

MILWAUKIE PLANNING
 6101 SE Johnson Creek Blvd
 Milwaukie OR 97206
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: CU-2023-001

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|--|--|--|
| <input type="checkbox"/> Amendment to Maps and/or
<input type="checkbox"/> Comprehensive Plan Map Amendment
<input type="checkbox"/> Zoning Text Amendment
<input type="checkbox"/> Zoning Map Amendment
<input type="checkbox"/> Code Interpretation
<input type="checkbox"/> Community Service Use
<input checked="" type="checkbox"/> Conditional Use
<input type="checkbox"/> Development Review
<input type="checkbox"/> Director Determination
<input type="checkbox"/> Downtown Design Review
<input type="checkbox"/> Extension to Expiring Approval
<input type="checkbox"/> Historic Resource:
<input type="checkbox"/> Alteration
<input type="checkbox"/> Demolition
<input type="checkbox"/> Status Designation
<input type="checkbox"/> Status Deletion | <input type="checkbox"/> Land Division:
<input type="checkbox"/> Partition
<input type="checkbox"/> Property Line Adjustment
<input type="checkbox"/> Replat
<input type="checkbox"/> Subdivision
<input type="checkbox"/> Miscellaneous:
<input type="checkbox"/> Barbed Wire Fencing
<input type="checkbox"/> Mixed Use Overlay Review
<input type="checkbox"/> Modification to Existing Approval
<input type="checkbox"/> Natural Resource Review**
<input type="checkbox"/> Nonconforming Use Alteration
<input type="checkbox"/> Parking:
<input type="checkbox"/> Quantity Determination
<input type="checkbox"/> Quantity Modification
<input type="checkbox"/> Shared Parking
<input type="checkbox"/> Structured Parking
<input type="checkbox"/> Planned Development | <input type="checkbox"/> Residential Dwelling:
<input type="checkbox"/> Manufactured Dwelling Park
<input type="checkbox"/> Temporary Dwelling Unit

<input type="checkbox"/> Transportation Facilities Review**
<input checked="" type="checkbox"/> Variance:
<input type="checkbox"/> Use Exception
<input checked="" type="checkbox"/> Variance
<input type="checkbox"/> Willamette Greenway Review
<input type="checkbox"/> Other: _____
Use separate application forms for: <ul style="list-style-type: none"> • Annexation and/or Boundary Change • Compensation for Reduction in Property Value (Measure 37) • Daily Display Sign • Appeal |
|--|--|--|

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): Weston Sanaee

Mailing address: 13844 SE McLoughlin Blvd. State/Zip: Oregon 97222

Phone(s): 503-789-0211 Email: westonsanaee@gmail.com

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above): _____

Mailing address: _____ State/Zip: _____

Phone(s): _____ Email: _____

SITE INFORMATION:

Address: 10425 SE 42nd Ave Map & Tax Lot(s): 11E25DD, 11E25DD14700


Comprehensive Plan Designation: _____ Zoning: NMU Size of property: 12,632 sq ft

PROPOSAL (describe briefly):

Use of property would switch from used vehicle sales and repair to vehicle repair and service only.

An addition would be constructed onto the existing building

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by:  Date: 3-14-2023

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.
 ** Natural Resource and Transportation Review applications may require a refundable deposit.

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT <small>(after discount, if any)</small>	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	CU-2023-001	\$ 150	25%	(multiple applications)	Materials submitted 3/24/2023 Payment received 3/29/2023
Concurrent application files	VR-2023-004	\$ 1,000			
		\$			
		\$			
Deposit (NR/TFE only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ 1,150			RECEIPT #:	RCD BY:	

Associated application file #s (appeals, modifications, previous approvals, etc.):

Neighborhood District Association(s): Hector Campbell (w/ proximity to Lewelling)

Notes:

Minor modification to existing conditional use, with a variance for some of the design standards for nonresidential buildings.

To: Milwaukie Planning

From: Weston Sanaee

RE: Narrative review to request minor modification to de facto conditional use at 10425 SE 42nd Ave. Milwaukie, OR 97222

I am a local business owner who owns the above referenced property. My intention is to convert this property from a car dealership and repair shop to a vehicle service center exclusively. This will serve the neighborhood by providing a convenient place to service vehicles within walking and biking distance of many residences, making pickup and drop off of vehicles very convenient. It will also lessen vehicle traffic by removing the need for another vehicle to facilitate pickup/dropoff.

This modification meets the criteria for minor modification listed in MMC 19.905.4B for the following reasons:

1. The proposed modification will not increase the intensity of use at this location. It's fair to argue that it will reduce the intensity of use. The existing car lot and repair shop was packed full of broken down vehicles and an eye sore to the general public. We will have a major reduction of vehicles parked on the property at any given time. The existing structure is antiquated and does not serve very well as a modern repair shop. This encouraged repair work to often be performed outside.
2. The proposed modification will comply with all conditions of approval per MMC zoning code. The property does not fall in any overlay zones or special areas. My proposal meets the standards listed in MMC 19.905.5
 - a. Hours of operation will be regular daytime hours and the business conducted will not generate excessive noise or disturbance to neighboring businesses and residences.
 - b. All vehicle service will be performed indoors minimizing environmental impacts due to noise, vibration, dust, glare, odor, etc.
 - c. Additional side yards along sidewalks and behind the buildings will be added per code.
 - d. Building height and size falls into guidelines per MMC
 - e. I intend to close two of the driveways on the east side of the property along 42nd Ave, limiting vehicle access to King Road only.
 - f. Side yard landscaping will surround the off street parking.
 - g. Outdoor lighting will be limited and I intend to only use 4000k lighting which has a much warmer and less offensive hue than what is found in most parking lots and store fronts.
 - h. Not sure if this requirement is applicable because the building will have its back to the surrounding properties.
 - i. I do not intend to install any fences.
 - j. There are no existing trees, soils, vegetation, watercourses, habitat areas, or drainage areas.

- k. There is a bus stop almost directly in front of the property on 42nd Ave providing very convenient access to public transportation.
 - l. Our intention is to not use any street parking and our vehicle parking configuration will follow MMC.
3. Our proposed modification will not negatively impact nearby uses. There does not appear to be any natural features. It appears that the only public facility would be the bus stop and cross walk on 42nd. Our proposed changes should improve the public safety of that area by removing the 2 driveways. On the south side of the property is a convenience store and the west side of the property is what appears to be a home that has been unoccupied for some time. The proposed modification will not negatively impact either of them. Nor should it have any impact on the shopping center across 42nd Ave or the residences north of the property on King Road.
4. I'm not sure how this standard applies given that the property currently has a grandfathered in prohibited use as a car dealership. And a de facto conditional use as a repair shop. This proposal is a great improvement over the alternative, which would be to leave it as a car lot.

Accompanying this Narrative Review will be detailed site plans, a topographic survey, proof of ownership, documents from a civil engineer and the necessary application forms.

I look forward to hearing the outcome of the review of my application. Please contact me with any questions or concerns.

Sincerely,



Weston Sanaee
westonsanaee@gmail.com
Cell: 503-789-0211

1.) Base Zone Standards 19.300

The property has been a car dealership and vehicle repair facility for over a decade, which fell in line with how it was previously zoned. The zoning code has since changed to NMU. Use as a car dealership and repair shop has become a de facto conditional use. My proposal eliminates use as a car dealership, switching exclusively to vehicle service and repair which is an allowed Conditional Use according Table 19.303.2. This is a major improvement towards compliance with zoning code.

MMC:

19.905.8 De Facto Conditional Use Status and Loss of Conditional Use Status:

A. A legally established use currently identified in the code as a conditional use is a de facto conditional use, rather than a nonconforming use, even if:

- 1. It had previously been identified as a use that was allowed outright or a nonconforming use.*
- 2. It had not previously undergone conditional use review.*

A de facto conditional use does not require a conditional use permit. Modifications to a de facto conditional use shall be evaluated per Subsections 19.905.3 and 4.

This meets the criteria for a minor modification of an existing conditional use per the following Approval Criteria cited from MMC 19.905.3 and 4.

19.905.3

A. Establishment of a new conditional use, or major modification of an existing conditional use, shall be evaluated through a Type III review per Section 19.1006.

B. Minor modification of an existing conditional use shall be evaluated through a Type I review per Section 19.1004.

I am including a Narrative Review in a separate document to address the following criteria:

19.905.4

B. Minor modification of an existing conditional use shall be approved if the following criteria are met:

- 1. The proposed modification will not significantly increase the intensity of the use at this location.*
- 2. The proposed modification will comply with all applicable development standards and requirements of the base zone, any overlay zones or special areas, and the standards in Section 19.905.*
- 3. The proposed modification will not negatively impact nearby uses, protected natural features, or public facilities more than the original conditional use.*

4. *The proposed modification will comply with any conditions of approval from the original conditional use approval.*

Development Standards (referring to table 19.303.3):

A. Lot Standards

1. Minimum lot size: 1500 sq ft. Lot is 12364 sq ft.
2. Minimum street frontage : 25 ft. Frontage measures approximately 125 ft on 42nd and 100 ft on King Rd.

