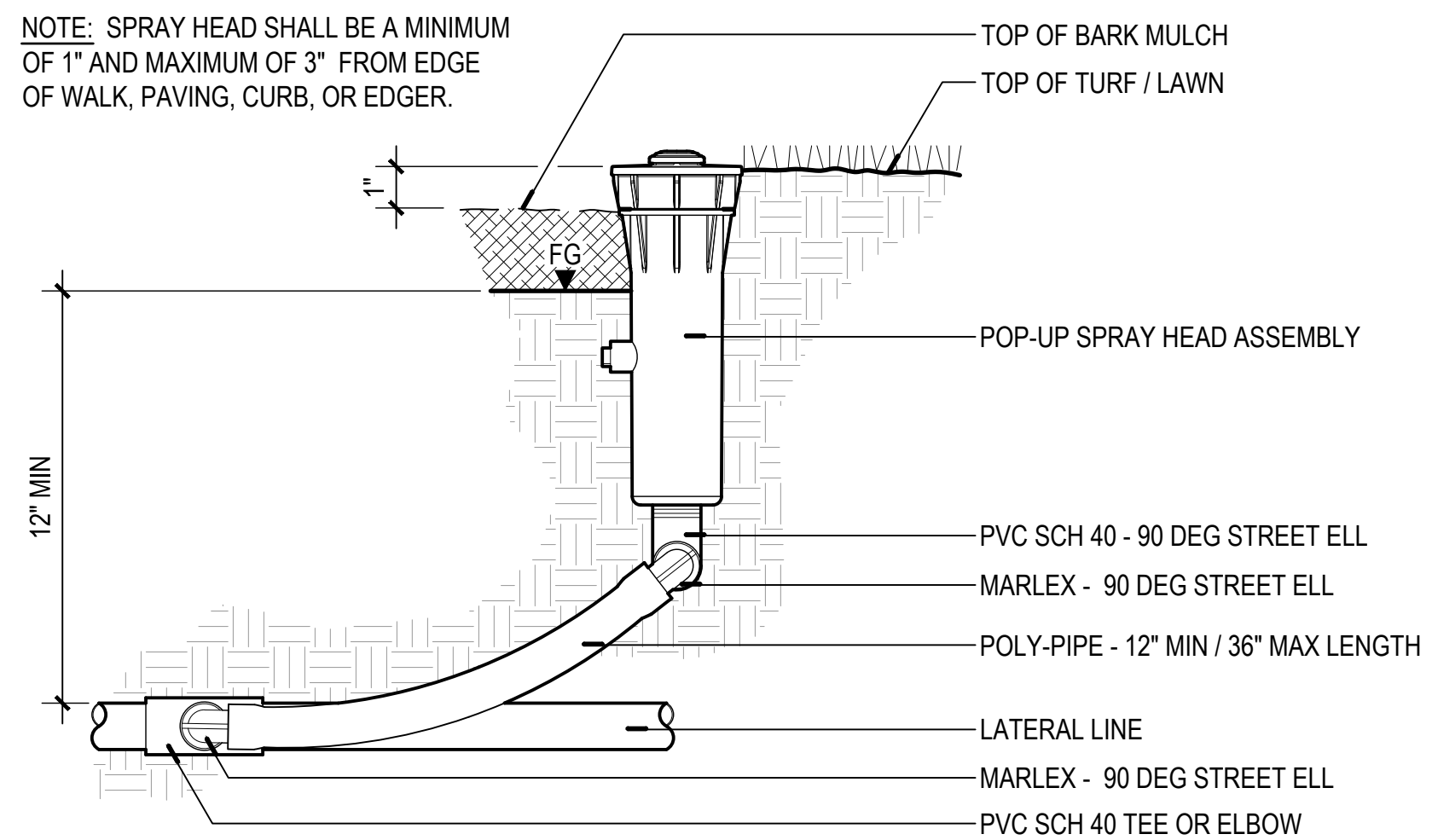
**5 QUICK COUPLER VALVE ASSEMBLY**  
SECTION NOT TO SCALE