B. Development standards

1. Minimum Floor area ratio .5:1 . Proposed FAR is is .41, bringing the building closer to compliance
2. Building Height
 - a. The base maximum building height is 45'. The maximum proposed building height is approximately 22 feet
 - b. Project will not utilize height bonus
3. Street setbacks
 - a. There is no minimum street setback in this zone.
 - b. The maximum street setback is 10'. The street setback along the north property line for the existing building to remain is 24' 3". The street setback along the east property line for the addition is 8' 7".
4. There are no frontage occupancy requirements in this zone
5. The maximum allowed lot coverage is 85%. The proposed lot coverage for the project will be 41%.
6. The minimum vegetation for the project is 15%. The proposed vegetation is 16.8% (2129 SQ FT OF LANDSCAPE / 12632.4 SQ FT). No more than 20% of the required vegetation area will be covered in mulch or bark dust.
7. Two primary entrances will be provided, one along SE 42nd Avenue and one along SE King Road
8. Off-street parking will be provided per MMC 19.600. 2 spaces per 1,000 sq ft of floor area are required. $5204 \text{ square feet} / 1000 = 3.8 \times 2 = 10.4$ parking spaces required. Per 19.605.3 (B)(1)(c) required parking can be reduced 50%. Provided off-street parking equals 5 spaces.
9. The both primary building facades will be oriented towards transit streets, SE 42nd Avenue and King Road.
10. The site is not abutting or adjacent to properties zoned R-MD, therefore no requirements exist.

2.) Overlay Zone Standards 19.400

The property does not fall into any Overlay Zones or Special Areas

3.) Supplementary Development Regulations 19.500

19.501 General Exceptions – No exceptions will be utilized.

19.502 Accessory Structures – There are no accessory structures in this project.

19.503 Accessory Uses – There are no accessory uses in this project.

19.504 Site Design Standards

19.504.1 Clear Vision Areas – Clear vision will be maintained at all corners.

19.504.2 Maintenance of Minimum Ordinance Requirements – No areas will be reduced.

19.504.3 Dual Use of Required Open Space – No areas being used to meet other area requirements.

19.504.4 Distance from Property Line – All structures will be setback a minimum 3' from all property lines.

19.504.5 Transition Area Measures - The site is not abutting or adjacent to properties zoned R-MD, therefore no requirements exist.

19.504.6 Minimum Vegetation - No more than 20% of the required vegetation area may be covered in mulch or bark dust.

19.504.7 Flag Lot and Back Lot Design and Development Standards – This property is not a Flag Lot.

19.504.8 On-Site Walkways and Circulation – A 5' wide minimum walkway will be provided from SE 42nd to the office. Pavers will be installed to make the walkways permeable to stormwater. Pavers will be installed without gaps larger than ½" between pavers where wheelchair wheels can get stuck. The change in level between each pavers won't be more than 1/4". And the maximum slope will be 1:20.

19.504.9 Setbacks Adjacent to Transit – A portion of the building will be no more than 30' away from both transit routes.

19.504.10 Preliminary Circulation Plan – Preliminary circulation elements will be shown on Land Use submittal plans.

19.505.7 Nonresidential Development

1. Corners - property is not in a GMU zone
2. Weather protection
 - a. All ground floor entrances will be protected by canopies as shown in schematics
3. Exterior building materials
 - I am requesting a variance on a separate document per MMC 19.911
4. Windows and doors
 - a. MMC is a bit foggy on the definition of "ground floor street wall area". The existing and proposed structures are significantly set back from the sidewalk/road

except for on the east elevation of the proposed addition. I am requesting a variance on a separate document per MMC 19.911

- b.
 - i. windows will have a visible transmittance (VT) of 0.6 or higher.
 - ii. Doors and/or primary entrances will be unlocked when the business located on the premises is open.
 - iii. Clear glazing will be used on all windows
 - iv. Not applicable
 - v. Ground floor windows will allow view into the front reception area
 - c. Windows will be designed to provide shadowing
 - d. The following window elements will not be used
 - i. Reflective, tinted or opaque glazing
 - ii. Simulated divisions
 - iii. Exposed or unpainted metal frames
5. Roofs
Code calls for a roof pitch of no less than 4/12. The submitted design shows a 2/12 pitch. I am requesting a variance on a separate document per MMC 19.911
6. Rooftop equipment and screening
Any rooftop equipment will be screened when required per code.
7. Ground-Level Screening
All garbage and recycling will be stored in the shop space indoors
8. Rooftop structures
I do not intend to install any rooftop structures

4.) Off-street parking and loading standards and requirements 19.600

Below is a breakdown of responses to the Submittal Requirements listed in MMC 19.603.2

- A. Delineation of individual spaces and wheel stops.
Shown in site plans
- B. Drive aisles necessary to serve spaces.
Shown in site plans
- C. Accessways, including driveways and driveway approaches, to streets, alleys, and properties to be served.
Shown in site plans
- D. Pedestrian pathways and circulation.
Shown in site plans
- E. Bicycle parking areas and rack specifications.
Shown in site plans
- F. Fencing.
No fencing intended
- G. Abutting land uses.

To the south is a convenience store. To the west is what appears to be an unoccupied residence.

H. Grading, drainage, surfacing, and subgrading details.

Provided by civil engineering

I. Location and design of lighting fixtures and levels of illumination.

There will be less than 10 parking spaces on site, therefore lighting is not required.

J. Delineation of existing and proposed structures.

Shown in site plans

K. Parking and loading area signage.

Shall be delineated on the pavement during striping

L. Landscaping, including the following information.

1. The location and area of existing and proposed trees, vegetation, and plant materials, including details about the number, size, and species of such items.

Shown on site plans

2. Notation of the trees, plants, and vegetation to be removed, and protection measures for existing trees and plants to be preserved.

No vegetation is being removed

19.604.4 Storage Prohibited:

No off-street parking area will be used for storage of equipment or materials

19.605.1 Minimum and Maximum Requirements:

Off-street parking will be provided per 19.600. 2 spaces per 1,000 sq ft of floor area are required. $5204 \text{ square feet} / 1000 = 3.8 \times 2 = 10.4$ parking spaces required. Per 19.605.3 (B)(1)(c) required parking can be reduced 50%. Provided off-street parking equals 5 spaces.

19.605.5 Electric Vehicle (EV) Charging Requirements

50% of the total number of parking spaces provided will include electrical conduit adjacent to the spaces that will allow for the installation of at least a Level 2 EV charger.

19.606.1 Parking Space and Aisle Dimensions

All spaces are at 90 degree angles and 9' x 18' in size

19.606.2 Landscaping

Trees shall be species that, within 10 years of planting, will provide a minimum of 20-ft diameter shade canopy. Compliance with this standard is based on the expected growth of the selected trees.

1. Dimensions

According to Table 19.606.2.C.1 the minimum width of the landscaping perimeter in my application shall be 8 ft. We are meeting that requirement as shown in our schematics.

2. Planting requirements:

One tree will be planted per 30 linear feet of landscaped buffer as shown on Sheet A1.00. The remainder of the buffer area shall be grass, ground cover, mulch, shrubs, trees, or other landscape treatment other than concrete and pavement.

3. Additional Planting Requirements Adjacent to Residential Uses

The residence on the west side of the property would be adjacent to the proposed handicap parking spot. There is already a fence in place to obstruct the view from

19.606.2.D Interior landscaping - The proposed parking configuration does not require interior landscaping.

19.606.3 Additional Design Standards

- A. Paving and Striping – All parking spaces and walkways will be striped
- B. Wheel Stops – Wheel stops will be provided in front of proposed parking spaces
- C. Site Access and Drive Aisles – A drive aisle 22' wide is provided throughout
- D. Pedestrian Access and Circulation – All off-street parking spaces are less than 100' from the building entrance. A walkway is provided that connects off-street parking to the building entrance.
- E. Internal Circulation – A site plan is provided for review.
- F. Lighting – There will be less than 10 parking spaces on site, therefore lighting is not required.

19.608 Loading

No loading spaces are required for buildings under 20,000 sq ft of floor area.

19.609 Bicycle Parking

A conforming bike rack is shown on the site plan meeting the following requirements per 16.609.4:

1. Located within 50 ft of the main building entrance.
2. Closer to the entrance than the nearest non-ADA designated vehicle parking space.
3. Designed to provide direct access to a public right-of-way.
4. Dispersed for multiple entrances.