**6 VALVE BOX LAYOUT**  
PLAN NOT TO SCALE

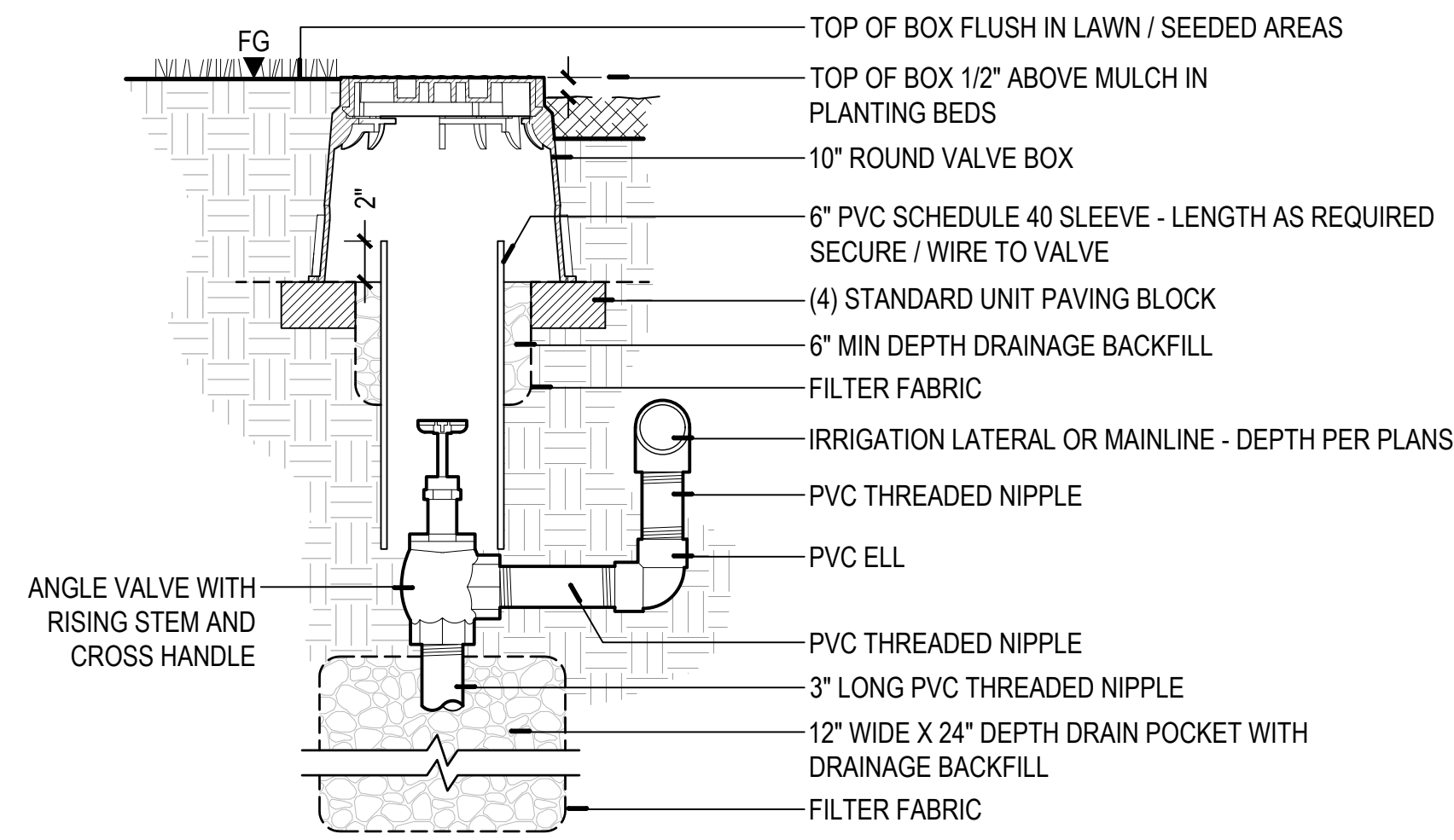


**7 REMOTE CONTROL VALVE ASSEMBLY**  
SECTION NOT TO SCALE



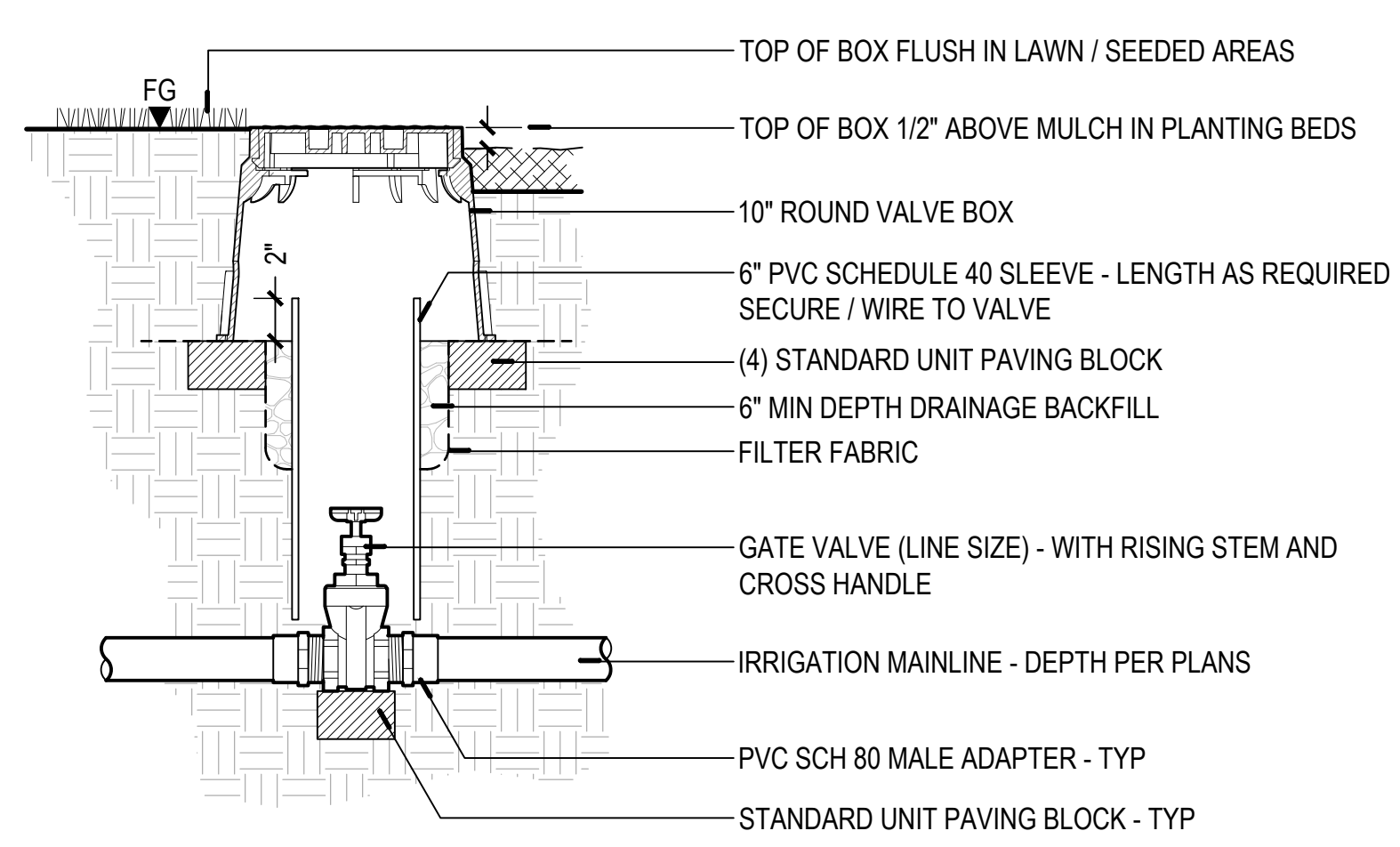
**8 SPRAY HEAD - SWING JOINT ASSEMBLY**  
SECTION NOT TO SCALE

G:\PROJECTS\10234 - L MILWAUKEE PARKS - CE DESIGN DEVELOPMENT SERVICES\02 - PRODUCTION\01 - CAD\07 - PLOT SHEETS - ALL PARKS\10234 - L DETL.DWG



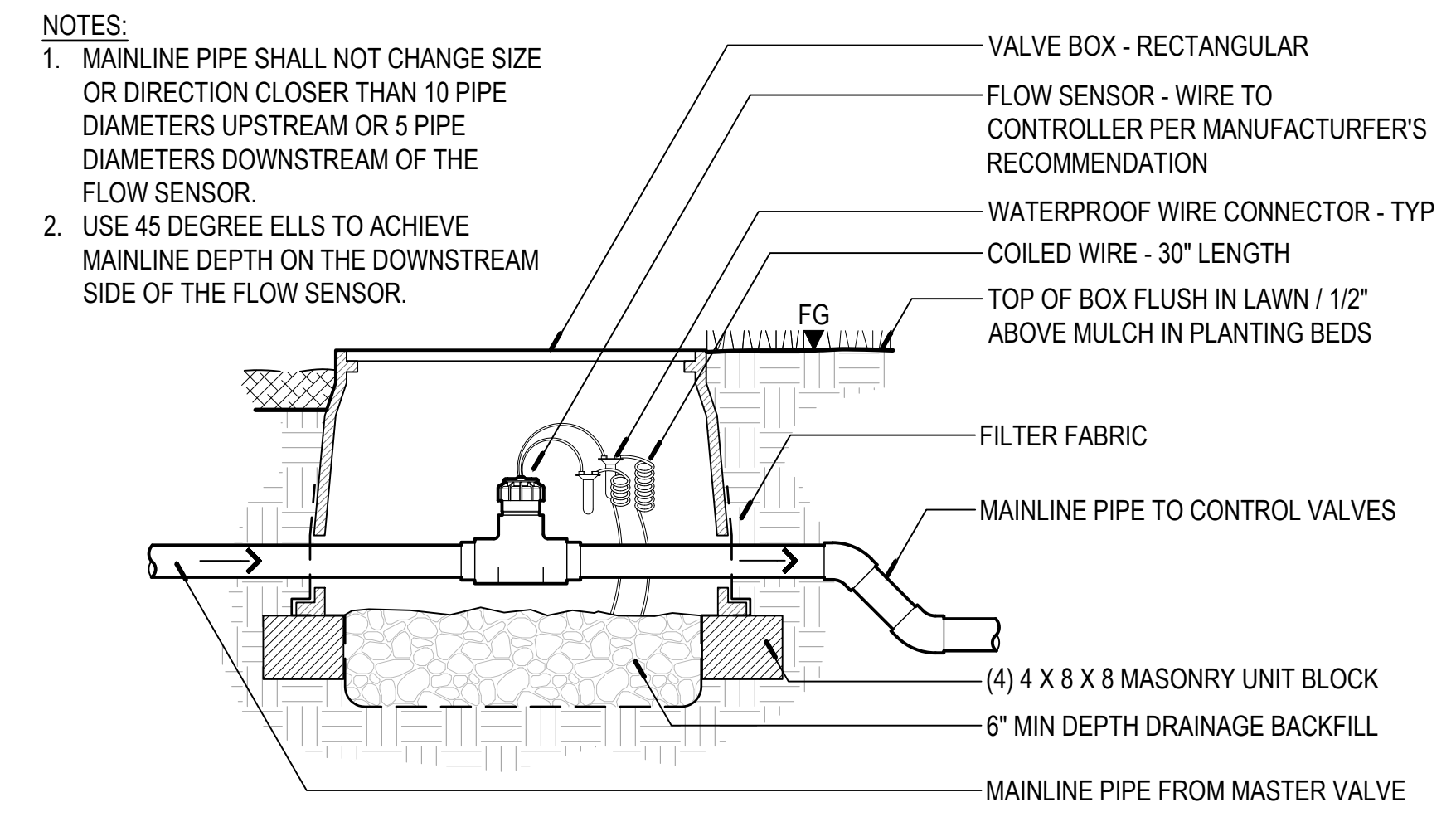
**1** MANUAL DRAIN VALVE ASSEMBLY  
SECTION

NOT TO SCALE



**2** ISOLATION VALVE ASSEMBLY  
SECTION

NOT TO SCALE



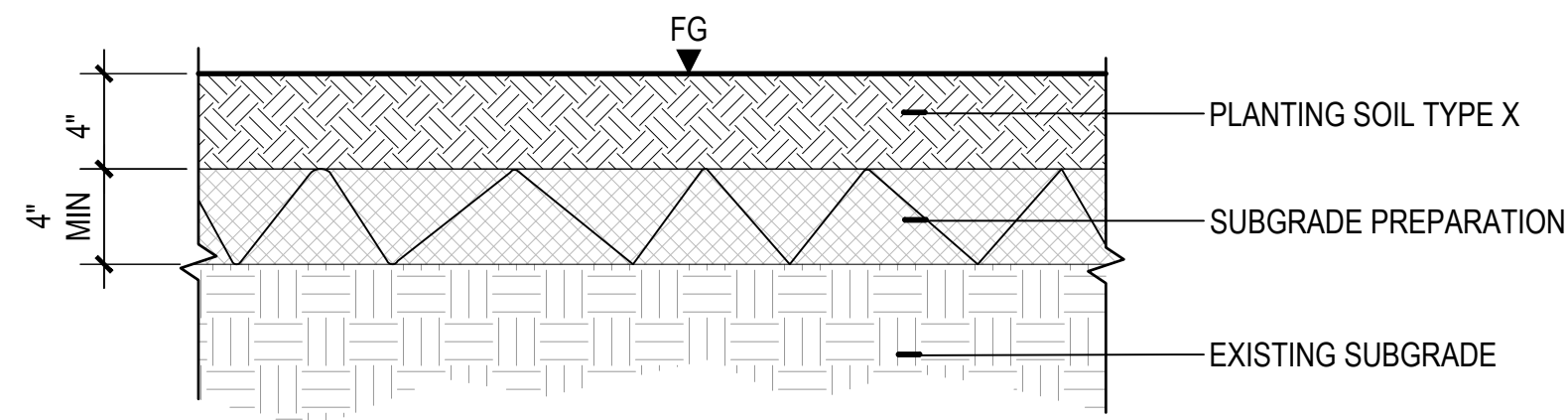
**3** FLOW SENSOR  
SECTION

NOT TO SCALE

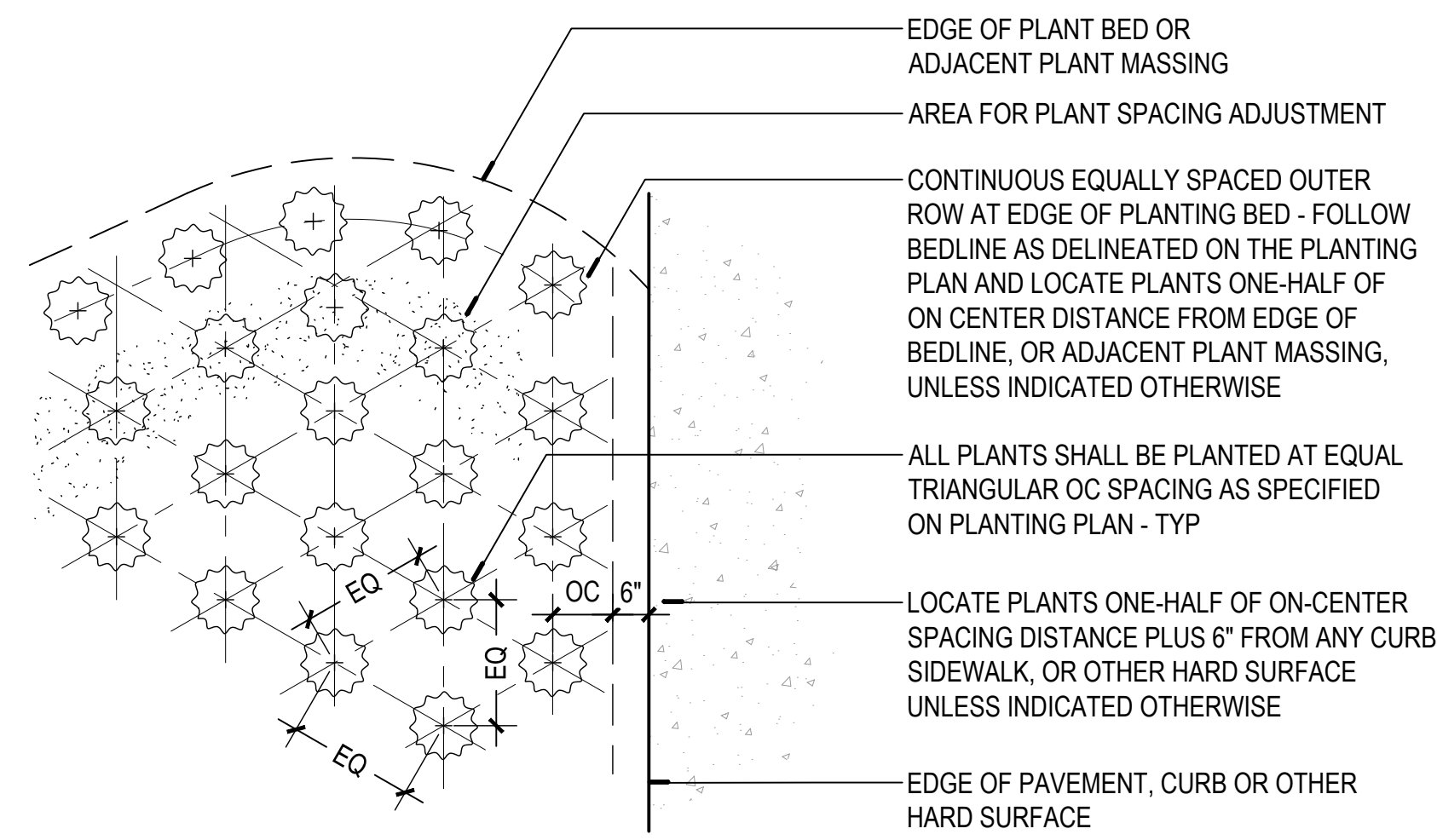
**NOTES:**

1. MAINLINE PIPE SHALL NOT CHANGE SIZE OR DIRECTION CLOSER THAN 10 PIPE DIAMETERS UPSTREAM OR 5 PIPE DIAMETERS DOWNSTREAM OF THE FLOW SENSOR.
2. USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH ON THE DOWNSTREAM SIDE OF THE FLOW SENSOR.

- NOTES:**
- CONFIRM THE SUBGRADE IS AT THE PROPER ELEVATION PRIOR TO FINAL PLANTING SOIL INSTALLATION.
  - SUBGRADE TO SLOPE TO SUBSURFACE DRAINAGE LINES AND AWAY FROM STRUCTURES IF PRESENT.

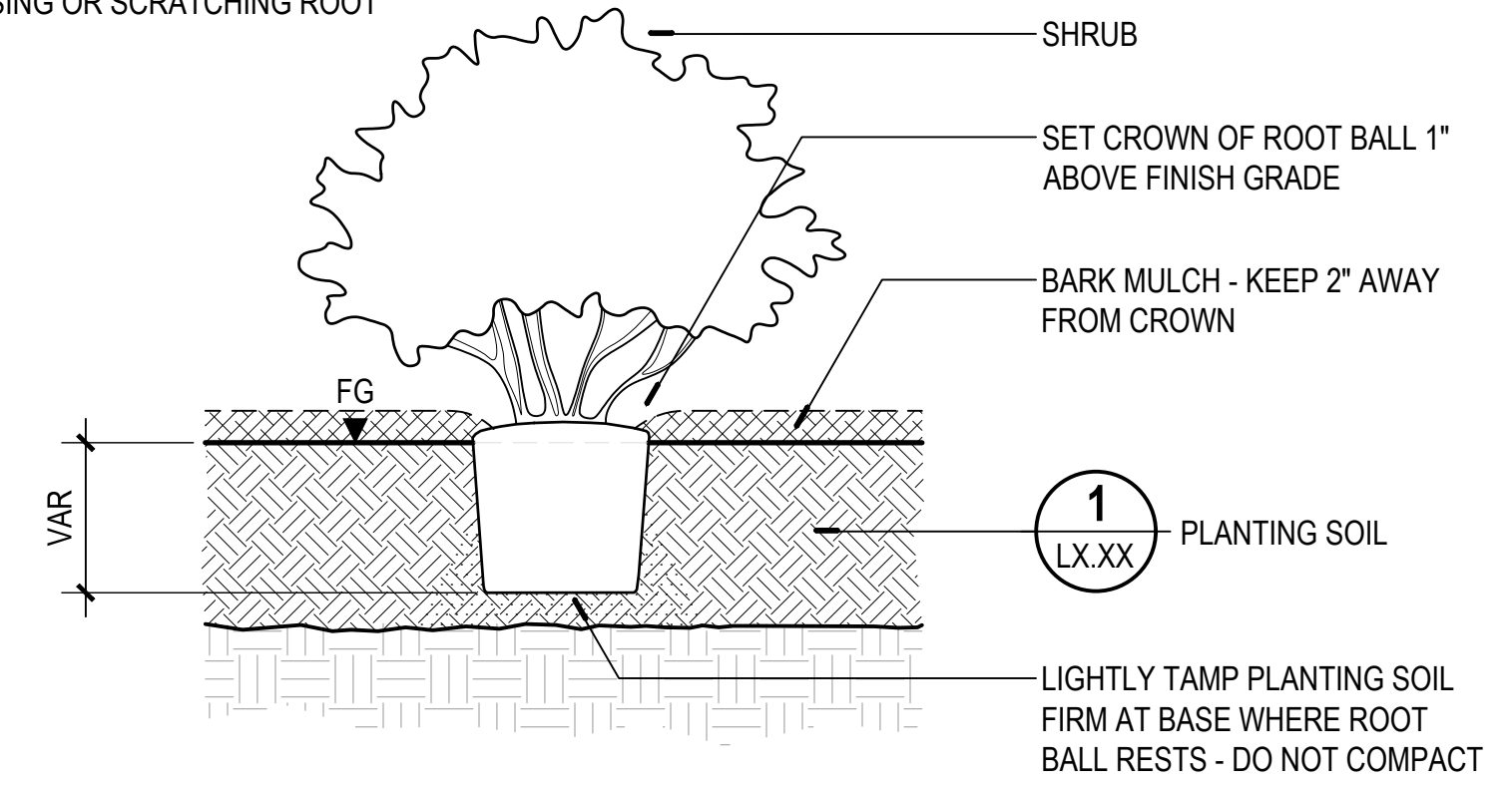


**1** PLANTING SOIL TYPE X  
SECTION NOT TO SCALE



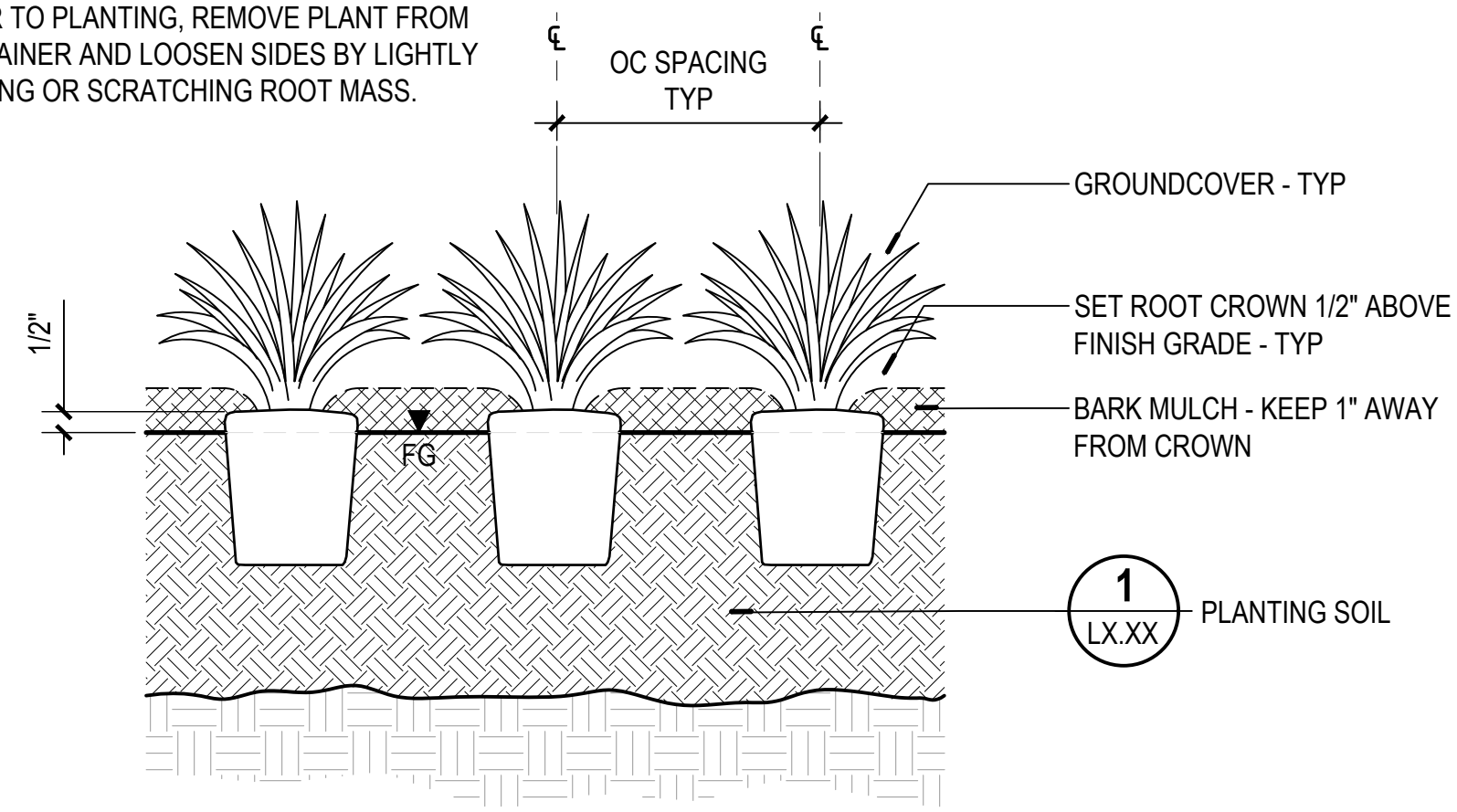
**2** PLANT SPACING DIAGRAM  
PLAN NOT TO SCALE

- NOTE:**
- PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.