5. In a location that is visible to building occupants or from the main parking lot.
6. Designed not to impede pedestrians along sidewalks or public rights-of-way.
7. Separated from vehicle parking areas by curbing or other similar physical barriers.

19.610 Carpool and vanpool parking

Not applicable because there are less than 20 parking spaces

5.) Public facility standards and requirements 19.700

Applicability (MMC 19.702) - The increase in gross floor area establishes applicability of MMC 19.700.

19.703 Transportation Facility Improvements – TFR Land Use application is not required

19.704 Transportation Impact Study – TIS is not required

19.705) Rough Proportionality

The subject property is developed with an existing vehicle repair and sales business and has frontage on both King Road and 42nd Avenue. The subject property currently has one accessway on King Road, and two accessways on 42nd Avenue.

The King Road frontage has 5-ft wide setback sidewalk with landscape planter strip and curb. The 42nd Avenue frontage has 5-ft wide curb-tight sidewalk and curb.

Per the pre application hearing, it was proposed that the north accessway on the 42nd Avenue frontage be closed. I am proposing closing both accessways on the 42nd Avenue frontage. New curb and sidewalk will be constructed in place of all removed accessways.

19.707 Agency Notification - The City shall provide notice to Metro, Clackamas County and TriMet

19.708 Transportation Requirements

19.708.3 Sidewalk Requirements and Standards

New conforming sidewalk and curb will be constructed in place of the removed driveways/accessways.

1. General Requirements

- a. Access Management: All development subject to MMC 19.700 shall comply with access management standards contained in MMC 12.16
- b. Clear Vision: All development shall comply with clear vision standards

2. Street Design Standards

a. The improved right-of-way shall have a curb-tight sidewalk width of 4-ft to match existing sidewalk. A future city project will construct street improvements on 42nd Avenue.

3. Sidewalk Requirements

a. Sidewalks shall be provided on the public street frontage of 42nd Avenue per the requirements of this chapter. Sidewalks shall be constructed within the existing and/or dedicated public right-of-way and designed in accordance with the Public Works Standards and the City of Milwaukie Americans with Disabilities Act Transition Plan.

A Right-of-Way permit will be obtained before constructing any improvements on the public right-of-way.

Type II Variance Request

Per MMC 19.911.3.B.7 I am requesting variances on the following three building design standards.

I. 19.505.7C3 Exterior Building Materials

The design shown in our schematics does not quite meet the specifications for primary and secondary exterior building materials. My reasoning for why a variance should be granted are as follows.

- The intention of the design is to sustain congruence with the existing structure which I do not intend to alter. Putting more brick on the exterior of the proposed addition in order to meet the standard would be excessive and also would not match the existing structure.
- It meets the purpose of the exterior building standards by having an attractive appearance.
- The mix of brick and painted metal along with the awnings add dimension and texture to the exterior of the structure.
- The brick and metal are high quality and durable.
- This choice of materials aims to establish a timeless appearance that will look contemporary in the near term and while not looking dated decades from now.

The following MMC also supports my request for variance:

19.505.7.3e states “The Planning Director may waive this requirement if application of the standards would create an incongruous appearance of existing and new materials.”

It is worth mentioning that while we are not meeting the exact specifications we are not wildly off either. Material calculations of the **proposed** structure are as follows:

East Elevation

Total wall area = 676 sq ft

Primary materials:

- Brick = 287 sq ft (42%)

Secondary materials:

- Finished metal panels = 363 sq ft (54%)

Other doors and decorative elements = 26 sq ft (4%)

North Elevation

Total wall area = 1458 sq ft

Primary materials:

- Brick = 149 sq ft (10%)

Secondary materials:

- Finished metal panels = 829 sq ft (57%)

Other doors and decorative elements = 480 sq ft (33%)

Material calculations of the **existing** structure are as follows:

East Elevation

Total wall area = 652 sq ft

Primary materials (29%) :

- Brick = 88 sq ft (13%)
- Glass = 107 sq ft (16%)

Secondary materials:

- Finished metal panels = 207 sq ft (32%)

Other doors and decorative elements = 250 sq ft (39%)

North Elevation

Total wall area = 308 sq ft

Primary materials:

- Glass = 76 sq ft (25%)

Secondary materials:

- Finished metal panels = 232 sq ft (75%)

Total exterior material calculations are as follows:

East Elevation

Total wall area = 1328 sq ft

Primary materials (36%) :

- Brick = 375 sq ft (28%)
- Glass = 107 sq ft (8%)

Secondary materials (43) :

- Finished metal panels = 570 sq ft (43%)

Other doors and decorative elements = 276 sq ft (21%)

North Elevation

Total wall area = 1766 sq ft

Primary materials (12%) :

- Brick = 149 sq ft (8%)
- Glass = 76 sq ft (4%)

Secondary materials (43) :

- Finished metal panels = 1061 sq ft (60%)

Other doors and decorative elements = 480 sq ft (28%)

II. 19.505.7C4 Windows and Doors

MMC states: "30% of the ground-floor street wall area must consist of openings; i.e., windows or glazed doors."

As stated in the Detailed Statement addressing building code, MMC is a bit foggy on the definition of “ground floor street wall area”. It seems to make sense that exterior walls with a significant setback from the road/sidewalk would not have to follow this standard. However, the east exterior wall of the proposed addition does seem to fit the description of a ground floor street wall area.

In any case I am requesting a variance to this section for the following reasons:

1. As a mechanic shop there will be a significant amount of expensive equipment and tools inside the shop area. A clear view into the shop areas showcasing this equipment creates a significantly higher likelihood of enticing a thief to break in. Glass is also much less secure because it can be easily smashed in order to gain access.
2. It is normal for heavy tools and objects to be moved around and in some cases even swung within the shop space on a regular basis. Because glass is easily broken and sharp when broken it has the potential to create a hazard. An opening from a broken window can take some time to repair, thus creating an issue for keeping the structure secure and insulated from outside weather.
3. It seems that the purpose of this design standard is to create an open and inviting feeling for pedestrians. In the public parts of a structure, such as a lobby, dining area or showroom floor this absolutely makes sense. For private areas, especially potentially hazardous ones it does not make as much sense. Having a clear view into work spaces increases the likelihood that the public lets themselves into off limits areas. Ideally, the work area in an automotive repair shop cannot and should never be open to the public. Primarily for safety reasons but also for the sanity and dignity of repair technicians (customers watching you work can be nerve wracking).

III. 19.505.7C5 Roofs

MMC calls for a roof pitch of no less than 4/12. The design proposed in my application has a 2/12 pitch.

I am asking for a variance on this for the following reasons:

1. The steeper roof not only looks very unusual but also takes away useful ceiling space.
2. Code allows keeping the 2/12 roof pitch by adding a parapet around the sides of the building to make it appear flat. Normally I'd say no problem with that solution. But I am planning to install solar panels (a south facing slope is ideal for solar) and the parapet would be detrimental to their efficiency.
3. Our original design is the most architecturally appealing in my architect's opinion and mine. The exposed slope makes the structure more visually appealing and will add some diversity to the appearance of buildings in the area. But it accomplishes that subtly, without being loud or looking out of place.

Below is a schematic showing what a 4/12 pitch would look like. The roof looks excessively steep. This is a much more attention catching design. But it accomplishes that in a very overt and aggressive way:



19.911.4 Approval Criteria

1. These proposed variances will not be detrimental to surrounding properties, natural resource areas, or public health, safety, or welfare.
2. The proposed variances will not interfere with planned future improvements to any public transportation facility or utility. During the pre-application hearing city engineers mentioned some future planned public improvements. The closure of both the driveways along 42nd Ave and construction of sidewalks will benefit that future development and will not negatively impact future projects in the right of way.
3. As stated in other parts of this application the purpose of the proposed design is to maintain congruence and to enhance the existing structure.
4. There will not be any negative impacts to surrounding areas from these proposed variances. Any potential impacts will be mitigated to a reasonable extent.
5. These proposed variances will not impact the ability to plant additional trees.

NOT FOR
CONSTRUCTION

MATHEW STOCKSTILL
ARCHITECT LLC
10781 NE RED WING WAY,
UNIT #201
HILLSBORO, OREGON 97006

SE 42ND MECHANIC SHOP
10425 SE 42ND AVENUE,
MILWAUKIE, OR 97222



REVISIONS

2240

DATE:
04.10.23

COVER SHEET

SHEET:

G1.00

PROJECT INFORMATION

ADDRESS: 10425 SE 42ND AVENUE, MILWAUKIE, OR 97222
LOT SIZE: 13632.4 SQ FT
PARCEL ID: 11E250014700
ZONING: NPU
PROJECT: AN AUTOMOTIVE MECHANIC SHOP ADDITION IS
DESCRIPTION: BEING CONSTRUCTED ONTO AN EXISTING
AUTOMOTIVE MECHANIC SHOP. THE EXISTING
BUILDING WILL UNDERGO AN INTERIOR
RENOVATION. THE ADDITION WILL INCLUDE 4
SERVICE BAYS, A STORAGE ROOM, BREAKROOM
AND BATHROOM. AN EXISTING FREE STANDING
CANOPY WILL BE REMOVED.
EXISTING SQ FT: 1305 SQ FT
PROPOSED SQ FT: 3346 SQ FT
TOTAL SQ FT: 4651 SQ FT

SHEET LIST

G1.00 COVER SHEET
CS1.00 CODE SUMMARY
A1.00 SITE PLAN & ZONING INFORMATION
A1.01 BIKE RACK DETAILS
A2.00 (E) BUILDING INFORMATION
A2.10 PROPOSED FLOOR PLAN
A2.20 PROPOSED ROOF PLAN
A3.00 EXTERIOR ELEVATIONS
A3.01 EXTERIOR ELEVATIONS
A4.00 BUILDING SECTIONS

ABBREVIATIONS

(E) EXISTING
@ AT
BO BOARD
COND CONDITIONED
FT FEET
GYP GYPSUM
MFR MANUFACTURER
PLY PLYWOOD
SHTHG SHEATHING
SQ SQUARE
TYP TYPICAL
UN UNLESS OTHERWISE NOTED

NOT FOR
CONSTRUCTION

MATHEW STOCKSTILL
ARCHITECT LLC
10781 NE RED WING WAY,
UNIT #201
HILLSBORO, OREGON 97006

SE 42ND MECHANIC SHOP
10425 SE 42ND AVENUE,
MILWAUKIE, OR 97222

REVISIONS

2240

DATE:
04.10.23

CODE SUMMARY

SHEET:

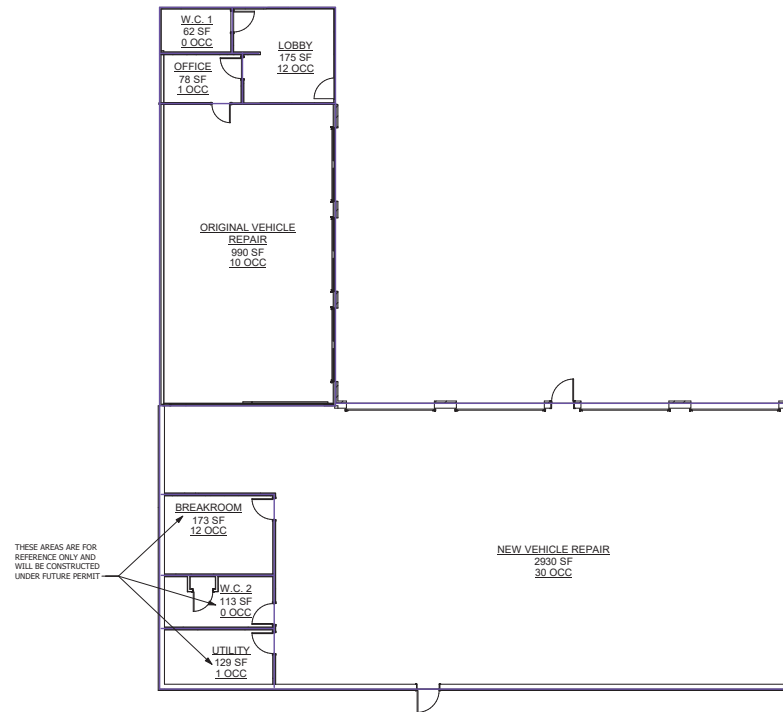
CS1.00

ALLOWABLE BUILDING INFORMATION

CODE PROVISION	APPLICABLE SECTION PER OSSC	
CONSTRUCTION TYPE	602.3	I OR II
FIRE PROTECTION	903	EXISTING SPACE IS NOT EQUIPPED WITH SPRINKLER SYSTEM NOR IS A SPRINKLER SYSTEM BEING ADDED OR REQUIRED PER OSSC 903.2. THE TOTAL PROPOSED PROJECT DOES NOT MEET ANY CRITERIA FOR A REQUIRED SPRINKLER PER 903.2.9.1
		ALLOWABLE
		PROVIDED / EXISTING
BUILDING HEIGHT (FT)	504.3	S-1, STORAGE-1
		55
		22
BUILDING STORIES	504.4	2
		1
BUILDING AREA (SQ FT)	506.2	17,500
		4,651
EXISTING BUILDING AREA IS LESS THAN MOST RESTRICTIVE ALLOWABLE AREA, ALLOWING NONSEPARATED, MIXED-USE PER 508.3.		
NOTE: THE HEIGHT, NUMBER OF STORIES OR TOTAL AREA OF THE ALTERED PORTION OF THE BUILDING IS NOT BEING CHANGED.		

OCCUPANT LOAD SCHEDULE PER 1004.5 (PROPOSED)

OCCUPANCY CLASSIFICATION	AREA NAME	AREA	FUNCTION OF SPACE	OLF	OCC LOAD
BUSINESS					
BUSINESS	BREAKROOM	173 SF	ASSEMBLY - UNCONCENTRATED	15	12
BUSINESS	LOBBY	175 SF	ASSEMBLY - UNCONCENTRATED	15	12
BUSINESS	OFFICE	78 SF	BUSINESS AREAS	150	1
		426 SF			25
STORAGE-1					
STORAGE-1	NEW VEHICLE REPAIR	2930 SF	INDUSTRIAL AREAS	100	30
STORAGE-1	ORIGINAL VEHICLE REPAIR	990 SF	INDUSTRIAL AREAS	100	10
STORAGE-1	UTILITY	129 SF	ACCESSORY STOR. AND MECH. ROOMS	300	1
STORAGE-1	W.C. 1	62 SF	HALLWAYS, AISLES AND RESTROOMS	0	
STORAGE-1	W.C. 2	113 SF	HALLWAYS, AISLES AND RESTROOMS	0	
		4225 SF			41
TOTALS		4651 SF			66



1 MAIN LEVEL AREA PLAN
1/8" = 1'-0"



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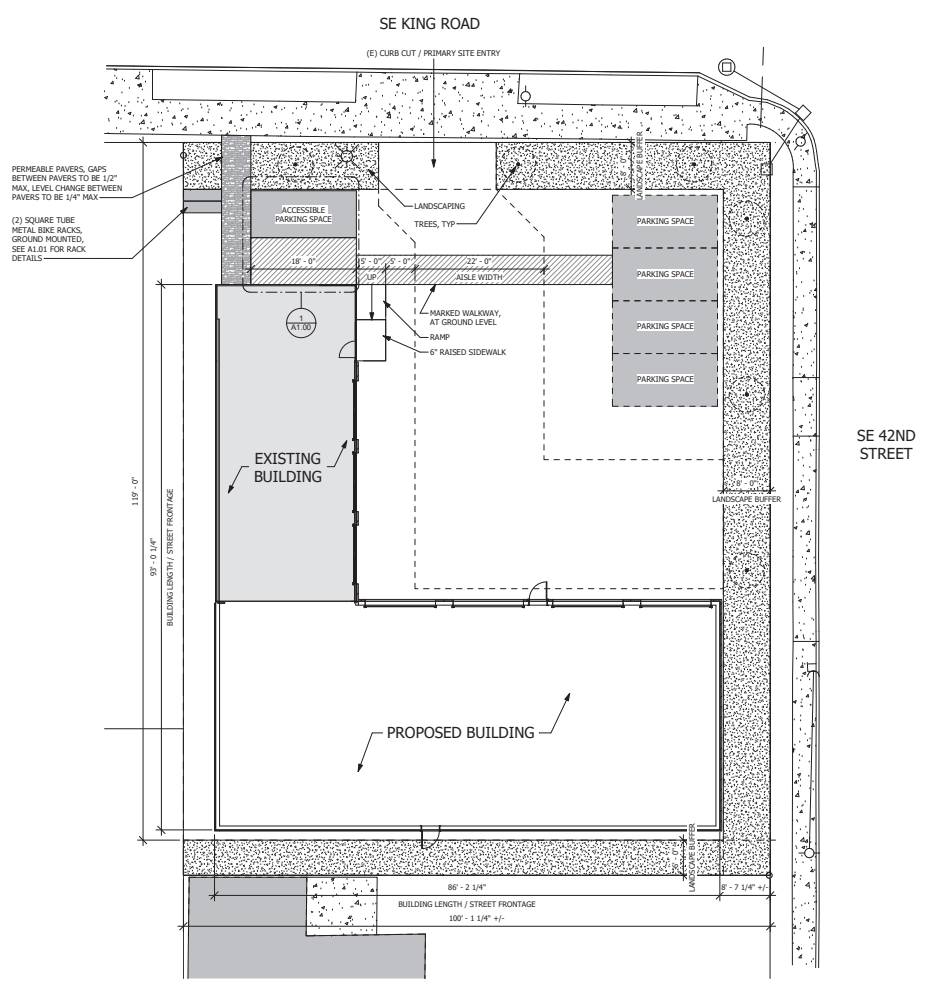
SITE PLAN & ZONING INFORMATION