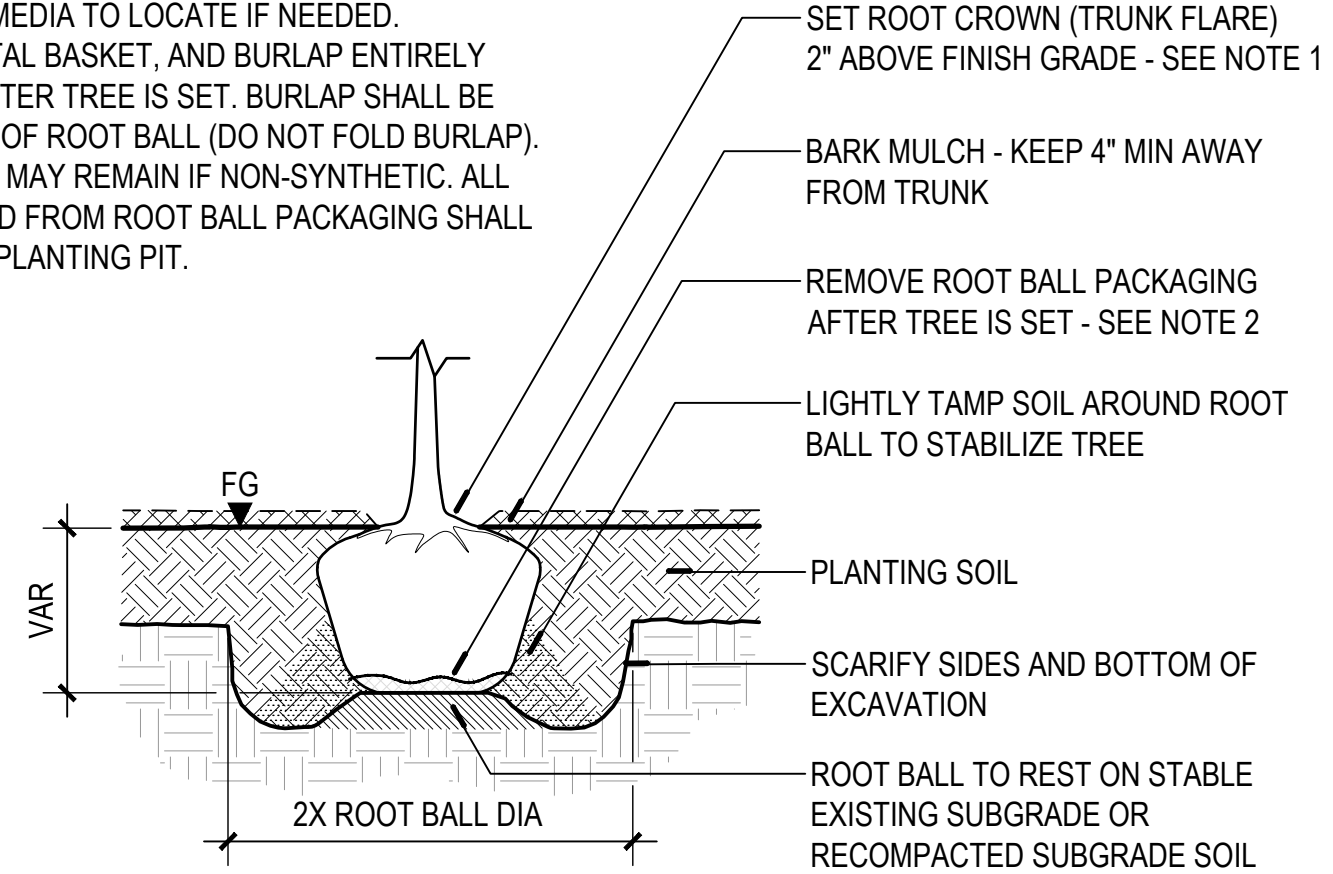
**3** SHRUB CONTAINER PLANTING W/ PLANTING SOIL  
SECTION NOT TO SCALE

- NOTE:**
- PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.

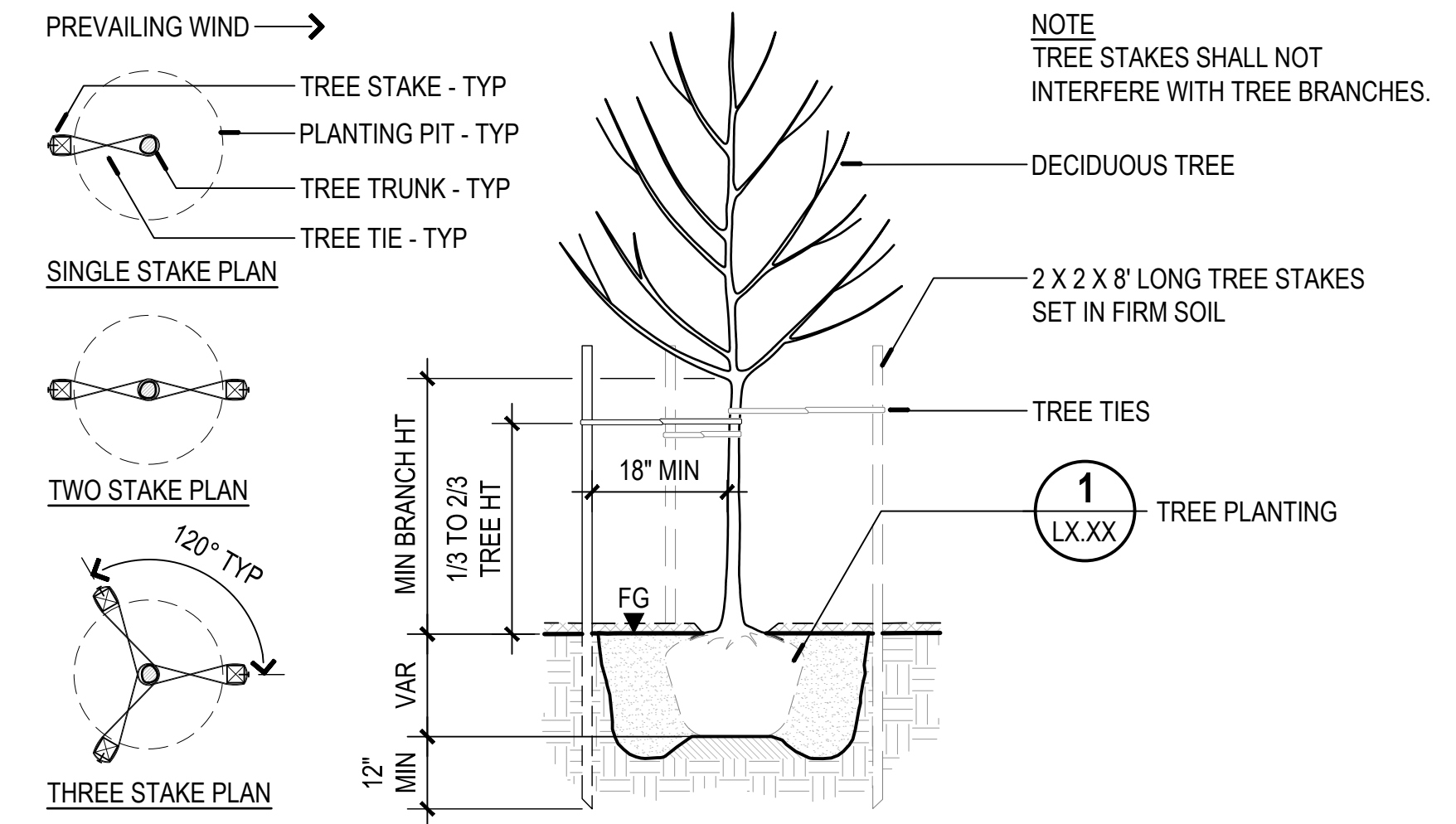


**4** GROUNDCOVER PLANTING  
SECTION NOT TO SCALE

- NOTES:**
- ROOT CROWN TO BE VISIBLE BEFORE TREE IS SET. REMOVE TOP OF ROOT BALL MEDIA TO LOCATE IF NEEDED.
  - REMOVE TWINE, METAL BASKET, AND BURLAP ENTIRELY FROM ROOT BALL AFTER TREE IS SET. BURLAP SHALL BE CUT DOWN TO BASE OF ROOT BALL (DO NOT FOLD BURLAP). BURLAP ON BOTTOM MAY REMAIN IF NON-SYNTHETIC. ALL MATERIALS REMOVED FROM ROOT BALL PACKAGING SHALL BE REMOVED FROM PLANTING PIT.