SHEET:

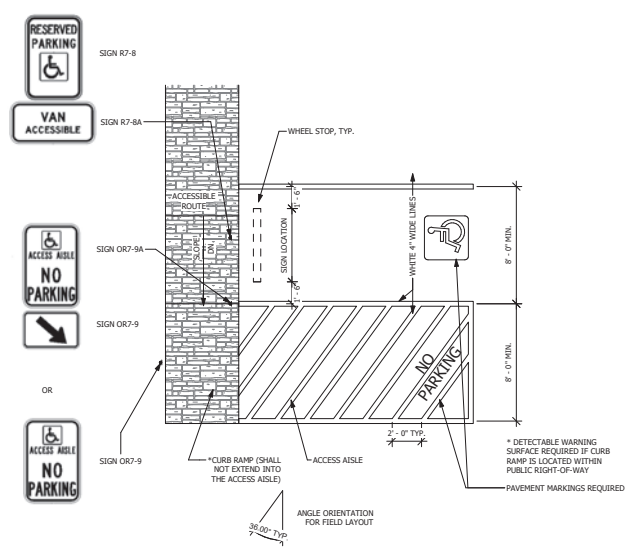
A1.00

ZONING INFORMATION

ZONE = NEIGHBORHOOD MIXED USE			
CODE PROVISION	ALLOWED/REQUIRED	PROPOSED	LOCATION IN PLANS
19.303.2 USES	VEHICLE REPAIR AND SERVICE	VEHICLE REPAIR AND SERVICE	N/A
19.303.3.A.1 MINIMUM LOT SIZE (SQ FT)	1500 SQ FT	12632.4 SQ FT	1/A1.00
19.303.3.A.2 STREET FRONTAGE (FT)	25 FT	93' - 1/4" ALONG EAST FACADES AND 80'-2 1/4" +/- ALONG NORTH FACADES	1/A1.00
19.303.3.B.1 FAR (FT)	5 : 1 (12632.4 x .5 = 6316.2 SQ FT) MAX	-.37 : 1 (4651 SQ FT OF BUILDING / 12632.4 SITE SQ FT)	OCCUPANT LOAD SCHEDULE / CS1.00
19.303.3.B.2 BUILDING HEIGHT (FT)	45 FT	22' FT +/-	A3.00 & A3.01
19.303.3.B.3a MIN STREET SETBACK (FT)	N/A	-	-
19.303.3.B.3b MAX STREET SETBACK (FT)	10 FT	8' - 7" ALONG EAST PROPERTY LINE	1/A1.00
19.303.3.B.3c SIDE AND REAR SETBACKS (FT)	NONE	-	-
19.303.3.B.5 MAX LOT COVERAGE	85% (12632.4 x .85 = 10737.5 SQ FT)	37% (4651 SQ FT OF BUILDING / 12632.4 SITE SQ FT)	1/A1.00
19.303.3.B.6 MIN VEGETATION	15% (12632.4 x .15 = 1894.9 SQ FT)	16.8% (2139.50 FT OF LANDSCAPE / 12632.4 SQ FT)	1/A1.00
19.605.1 (F)(2) OFF STREET PARKING FOR VEHICLE REPAIR		5	1/A1.00



3 PROPOSED SITE PLAN
1" = 10'-0"



1 ACCESSIBLE PARKING STALL
1/4" = 1'-0"

Square Tube U RACK
Installation Instructions – In Ground Mount

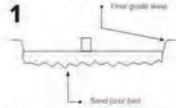
TOOLS NEEDED

- | | |
|-------------------|------------------------------------|
| Level | Power spring machine with 1/8" bit |
| Communicating tub | 60" end to either hole |
| Shovel | Minimum to 18" for 18" x 18" hole |
| Shovel | Tip at bottom of page |

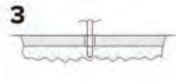
INSTALLING INTO EXISTING SIDEWALK

Check holes 18" x 18" for 18" x 18" (recommended) and 12" x 12" (not recommended). If 12" x 12" holes are used, a 4" x 4" x 1/2" steel plate (not included) should be used for support. If the hole is 12" x 12" (not recommended) it will not support the rack safely. Make sure the hole is level and both in each case the grade is flat.

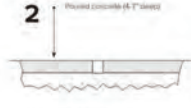
INSTALLING INTO A NEW SIDEWALK



Place concrete rebar (minimum 3/8" dia) in holes to support steel post feet. Make sure top of concrete is at least 2" above top of steel post feet. Place concrete over holes and compact.



After appropriate cure time, dig out sand from between and under each, leaving 1/2" gap and replace with the appropriate height. Place in final level (verify grade and slope if any).



INSTALL TIP
If using any to support the rack, use a steel plate to support the rack. Place in final level and compact them onto the top. See diagram for details.

Square Tube U RACK
Installation Instructions – Surface Mount

TOOLS NEEDED

- Level
- Shovel
- Shovel
- Shovel

RECOMMENDED BASE MATERIAL

Steel concrete is the best base material for installation. To ensure the proper strength and performance with your rack, use a 4" x 4" x 1/2" steel plate (not included) which should be supported for your application. The same thing is recommended for concrete that is not reinforced by rebar.



Place the rack in the concrete slab. Leave a 1/2" gap between the rack and the concrete slab. Place concrete over the rack and compact.



After appropriate cure time, dig out sand from between and under each, leaving 1/2" gap and replace with the appropriate height. Place in final level (verify grade and slope if any).

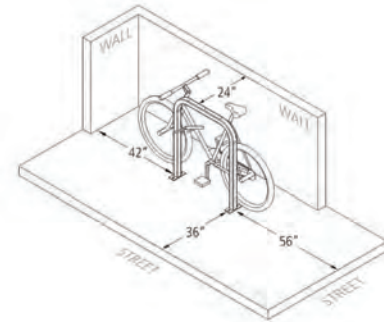


Place the rack in the concrete slab. Leave a 1/2" gap between the rack and the concrete slab. Place concrete over the rack and compact.

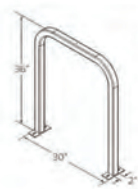


After appropriate cure time, dig out sand from between and under each, leaving 1/2" gap and replace with the appropriate height. Place in final level (verify grade and slope if any).

Square Tube U RACK
Setbacks



Square Tube U RACK
Submittal Sheet



- CAPACITY** 2 bikes
- MATERIALS**
- Standard 2" x 2" x 1/2" square tube - wall steel
 - Lightweight 2" x 2" x 1/4" square tube - stainless steel
- FINISHES**
- Galvanized An after fabrication hot dipped galvanized steel is available upon request.
 - Painted 1. Epoxy primer, powder coated epoxy applied. 2. Prereduced PPG powder coated paint.
 - Thermoplastic In addition to the increased durability of thermoplastic, it is a non-abrasive finish which is guaranteed for 10 years. Superior impact resistance over powder coating.
 - PVC Dip (optional) Other colors available for painted with this finish (subject to availability).
 - Stainless Stainless Steel 304 grade stainless steel without brushed or silver or high polished finish for a better finish.
- MOUNT OPTIONS**
- In-ground In ground mount is recommended for concrete base. Specify in ground mount for this option.
 - Surface For Mount Any Size 2 1/2" x 2 1/2" x 1/2" steel plate (not included) per foot. Specify for mount for this option.
 - Wall Wall Mounted Square Tube U Rack can be fitted to the wall. See also our wall mount rack (not included) at the ground. Be sure to use the 1/2" x 1/2" x 1/2" steel plate. (Optional) mounting plate. Specify for mount for this option.

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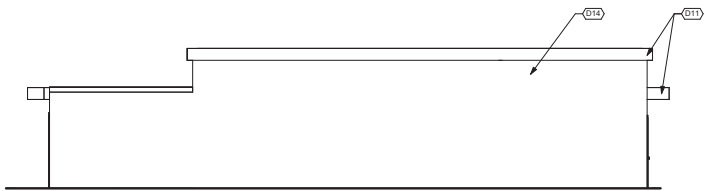
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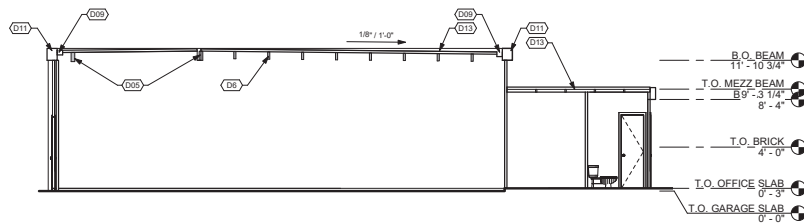
BIKE RACK DETAILS

SHEET:

A1.01



6 (E) WEST ELEVATION
3/16" = 1'-0"



7 (E) BUILDING SECTION A
3/16" = 1'-0"

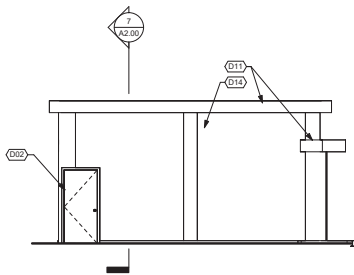
(E)/DEMO PLAN KEYNOTES

- D01 (E) CONCRETE SLAB ON GRADE
- D02 (E) DOOR TO BE DEMOLISHED AND DISPOSED OF
- D03 (E) WALL TO DEMOLISHED AND DISPOSED OF
- D04 (E) PLUMBING FIXTURES TO BE DEMOLISHED AND DISPOSED OF, TOP OF ALL PUMBING FIXTURES
- D05 (E) 10x4x.25' STL I-BEAM
- D06 (E) 8x2.5x.125' STL I-BEAMS @ 37-39" OC
- D07 (E) STL 2-1/2" X 2-1/2" COLUMN
- D08 (E) CONCRETE CURB TO BE MODIFIED FOR ACCESSIBILITY
- D09 (E) RECESSED ROOF DRAIN
- D10 (E) BRICK VENER, TYPICAL
- D11 (E) METAL AWNING OR ROOF CAP
- D12 (E) METAL STOREFRONT
- D13 (E) 24" WIDE STRUCTURAL METAL PANEL ROOF DECKING W/ 2-1/2 2-GIRTS
- D14 (E) EXPOSED 24" WIDE METAL WALL PANEL W/ 2-1/2" 2-GIRTS

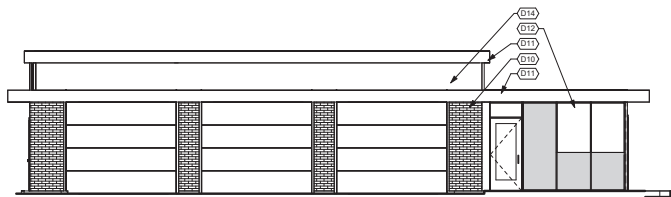
WALL LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- NEW WALL
- OUTLINE OF HEADER ABOVE (E) OR NEW WALL

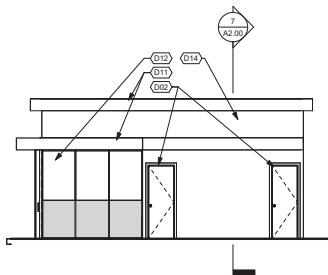
NOTE: CONTRACTOR OR OWNER TO VERIFY (E) WALL CONDITIONS BEFORE DEMOLITION, NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DRAWINGS



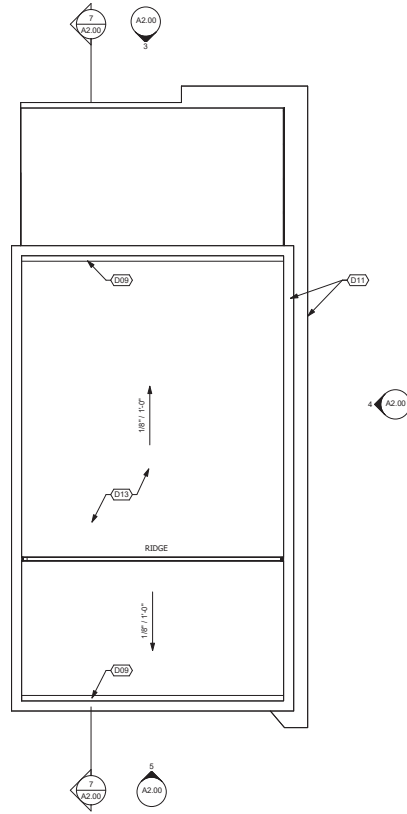
5 (E) SOUTH ELEVATION
3/16" = 1'-0"



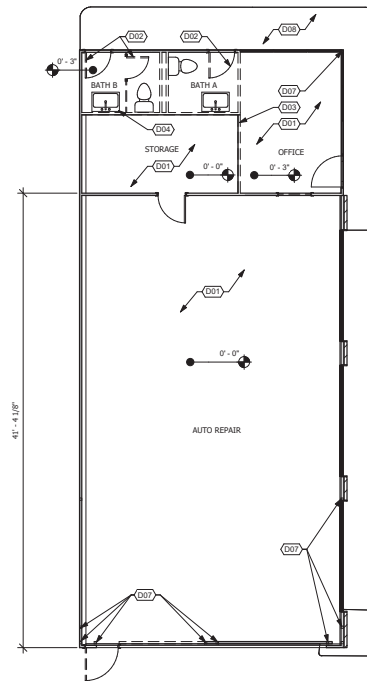
4 (E) EAST ELEVATION
3/16" = 1'-0"



3 (E) NORTH ELEVATION
3/16" = 1'-0"



2 (E) ROOF PLAN
3/16" = 1'-0"



1 (E) FLOOR PLAN
3/16" = 1'-0"

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(E) BUILDING INFORMATION

SHEET:

A2.00

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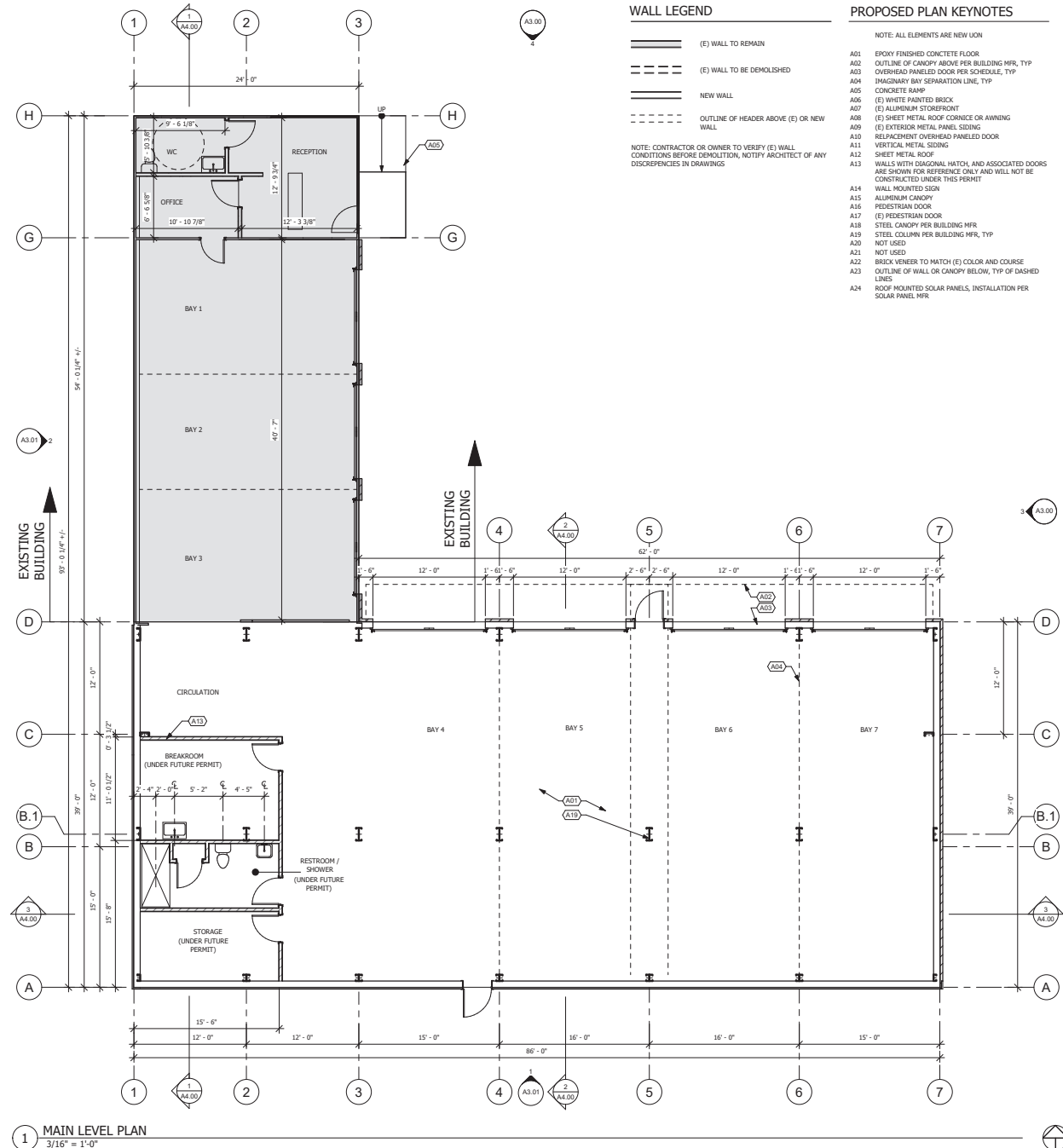
2240