**5** TREE PLANTING - B&B W/ PLANTING SOIL  
SECTION NOT TO SCALE



**6** DECIDUOUS TREE - STAKING  
SECTION / PLAN NOT TO SCALE

Milwaukie Parks Land Use Planning  
and Permitting

Bowman-Brae Park Application

Exhibit D – Stormwater Drainage  
Report – Scott, Bowman-Brae and  
Balfour Parks

*(see separate PDF document)*

Milwaukie Parks Land Use Planning  
and Permitting

**Bowman-Brae Park Application**

**Exhibit F – Property Deeds**

920  
42  
62  
40

WFG Title 11008731-10

After recording return to: (Name, Address, Zip)  
City of Milwaukie  
Milwaukie City Hall  
10722 SE Main Street  
Milwaukie, OR 97222

Until requested otherwise, send all tax statements to:  
Same As Above

ORDER NO: 11008731  
TAX ACCOUNT NO. 00438985

Clackamas County Official Records 2011-074021  
Sherry Hall, County Clerk



\$62.00

01546570201100740210040046

12/22/2011 03:48:18 PM

D-D Cnt=1 Stn=5 CONNIEBRO  
\$20.00 \$10.00 \$18.00 \$18.00

Space Above Reserved for Recorder's Use

### STATUTORY WARRANTY DEED

Clunas Funding Group, Inc. Profit Sharing Plan & Trust, Grantor, conveys and warrants to City of Milwaukie, an Oregon municipal corporation Grantee, the following described real property free of encumbrances, except as specifically set forth herein, situated in Clackamas County, State of Oregon, to wit:

See Legal Description attached hereto as Exhibit "A"

Subject to and excepting: Covenants, Conditions, Restrictions and Easements of record.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930 AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009.

The true and actual consideration for this conveyance is \$90,000.00. (Here, comply with the requirements of ORS 93.030.)

Dated this 20<sup>th</sup> day of December, 2011

CLUNAS FUNDING GROUP, INC. PROFIT SHARING PLAN & TRUST

[Signature]  
Gary Clunas  
Trustee

State of Oregon  
County of Clackamas

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of December, 2011 by Gary Clunas Trustee



[Signature]  
Notary Public in and for the State of Oregon  
My commission expires: 3/16/12

This conveyance is approved as to form and content and accepted by The City of Milwaukie, an Oregon municipal corporation, as of the date set forth above.

THE CITY OF MILWAUKIE,  
an Oregon municipal corporation

By: Bill Monahan  
Name: Bill Monahan  
Title: City Manager

State of Oregon

County of Clackamas

This instrument was acknowledged before me on December 21, 2011, by  
Bill Monahan as City Manager of The City of  
Milwaukie, an Oregon municipal corporation.

Kelli R. Tucker  
Notary Public - State of Oregon



**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

File No.: 11008731

The Southerly 125 feet of that portion of Tract 13, ATKINSON, in the County of Clackamas and State of Oregon, which lies Northerly of a line drawn at right angles from the Westerly line of said tract at a point 1717.00 feet Southerly, measured along the said Westerly line from the Northwesterly corner thereof; and which intersects the Easterly line of said tract at a point 1714.50 feet Southerly, measured from the Northeasterly corner thereof along the Easterly line thereof; the North line of said Southerly 125 feet to be drawn parallel to the South line of the aforescribed property.

EXCEPTING THEREFROM a tract of land being a part of Lot 13, ATKINSON, and situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon, and being more particularly described as follows:

BEGINNING at the point of intersection of the North right of way line of Bowman Street in the subdivision plat of BOWMAN TERRACE with the Easterly line of Lot 13, ATKINSON; thence South 9°27'20" West along the Westerly line of BOWMAN TERRACE, 20.36 feet to the South line of that certain tract of land conveyed to the Oak Lodge Water District by Deed recorded in Book 526, Page 4, Clackamas County Deed Records; thence North 75°25'34" West along the Southerly line of said water district tract, 35.51 feet; thence Northeasterly, around the arc of a 45.00 foot radius curve to the right, through a central angle of 51°49'30" an arc distance of 40.70 feet to the point of beginning.

ALSO EXCEPTING THEREFROM all land of the aforescribed property lying West of a line in Lot 13, ATKINSON, and situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon, the line being more particularly described as follows:

BEGINNING at a 5/8" iron rod found at the Southeast corner of Lot 20, "Pennywood", situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon; thence North 75°27'34" West along the Southerly line of Lots 19 and 20 said "Pennywood", a distance of 237.93 feet to a found 5/8" iron rod and the true place of beginning, thence South 14°46'22" West, a distance of 125.31 feet to a 1" iron pipe.



**EXHIBIT "B"**  
**DEED EXCEPTIONS**

Easement, including the terms and provisions thereof:

For : Right of way  
Granted to : Adjacent property  
Recorded : October 11, 1919  
Book : 155  
Page : 72

Easement, including the terms and provisions thereof:

For : Pipeline  
Granted to : Oak Lodge Water District  
Recorded : November 16, 1923  
Book : 173  
Page : 307  
Affects : The Westerly 5 feet

Easement, including the terms and provisions thereof:

For : Public utilities  
Granted to : City of Milwaukie  
Recorded : July 22, 1985  
Recording No. : 85-025092  
Affects : 10 foot strip along portion of Westerly and Southerly lot line

Easement, including the terms and provisions thereof:

For : Public utilities  
Granted to : Adjacent property  
Recorded : March 30, 1890  
Recording No. : 90-014070  
Affects : The East 10 feet

**RESOLUTION NO. 106-2011**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MILWAUKIE, OREGON, APPROVING THE PURCHASE OF REAL PROPERTIES LOCATED AT THE NW CORNER OF SE BOWMAN STREET AND SE BRAE STREET (T2S, R2E, SEC. 6, TAX LOT 3100) FOR USE AS A CITY PARK, PURSUANT TO MILWAUKIE MUNICIPAL CODE SECTION 3.15.030**

**WHEREAS**, Council authorized staff to pursue acquisition of the real properties located at the NW corner of SE Bowman and Brae in the City of Milwaukie; and

**WHEREAS**, an offer of \$90,000 has been made by the City and accepted by the seller; and

**WHEREAS**, Milwaukie Municipal Code Section 3.15.030 requires that a purchase of real property valued at more than \$25,000 requires the "approval of City Council;" and

**WHEREAS**, an appraisal of the property showed the City's offer to be reasonable in the current market; and

**WHEREAS**, a Phase I Environmental Assessment of the property did not reveal evidence of recognized environmental conditions in connection with these properties; and

**WHEREAS**, the purchase will be financed with funding budgeted in fiscal year 2012 by the City for this purpose and reimbursement will be made by Metro with Metro Local Share funds;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Milwaukie, Oregon that:

**Section 1:** Pursuant to Milwaukie Municipal Code Section 3.15.030, the City Council approves the purchase of the real properties located at the NW corner of SE Bowman and Brae Streets and authorizes the City Manager to take all action necessary, including execution of all necessary documents, to complete said purchase.


**Section 2:** This Resolution becomes effective upon adoption.

Introduced and adopted by the City Council on December 20, 2011.

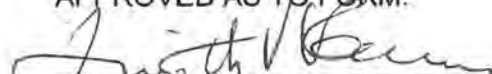
SIGNED:

  
Jeremy Ferguson, Mayor

ATTEST:

  
Pat DuVal, City Recorder

APPROVED AS TO FORM:

  
Jordan Ramis, P.C.

20  
52  
67

DE 1064  
C 2012-004

After recording return to: (Name, Address, Zip)

City of Milwaukie  
Milwaukie City Hall  
10722 SE Main Street  
Milwaukie, OR 97222

Clackamas County Official Records  
Sherry Hall, County Clerk 2011-074021



\$62.00

01546570201100740210040046

12/22/2011 03:48:18 PM

D-D Cnt=1 Str=5 CONNIEBRO  
\$20.00 \$10.00 \$16.00 \$16.00

Until requested otherwise, send all tax statements to:

Same As Above

ORDER NO: 11008731

TAX ACCOUNT NO: 00438985

Space Above Reserved for Recorder's Use

STATUTORY WARRANTY DEED

Clunas Funding Group, Inc. Profit Sharing Plan & Trust, Grantor, conveys and warrants to City of Milwaukie, an Oregon municipal corporation Grantee, the following described real property free of encumbrances, except as specifically set forth herein, situated in Clackamas County, State of Oregon, to wit:

See Legal Description attached hereto as Exhibit "A"

Subject to and excepting: Covenants, Conditions, Restrictions and Easements of record.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930 AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009.

The true and actual consideration for this conveyance is \$90,000.00. (Here, comply with the requirements of ORS 93.030.)

Dated this 20<sup>th</sup> day of December 2011

CLUNAS FUNDING GROUP, INC. PROFIT SHARING PLAN & TRUST

Gary Clunas  
Trustee

State of Oregon  
County of Clackamas

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of December 2011 by Gary Clunas Trustee  
Clunas Funding Group, Inc. Profit Sharing Plan & Trust.

Notary Public in and for the State of Oregon  
My commission expires: 3/16/12



This conveyance is approved as to form and content and accepted by The City of Milwaukie, an Oregon municipal corporation, as of the date set forth above.

THE CITY OF MILWAUKIE,  
an Oregon municipal corporation

By: Bill Monahan  
Name: Bill Monahan  
Title: City Manager

State of Oregon

County of Clackamas

This instrument was acknowledged before me on December 21, 2011, by  
Bill Monahan as City Manager of The City of  
Milwaukie, an Oregon municipal corporation.

Kelli R. Tucker  
Notary Public - State of Oregon



**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

File No.: 11008731

The Southerly 125 feet of that portion of Tract 13, ATKINSON, in the County of Clackamas and State of Oregon, which lies Northerly of a line drawn at right angles from the Westerly line of said tract at a point 1717.00 feet Southerly, measured along the said Westerly line from the Northwestern corner thereof, and which intersects the Easterly line of said tract at a point 1714.50 feet Southerly, measured from the Northeast corner thereof along the Easterly line thereof, the North line of said Southerly 125 feet to be drawn parallel to the South line of the aforescribed property.