DATE: 04.10.23

PROPOSED FLOOR PLAN

SHEET:

A2.10



WALL LEGEND

- ==== (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- NEW WALL
- - - - - OUTLINE OF HEADER ABOVE (E) OR NEW WALL

NOTE: CONTRACTOR OR OWNER TO VERIFY (E) WALL CONDITIONS BEFORE DEMOLITION, NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DRAWINGS

PROPOSED PLAN KEYNOTES

- NOTE: ALL ELEMENTS ARE NEW UNLESS NOTED OTHERWISE
- A01 EPOXY FINISHED CONCRETE FLOOR
 - A02 OUTLINE OF CANOPY ABOVE PER BUILDING MFR, TYP
 - A03 OVERHEAD paneled door per schedule, TYP
 - A04 IMAGINARY BAY SEPARATION LINE, TYP
 - A05 CONCRETE RAMP
 - A06 (E) WHITE PAINTED BRICK
 - A07 (E) ALUMINUM STOREFRONT
 - A08 (E) SHEET METAL ROOF CORNICE OR AWNING
 - A09 (E) EXTERIOR METAL PANEL SIDING
 - A10 REPLACEMENT OVERHEAD paneled door
 - A11 VERTICAL METAL SIDING
 - A12 SHEET METAL ROOF
 - A13 WALLS WITH DIAGONAL MATCH AND ASSOCIATED DOORS ARE SHOWN FOR REFERENCE ONLY AND WILL NOT BE CONSTRUCTED UNDER THIS PERMIT
 - A14 WALL MOUNTED SIGN
 - A15 ALUMINUM CANOPY
 - A16 PEDESTRIAN DOOR
 - A17 (E) PEDESTRIAN DOOR
 - A18 STEEL CANOPY PER BUILDING MFR
 - A19 STEEL COLUMN PER BUILDING MFR, TYP
 - A20 NOT USED
 - A21 NOT USED
 - A22 BRICK VENEER TO MATCH (E) COLOR AND COURSE
 - A23 OUTLINE OF WALL OR CANOPY BELOW, TYP OF DASHED LINES
 - A24 ROOF MOUNTED SOLAR PANELS, INSTALLATION PER SOLAR PANEL MFR

1 MAIN LEVEL PLAN
3/16" = 1'-0"

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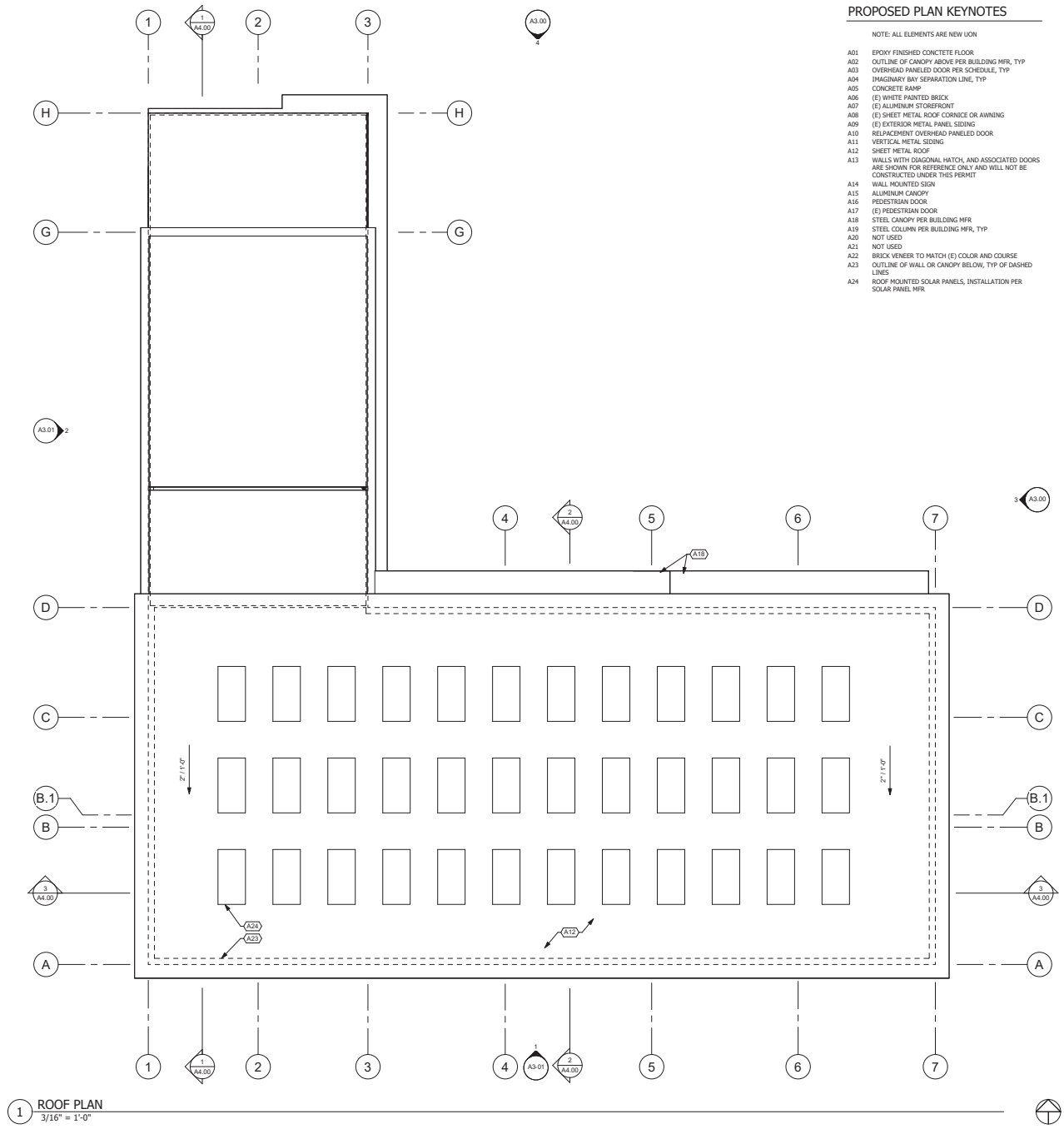
PROPOSED ROOF PLAN

SHEET:

A2.20

PROPOSED PLAN KEYNOTES

- NOTE: ALL ELEMENTS ARE NEW UNO
- A01 EPOXY FINISHED CONCRETE FLOOR
 - A02 OUTLINE OF CANOPY ABOVE PER BUILDING MFR, TYP
 - A03 OVERHEAD paneled door per schedule, TYP
 - A04 IMAGINARY BAY SEPARATION LINE, TYP
 - A05 CONCRETE RAMP
 - A06 (E) WHITE PAINTED BRICK
 - A07 (E) ALUMINUM STOREFRONT
 - A08 (E) SHEET METAL ROOF CORNICE OR AWNING
 - A09 (E) EXTERIOR METAL PANEL SIDING
 - A10 REPLACEMENT OVERHEAD paneled door
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 - A15 ALUMINUM CANOPY
 - A16 PEDESTRIAN DOOR
 - A17 (E) PEDESTRIAN DOOR
 - A18 STEEL CANOPY PER BUILDING MFR
 - A19 STEEL COLUMN PER BUILDING MFR, TYP
 - A20 NOT USED
 - A21 NOT USED
 - A22 BRICK VENEER TO MATCH (E) COLOR AND COURSE
 - A23 OUTLINE OF WALL OR CANOPY BELOW, TYP OF DASHED LINES
 - A24 ROOF MOUNTED SOLAR PANELS, INSTALLATION PER SOLAR PANEL MFR