EXCEPTING THEREFROM a tract of land being a part of Lot 13, ATKINSON, and situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon, and being more particularly described as follows:

BEGINNING at the point of intersection of the North right of way line of Bowman Street in the subdivision plat of BOWMAN TERRACE with the Easterly line of Lot 13, ATKINSON; thence South  $9^{\circ}27'20''$  West along the Westerly line of BOWMAN TERRACE, 20.36 feet to the South line of that certain tract of land conveyed to the Oak Lodge Water District by Deed recorded in Book 526, Page 4, Clackamas County Deed Records; thence North  $75^{\circ}25'34''$  West along the Southerly line of said water district tract, 35.51 feet; thence Northeasterly, around the arc of a 45.00 foot radius curve to the right, through a central angle of  $51^{\circ}49'30''$  an arc distance of 40.70 feet to the point of beginning.

ALSO EXCEPTING THEREFROM all land of the aforescribed property lying West of a line in Lot 13, ATKINSON, and situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon, the line being more particularly described as follows:

BEGINNING at a  $5/8''$  iron rod found at the Southeast corner of Lot 20, "Pennywood", situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon; thence North  $75^{\circ}27'34''$  West along the Southerly line of Lots 19 and 20 said "Pennywood", a distance of 237.93 feet to a found  $5/8''$  iron rod and the true place of beginning, thence South  $14^{\circ}46'22''$  West, a distance of 125.31 feet to a 1" iron pipe.

EXHIBIT "B"  
DEED EXCEPTIONS

Easement, including the terms and provisions thereof:

For	:	Right of way
Granted to	:	Adjacent property
Recorded	:	October 11, 1919
Book	:	155
Page	:	72

Easement, including the terms and provisions thereof:

For	:	Pipeline
Granted to	:	Oak Lodge Water District
Recorded	:	November 16, 1923
Book	:	173
Page	:	307
Affects	:	The Westerly 5 feet

Easement, including the terms and provisions thereof:

For	:	Public utilities
Granted to	:	City of Milwaukie
Recorded	:	July 22, 1985
Recording No.	:	85-025092
Affects	:	10 foot strip along portion of Westerly and Southerly lot line

Easement, including the terms and provisions thereof:

For	:	Public utilities
Granted to	:	Adjacent property
Recorded	:	March 30, 1990
Recording No.	:	90-014070
Affects	:	The East 10 feet

Milwaukie Parks Land Use Planning  
and Permitting

**Bowman-Brae Park Application**

**Exhibit I – Amenity Image Examples**







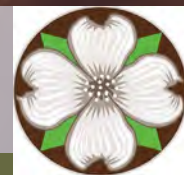
MAY 2023  
BOWMAN-BRAE PARK  
OPTION E



HD 357 23E Color Option : A



MAY 2023  
BOWMAN-BRAE PARK  
OPTION E



HD 357 23E Color Option : A



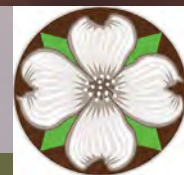
MAY 2023  
BOWMAN-BRAE PARK  
OPTION F

HD 357 23F Color Option : A





MAY 2023  
BOWMAN-BRAE PARK  
OPTION F



HD 357 23F Color Option : A

Milwaukie Parks Land Use Planning  
and Permitting

**Bowman-Brae Park Application**

**Exhibit L – 2015 Master Plan**

# BOWMAN-BRAE PARK MASTER PLAN

REFINED CONCEPT

APRIL 20, 2015



## CITY OF MILWAUKIE

### Application for the Adoption of the Bowman - Brae Park Master Plan as an Ancillary Document to the City of Milwaukie Comprehensive Plan

**Date:** May 12, 2015

**Applicant:** North Clackamas Parks and Recreation District  
150 Beaver Creek Road  
Oregon City, Oregon 97045

**Contact:** Katie Dunham  
503-742-4358  
[kdunham@clackamas.us](mailto:kdunham@clackamas.us)

**Property Owner:** City of Milwaukie

**Property Address:** Bowman - Brae Park  
No Situs  
Milwaukie, Oregon 97222

**MAP & Tax lot #s:** Township 2 South, Range 2 East, Section 6BC, Tax Lot 3100  
Latitude 45° 25' 40.2982" N, Longitude 122° 37' 7.7759"  
W

**Comprehensive  
Plan Designation:** Low Density (LD)

**Zoning Designation:** R-7

**Property Size:** 0.69 acres

**Request:** Adoption of the Bowman and Brae Park Master Plan as an ancillary document to  
the City of Milwaukie Comprehensive Plan

## **INTRODUCTION**

### **Action Requested**

Adoption of the Bowman-Brae Park Master Plan as an ancillary document to the City of Milwaukie Comprehensive Plan.

### **Background and Site Description**

Bowman-Brae Park is a .69 acre undeveloped neighborhood park site located in the Lake Road neighborhood at the intersection of SE Bowman Street and SE Brae Street in Milwaukie. The City of Milwaukie purchased the land in 2011 with assistance from Metro's voter-approved 2006 natural areas bond measure. The property is managed by the North Clackamas Parks and Recreation District (NCPRD) in accordance with an intergovernmental agreement with the City as an undeveloped open space. The site's existing open nature and level topography, along with its location within the community provides an opportunity for flexible recreation on a site very special to the neighborhood.

### **Public Involvement and Planning Process**

The site is an opportunity to create a neighborhood park for the residents of the area. Through a public process, NCPRD built consensus among interested parties around a common vision for the park. NCPRD and the City hosted two meetings during the fall of 2014 to discuss the park site and develop a park master plan. The public meetings were devoted exclusively to this subject and were held on September 29 and November 6, 2014. At the first public meeting site analysis and existing conditions materials were presented along with three initial master plan concepts. Meeting attendees were asked to actively participate in the group discussion and a breakout session with consultants and staff. After the first public meeting and throughout the project NCPRD and the City placed information on their websites for review and comment. Comments and suggestions were compiled, discussed, and incorporated into the design process. A final draft master plan was presented at the second public meeting. Interested citizens had the opportunity to provide additional input and the general consensus was positive. The project was also discussed numerous times with the Milwaukie Park and Recreation Board and the North Clackamas Park District Advisory Board. The public process is further described in the response to Chapter 4, Recreational Needs Element, Objective 3, within this document.

### **Proposal**

The key goal of the master planning process for the Bowman-Brae Park was to develop a plan that accommodates the neighborhood needs for an interesting and engaging place for flexible active and passive recreation and provides for ease of maintenance and longevity, while providing a safe and enjoyable experience for the community. Based on field observations, site analysis, background data collection, and input from NCPRD, the City of Milwaukie, community groups, and the public at-large, the master plan was developed and refined to achieve this goal. Elements of the plan are listed below. Additional details about proposed improvements are included in the attached master plan document submitted as part of this application.

#### **Bowman-Brae Park Master Plan Elements:**

- An accessible play area
- A small picnic shelter
- A meandering concrete pathway
- A multi-use trail connection
- Designated park entrances



- Bike parking
- Picnic tables and benches
- Perimeter fencing
- Evergreen and deciduous trees and native ornamental shrub planting
- A small stormwater detention area
- An area for a possible season toilet

### **Plan Adoption Process**

Since the City does not have a “Parks” or “Open Space” zone, except within downtown, the City employs the following two-step process to designate and develop publicly-owned parks.

**Step 1—Master Plan Adoption.** Master plan adoption, a legislative action requiring approval from City Council, is the process by which the City formally identifies a long range plan for a park. A master plan provides the conceptual framework for future development and investment and is the first step toward implementing the community’s vision for specific park improvements. Park development, which occurs in the second step, generally does not occur until the City has adopted a master plan.

**Step 2—Master Plan Implementation.** Master plan implementation generally occurs after master plan adoption and requires minor quasi-judicial review by the Planning Commission. Development plans submitted during this step must conform to the adopted master plan.

The requested action only relates to Step 1 of this two-step process, namely the adoption of the *Bowman-Brae Park Master Plan*. This master plan adoption process is to affirm the public’s future use of the site as a park and to guide future park funding, development, and investment.

In order to adopt the proposed master plan, the plan must conform to the City’s existing adopted policies and meets all relevant approval criteria contained in the Milwaukie Comprehensive Plan (MCP) and the Milwaukie Municipal Code (MMC).

The applicable MCP and MMC criteria are contained in the following sections and addressed below:

- MMC 19.902.3, including MCP Chapter 2 and Chapter 4
- MMC 19.902.4

Additionally, NCPRD must address the relevant aspects of the Metro Urban Growth Management Functional Plan and the relevant Statewide Planning Goals

## **CITY OF MILWAUKIE COMPREHENSIVE PLAN GOALS AND POLICIES**

NCPRD is seeking adoption of the Bowman-Brae Park Master Plan (the Plan) as an ancillary document to the City of Milwaukie Comprehensive Plan (MCP). Per city staff, the applicable code criteria NCPRD must address for the text amendment and map amendment are MMC Chapter 19.902.3.B, and MMC 19.902.4. These are addressed below.

## **MMC 19.902.3 COMPREHENSIVE PLAN TEXT AMENDMENTS**

### **Section 19.902.3 Comprehensive Plan Text Amendments**

**Changes to the text of the Milwaukie Comprehensive Plan shall be called Comprehensive Plan text amendments.**

**A. Review Process**

**Changes to the text of the Milwaukie Comprehensive Plan described in Subsection 19.902.2.A shall be evaluated through a Type V review per Section 19.1008**

**B. Changes to the Milwaukie Comprehensive Plan may be approved if the following criteria are met:**

- 1. The proposed amendment is consistent with the goals and policies of the Comprehensive Plan, as proposed to be amended.**

*The applicable components relevant to address are:*

### **Chapter 2, PLAN REVIEW AND AMENDMENT PROCESS**

**Milwaukie Comprehensive plan (MCP) Chapter 2 – Plan Review and Amendment Process. GOAL STATEMENT: Establish a Plan review and amendment process as a basis for land use decisions, provide for participation by citizens and affected governmental units, and ensure a factual base for decisions and actions. Objective 1, Policies 3-7 are applicable:**

- *Objective 1 Policy 3 – Individuals, the Planning Commission, or the City Council may request plan amendments at any time separate from the normal Comprehensive Plan Amendment application process...***

**Response:** The City of Milwaukie and NCPRD are requesting this plan amendment under an intergovernmental agreement. The City and District have requested that the Planning Commission and City Council review this application and hold a public meeting to discuss the application as part of the review process.

- *Objective 1 Policy 4 – Submit copies of proposed Plan change to affected government units at the draft amendment stage and following final adoption of changes.***

**Response:** This step will be completed by the City as part of the review process.

- *Objective 1 Policy 5 – All proposed Comprehensive Plan text and map amendments will be considered at advertised public hearings before the Planning Commission and City Council***

**Response:** This step will be completed by the City as part of the review process.

- *Objective 1 Policy 6 – All proposed Comprehensive Plan text and map amendments will be processed per the procedures in the Zoning Ordinance.***

**Response:** This step will be completed by the City as part of the review process

- **Objective 1.7 – All Comprehensive Plan text and map amendments will be evaluated based on the approval criteria in the Zoning Ordinance for approval of Comprehensive Plan amendments:**

**Response:** This step will be completed by the City as part of the review process. The current designation on Comprehensive Plan Map 7 (Land Use) for Bowman-Brae Park is Low Density (LD) residential and needs to be changed to Public (P) to further designate this property as a future park and prepare the property for future Community Service Use (CSU) approvals that will be needed for future development. NCPRD and the City are applying for both the comprehensive plan text and map approvals at this time. The Bowman-Brae Park property is suitable for a neighborhood park and to be designated as Public. The property is in an area planned for a neighborhood park within the NCPRD Master Plan and is developable as a neighborhood park.

#### **Chapter 4, RECREATIONAL NEEDS ELEMENT, Objective 1, 3, and 5:**

##### **Milwaukie Comprehensive plan (MCP) Chapter 4 – Recreational Needs Element.**

**GOAL STATEMENT: To provide for the recreational needs of present and future City residents by maximizing use of existing public facilities, encouraging the development of private recreational facilities, and preserving the opportunity for future public recreational use of vacant private lands.**

- **Objective 1 PARK CLASSIFICATIONS**

**Response:** Bowman-Brae Park is identified in the proposed Master Plan as a neighborhood park – A “Neighborhood Park typically serves one neighborhood (within ½ mile radius), is often located by a school, and provides short duration activities (field sports, play, leisure time, etc.). Minimum size is (typically) one acre. The standard is 1 acre of neighborhood park per 1,000 residents”. The plan is specifically consistent with this objective because Bowman-Brae Park is an existing public property, currently owned by the City of Milwaukie, is .69 acres, and the Master Plan provides for park elements that typically serve one neighborhood. There are currently no other neighborhood parks located within ½-mile of the proposed Bowman-Brae Park in the Lake Road neighborhood. The closest neighborhood park is Homewood Park, .85 miles away. However, North Clackamas Park, a community park, is located 1/3-mile east of the proposed park. The neighbors, District, and City purposefully proposed park elements that are appropriate for a small neighborhood park while planning for Bowman-Brae Park. The proposed elements of the park include an accessible play area, picnic tables and benches, a meandering concrete pathway, A multi-use trail connection, three designated park entrances, bike parking, a small picnic shelter, perimeter fencing and plantings, evergreen and deciduous trees and native shrub planting, a small stormwater detention area, and an area for a possible seasonal toilet. These are all elements that facilitate activities that will provide places for the neighborhood to gather, play, and relax.

- **Objective 3 INTERGOVERNMENTAL COOPERATION**

**Response:** The Plan meets the goal of Objective 3 through the partnership between NCPRD and the City of Milwaukie strengthened by the Intergovernmental Agreement with the City. The property was originally acquired in 2011 by the City of Milwaukie in partnership with Metro and funded by the Metro 2006 voter-approved bond measure. NCPRD is currently maintaining and managing the future park site as an open space through the intergovernmental agreement. This master plan was completed through funding provided by NCPRD and in partnership with the City of Milwaukie. Citizen involvement was instrumental in developing the Plan. NCPRD and City staff worked with park neighbors and the Lake Road Neighborhood Association and park users played a major role in developing the Bowman-Brae Park Master Plan. NCPRD organized two public meetings, on September 29 and November 6, 2014, to

obtain input and ideas for park improvements. Following each public meeting plans were posted to an online project website and advertised by both the City and NCPRD. The project was also discussed and shared with the Milwaukie Park and Recreation Board and the NCPRD Advisory Board. The District Advisory Board reviewed the Bowman-Brae Park Master Plan on January 15, 2015 and endorsed moving forward with this application. NCPRD staff also attended a Lake Road Neighborhood Association meeting to gather additional information and feedback. In addition to public meetings, neighbors and park users were encouraged to voice their comments and concerns throughout the design process. Many comments were received via phone conversation, e-mail, and comment cards and incorporated into the plan whenever possible. The key goal of the planning process was to develop a plan that minimizes environmental and property impacts, provides for ease of maintenance and longevity, while providing a safe and enjoyable experience for the community. NCPRD and the City are committed to working together toward future implementation of the plan and partnership in managing the park.

- **Objective 5 NEIGHBORHOOD AND COMMUNITY PARKS**

**Response:** The City and NCPRD share the goal of developing a City-wide park and recreation system which meets the needs of neighborhoods, the City, and the District as a whole. As stated in Policy #1, Bowman-Brae Park is in a location that is convenient for residents of the neighborhood, and has access points at SE Bowman Street and SE Brae Streets, both public streets. Additionally, there is the opportunity to develop a multi-use trail through the park in the future that will connect to SE Where Else Lane.

As stated in Policy #2, the proposed park elements are intended to serve the needs of residents of that neighborhood only and will not contain large, highly structured facilities which may attract users from outside the neighborhood. Additionally, it is the intention of neighbors and community members that attended the public meetings and submitted comments during the public process that a basketball court or skatepark not be included in the park. The neighbors also preferred a small playground and picnic shelter, appropriately sized to the small park and located away from residential homes.

The proposed plan is also consistent with Policy #4, as the Bowman-Brae Park Master Plan does not propose any major structured recreational facilities (including lighted baseball and soccer fields, pools, tennis courts, etc.), which would be more appropriate for a community park or special use facility.

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**The change is in conformance with applicable Statewide planning goals:**

**Response:** The plan is consistent with the following applicable statewide planning goals:

Goal 1: Citizen Involvement. Citizen involvement was instrumental in developing the Bowman-Brae Park Master Plan (the Plan). Please see the response to Chapter 4, Recreational Needs Element, Objective 3, Intergovernmental Cooperation, above. NCPRD strives to develop plans that minimize environmental and property impacts and provide for ease of maintenance and longevity while providing a safe and enjoyable experience for the community.

Goal 2: Land Use Planning. See response to MCP Chapter 4 – Land Use, above.

Goal 5: Open Space, Scenic, and Historic Spaces, and Natural Resources. The proposed Plan will serve to conserve Bowman-Brae Park as community open space and preserve and enhance it as a park. There

are no identified riparian values on the site. The proposed plan strives to protect this site's wildlife habitat values through preserving a significant existing cedar tree along the southern edge of the park. Additionally, the plan includes planting additional native plants and trees within the park.

Goal 8: Recreational Needs. See response to Chapter 4, Recreational Needs Element, Objective 1, 3, and 5 above.

The proposed enhancements outlined in the Plan will comply with all applicable regional, state and federal regulations prior to and during any construction activity. There are no floodplains, creeks, wetlands, or designated Habitat Conservation Areas identified within the park site. Any work performed will comply with all applicable City regulations in effect at the time of land use application.

**The proposed amendment is consistent with the Metro Urban Growth Management Functional Plan and relevant regional policies:**

**Response:** The Plan conforms to the Metro Growth Management Functional Plan, specifically, Title 12, Protection of Residential Neighborhoods, Access to Parks and Schools. The proposed Bowman-Brae Park will meet a level of service standard of ½-mile access for neighborhood residents. The park is accessible by walking, biking and transit. TriMet bus 29 stops ½-mile away from the proposed park, at SE Lake Road & SE Freeman Road.

Title 3 (Water Quality and Flood Management) and Title 13 (Habitat Conservation Areas) don't apply to the Bowman-Brae Park site.

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**MMC 19.902.4 COMPREHENSIVE PLAN MAP AMENDMENTS**

**Changes to the maps of the Milwaukie Comprehensive Plan shall be called Comprehensive Plan map amendments.**

**A. Review Process**

**Changes to the maps of the Milwaukie Comprehensive Plan described in Subsection 19.902.2.C shall be evaluated through either a Type IV review per Section 19.1007, or Type V Review, per Section 19.1008...Generally, Comprehensive Plan map amendments that involved 5 or more properties or encompass more than 2 acres of land are legislative and nature and subject to Type V review. Comprehensive Plan map amendments that involve fewer properties and encompass a smaller area of land are quasi-judicial in nature and subject to Type IV review.**

**Response:** The proposed changes to the Milwaukie Comprehensive Plan, Comprehensive Plan Map 7, to reclassify Bowman-Brae Park from Low Density (LD) to Public (P) falls under a Type IV review because the proposed amendment only involves one property that is only 0.69 acres of land.

**B. Changes to the maps of the Milwaukie Comprehensive Plan shall be evaluated against the approval criteria in Subsection 19.902.3.B...**

**Response:** The plan conforms to the approval criteria in Subsection 19.902.3B, as outlined in the application responses above.



CITY OF MILWAUKIE & NORTH CLACKAMAS PARKS AND RECREATION DISTRICT

# BOWMAN-BRAE PARK MASTER PLAN

FINAL REPORT 4.20.2015

lango . hansen



## ACKNOWLEDGEMENTS

### NCPRD BOARD OF DIRECTORS (CLACKAMAS COUNTY BOARD OF COMMISSIONERS)

Chair John Ludlow  
Vice Chair Jim Bernard  
Martha Schrader  
Paul Savas  
Tootie Smith

### DISTRICT ADVISORY BOARD (DAB)

David Noble, Chair  
Bill Bersie  
Kristin Mitchell  
Lynn Fisher  
Michael Morrow  
Robin Condie  
Susan McCarty  
Tony Andersen

### NORTH CLACKAMAS PARKS AND RECREATION DISTRICT

Gary Barth, Director  
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Resource Manager  
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### SPECIAL THANKS TO:

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## INTRODUCTION

### INTRODUCTION

This master plan document for Bowman-Brae Park was developed in partnership between the City of Milwaukie and North Clackamas Parks and Recreation District (NCPRD). Bowman-Brae Park is a 0.69-acre undeveloped neighborhood park located at the intersection of SE Bowman Street and SE Brae Street in Milwaukie, OR. The City purchased the land in 2011 with assistance from Metro's voter-approved 2006 natural areas bond measure. Currently the undeveloped park site is maintained by NCPRD through an intergovernmental agreement with the City as an undeveloped open space. The open nature of the site and its location provide an exciting opportunity to meet the neighborhoods needs for flexible recreation.

### MISSION STATEMENT

Create an attractive neighborhood park that offers a variety of outdoor recreation opportunities for everyone living in the neighborhood.

### SCOPE OF PROJECT

Bowman-Brae Park is a well-used property within the Lake Road Neighborhood that offers a much needed place for neighbors to come together and enjoy both active and passive recreation. The master plan for the park addresses the functional needs of the park site such as circulation and Right-of-Way improvements, and provides a framework for organizing the site so that it can meet the neighborhood's recreation needs. An open and interactive approach to the master planning process engaged neighbors, community members, City and NCPRD staff as well as the opportunity to create a lasting plan to guide future implementation by the City and District.

The Master Plan for the park includes open lawn, a small picnic shelter, storm water treatment, signage, landscaping, accessible pathways and site features including benches and picnic tables, an accessible play area, fencing and maintenance vehicle access.



Context Aerial



## SITE DESCRIPTION

### PARK CLASSIFICATION

NCPRD defines a neighborhood park with the following:

- Serves as the recreational and social space of the neighborhood
- May provide opportunities for natural areas, informal activities, and passive recreation
- Typically includes playgrounds, picnic areas, natural areas, trails, open grass areas for passive use, outdoor basketball courts, and/or multi-use sports fields
- On-site parking and restrooms are not typically provided
- Typically serve an area of an approximately 1/2 to 1-mile radius
- Typically vary in size from 1/2 to 5 acres
- Examples of neighborhood parks are Homewood Park and Ardenwald Park

NCPRD and the City of Milwaukie strive to use native plants whenever possible and provide long-lasting and easy to maintain site furnishings within neighborhood parks.

### SITE ASSESSMENT

The first step in the Master Planning process was to gather information related to the existing conditions of the site and City Code requirements. Using GIS information, a site analysis aerial was compiled for use throughout the master planning process. Site visits were conducted to gather information about existing site features including fencing and tree species. LHLA performed interviews with City and NCPRD staff to understand specific site issues. KPFF Civil Engineers provided resources related to storm water treatment requirements.

Information gathered during the initial phase was compiled into a site analysis drawing along with existing site photos to illustrate the existing conditions and opportunities and constraints. The site analysis drawing and site photos were shared with City and District Staff for comments prior to the initial public meeting.

### SITE ANALYSIS

The site is currently vacant and being used actively by the neighbors for picnics, informal sports and dog walking. The site slopes minimally from the northeast corner to the southwest corner of the site. The southeast edge of the site is bordered by approximately 170 feet of the SE Bowman St public right-of-way. The remaining 50' of the southwest edge of the site is bordered by an Oak Lodge Water District property, which contains a pump house that is no longer being used by the Water District.

The east edge of the park is bordered by 124' of private roadway, the north edge of the park is 237 feet long and bordered by two private single family residences with existing privacy fencing. The west edge of the park is bordered by a 13' wide swath of privately owned land. The Where Else Lane right-of-way ends at the west edge of the privately owned land. There is currently no publicly-owned connection to the park's west side, but it is being used by neighbors as a park entrance at this time.

The park has a variety of perimeter fencing ranging from weathered wood picket fencing on the south side along SE Bowman Street to wood post and cable fencing along the east and west boundaries. One mature cedar is located on the south edge of the site. It will be protected. A previous development application for three single-family homes had been strongly opposed by neighbors because it would have required removal of this tree.

### MAINTENANCE CONSIDERATIONS

Throughout the design process, District maintenance staff were consulted so that the park would be designed with maintenance in mind. In addition to a pathway for maintenance vehicle access to the play area, the location of future site furnishings, features and types of plant material were coordinated with maintenance staff.

# SITE ANALYSIS



### PUBLIC PROCESS

Two public meetings were held to discuss design options and gather neighbor feedback. At the first public meeting, the site analysis and existing conditions materials were presented along with three initial master plan concepts. Meeting attendees were asked to actively participate in the group discussion, a breakout session with consultants and staff, review materials, and place their comments on notes directly on the plans. Public comments from the first meeting were incorporated into a final master plan concept that was presented at the second public meeting.

### NEIGHBORHOOD FEEDBACK

Comments from the first public meeting significantly influenced the design of the final master plan. From the public meetings we heard that in general, the neighbors want to keep the feel of the park simple, without a lot of programmed elements. Protecting the existing cedar is important to them, and they like the size and feel of the existing open lawn area, but would like to see perimeter planting as a buffer between the park and adjacent residences. The neighbors want to keep the multi-use trail connection as minimal as possible so as to preserve as much of the site for park use.

At the final master plan community meeting, neighbors expressed interest in keeping the open lawn area as large as possible, locating a small play area on the south edge of the site near SE Bowman St., including a small shelter for gatherings, creating opportunities for relaxation, and including a meandering walking pathway that was not too close to the residences on the north edge of the park. The neighbors also want to deter parking along SE Bowman Street and along the private road for park use by including signage, and include perimeter fencing to delineate the park boundary on all sides. The final master plan incorporates neighbor feedback from the first public meeting. The final draft master plan was presented to the neighbors at a second public meeting, and an overall consensus in favor of the plan was reached.

### MASTER PLANNING : CONCEPT DEVELOPMENT

The City will require right-of-way improvements which include a new concrete sidewalk, a planter strip, and new curb along the publicly owned portion of SE Bowman Street right-of-way as part of the future site development. The City will also require the ability to construct a future multi-use trail connection from SE Bowman Street to SE Where Else Lane. The multi-use trail is not currently shown connecting to Where Else Lane because the adjacent property is privately owned, but ultimately a future connection is planned to provide improved cross-circulation through the neighborhood.

NCPRD will require a curb cut at the main park entrance which is located at the corner of SE Bowman and SE Brae Streets to allow park maintenance vehicles to access the site. A removable bollard will be installed to prevent unauthorized vehicles from entering the site. In addition to these requirements, design options included three bike racks, a paved area to accommodate a temporary/seasonal portable restroom, a waste receptacle, and an entry sign at the main park entrance adjacent to the SE Bowman and SE Brae intersection. All design options include low screening shrub planting at the north park boundary to delineate and soften the park boundary.

Design of the park master plan incorporates principles from Crime Prevention Through Environmental Design (CPTED) which includes keeping planting low to allow views into and throughout the park, keeping evergreen trees limbed up to prevent hiding spots, and maintaining clear entrances. Planting shown on all options takes this need for site visibility into account. Trees shown will be limbed up as they become established. Evergreen trees shown are spaced 20' apart at a minimum. Any shrub and groundcover planting would be low, not higher than 3', to allow views into the park and avoid creation of hiding places.

The District's dedication to planting native species will be integral to the planting design. Native plants provide important habitat for wildlife and are easier to maintain.

### DEVELOPMENT PROPOSAL / ELEMENTS

The final master plan site improvements include:

- A designated park entrance at the corner of SE Brae and SE Bowman Streets

- A park entry sign
- Bike parking with 3 bike racks
- A small shelter with 2-3 picnic tables
- Accessible play area with adjacent curb cut for maintenance vehicle access
- 2 picnic tables adjacent to the play area
- A meandering concrete pathway around the perimeter of the site
- A multi-use trail connection from the west end of SE Bowman St to the end of SE Where Else Lane. Construction of this element will depend on ownership and timing of the neighborhood cross-circulation plan
- Perimeter Fencing
- Evergreen and Deciduous trees, scattered around the perimeter of the site near the pathway to keep the central lawn area open for informal active use
- A small storm water detention area with native planting to treat and collect storm water runoff from the site
- Native ornamental shrub planting
- Low native evergreen screening shrubs on the north edge of the park
- An area for a possible seasonal toilet
- 2 Benches

### SUMMARY

NCPRD will make improvements to the park when funding for the whole park is available. Initial cost estimates were developed and provided to NCPRD to provide an initial estimate for future budgeting and planning purposes. The cost estimates and project elements are subject to change due to further refinements that may occur as the final park design is completed. Funding for construction of this park is not available at this time. This plan will make it possible for NCPRD to apply for grants and solicit partnerships to help complete improvements.

This plan is conceptual in nature. Final decisions regarding dimensions, materials and precise locations of improvements will be determined per all applicable regulatory requirements and as funding is available.

NCPRD will coordinate improvements with the City of Milwaukie and will follow necessary land use processes to ensure elements are consistent with all City policies and codes. NCPRD is also committed to making sure all regulatory permits have been acquired prior to project commencement (eg. Army Corps of Engineers, Division of State Lands, etc.)

# BOWMAN-BRAE PARK MASTER PLAN

REFINED CONCEPT

APRIL 20, 2015