1 ROOF PLAN
3/16" = 1'-0"

EXISTING MATERIAL CALCULATIONS

- TOTAL WALL AREA = 652 SQ FT
- PRIMARY MATERIALS (29%)
 - BRICK = 88 SQ FT (13%)
 - GLASS = 107 SQ FT (16%)
- SECONDARY MATERIALS (32%)
 - FINISHED METAL PANELS = 207 SQ FT (32%)
- OTHER DOORS AND DECORATIVE ELEMENTS = 250 SQ FT (39%)

PROPOSED MATERIAL CALCULATIONS

- TOTAL WALL AREA = 676 SQ FT
- PRIMARY MATERIALS (46%)
 - BRICK = 312 SQ FT (46%)
- SECONDARY MATERIALS (54%)
 - FINISHED METAL PANELS = 363 SQ FT (54%)

TOTAL MATERIAL CALCULATIONS

- TOTAL WALL AREA = 1328 SQ FT
- PRIMARY MATERIALS (38%)
 - BRICK = 400 SQ FT (30%)
 - GLASS = 107 SQ FT (8%)
- SECONDARY MATERIALS (43%)
 - FINISHED METAL PANELS = 570 SQ FT (43%)
- OTHER DOORS AND DECORATIVE ELEMENTS = 250 SQ FT (19%)

EXISTING MATERIAL CALCULATIONS

- TOTAL WALL AREA = 308 SQ FT
- PRIMARY MATERIALS (25%)
 - GLASS = 76 SQ FT (25%)
- SECONDARY MATERIALS (75%)
 - FINISHED METAL PANELS = 232 SQ FT (75%)

PROPOSED MATERIAL CALCULATIONS

- TOTAL WALL AREA = 1458 SQ FT
- PRIMARY MATERIALS (9%)
 - BRICK = 127 SQ FT (9%)
- SECONDARY MATERIALS (57%)
 - FINISHED METAL PANELS = 829 SQ FT (57%)
- OTHER DOORS AND DECORATIVE ELEMENTS = 503 SQ FT (34%)

TOTAL MATERIAL CALCULATIONS




- TOTAL WALL AREA = 1766 SQ FT
- PRIMARY MATERIALS (11%)
 - BRICK = 127 SQ FT (7%)
 - GLASS = 76 SQ FT (4%)
- SECONDARY MATERIALS (60%)
 - FINISHED METAL PANELS = 1061 SQ FT (60%)
- OTHER DOORS AND DECORATIVE ELEMENTS = 480 SQ FT (29%)

PROPOSED PLAN KEYNOTES

NOTE: ALL ELEMENTS ARE NEW UNO

- A01 EPOXY FINISHED CONCRETE FLOOR
- A02 OUTLINE OF CANOPY ABOVE PER BUILDING MFR, TYP
- A03 OVERHEAD paneled door per schedule, TYP
- A04 IMAGINARY BAY SEPARATION LINE, TYP
- A05 CONCRETE RAMP
- A06 (E) WHITE PAINTED BRICK
- A07 (E) ALUMINUM SIDING
- A08 (E) SHEET METAL ROOF CORNICE OR AWNING
- A09 (E) EXTERIOR METAL PANEL SIDING
- A10 REPLACEMENT OVERHEAD paneled door
- A11 VERTICAL METAL SIDING
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- A17 (E) PEDESTRIAN DOOR
- A18 STEEL CANOPY PER BUILDING MFR
- A19 STEEL COLUMN PER BUILDING MFR, TYP
- A20 NOT USED
- A21 NOT USED
- A22 BRICK VENEER TO MATCH (E) COLOR AND COURSE
- A23 OUTLINE OF WALL OR CANOPY BELOW, TYP OF DASHED LINES
- A24 ROOF MOUNTED SOLAR PANELS, INSTALLATION PER SOLAR PANEL MFR

WALL LEGEND

-  (E) AND NEW BRICK VENEER PAINTED WHITE - PAINT NEW VENEER TO MATCH (E)
 -  NEW 3" WIDE FINISHED METAL PANELS - PAINTED SHERWIN WILLIAMS SW 7619
 -  EXISTING METAL PANELS - PAINTED WHITE
- SEE A1.00 FOR MATERIAL AREA CALCULATIONS

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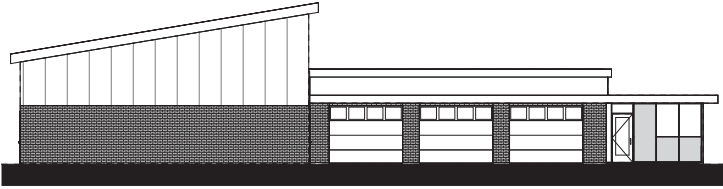
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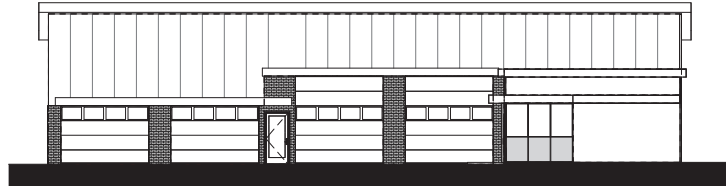
EXTERIOR ELEVATIONS

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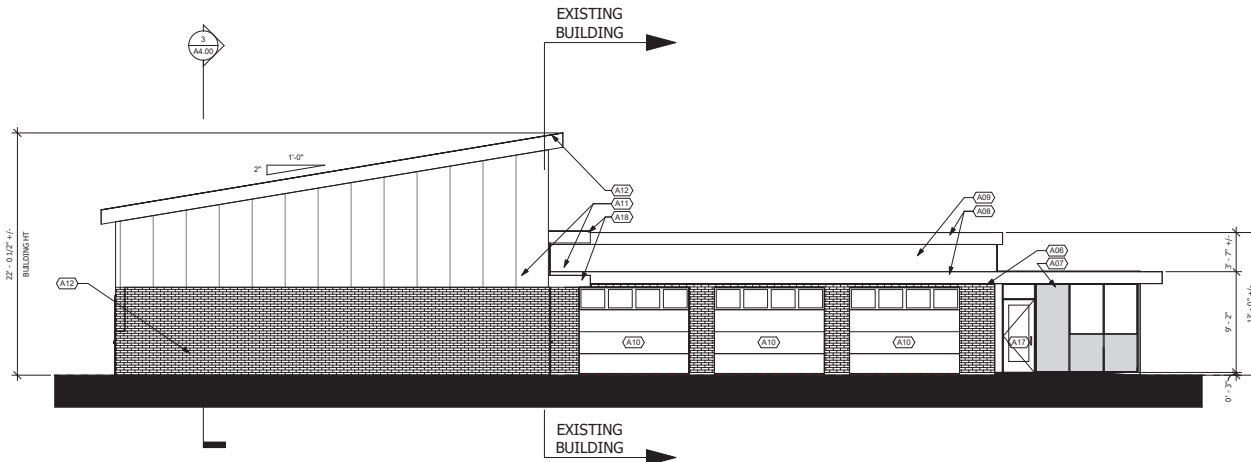
A3.00



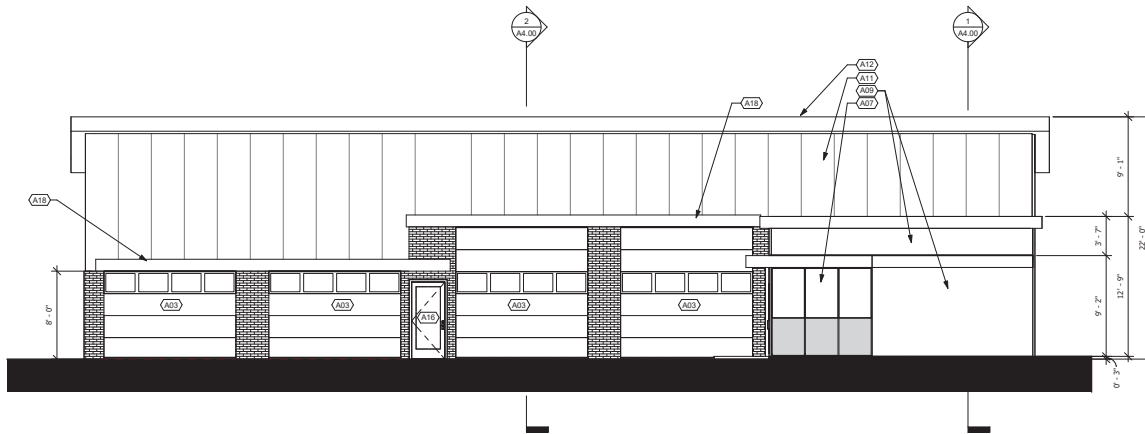
3 EAST ELEVATION - MATERIAL STUDY
1/8" = 1'-0"



4 NORTH ELEVATION - MATERIAL STUDY
1/8" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

NOT FOR CONSTRUCTION




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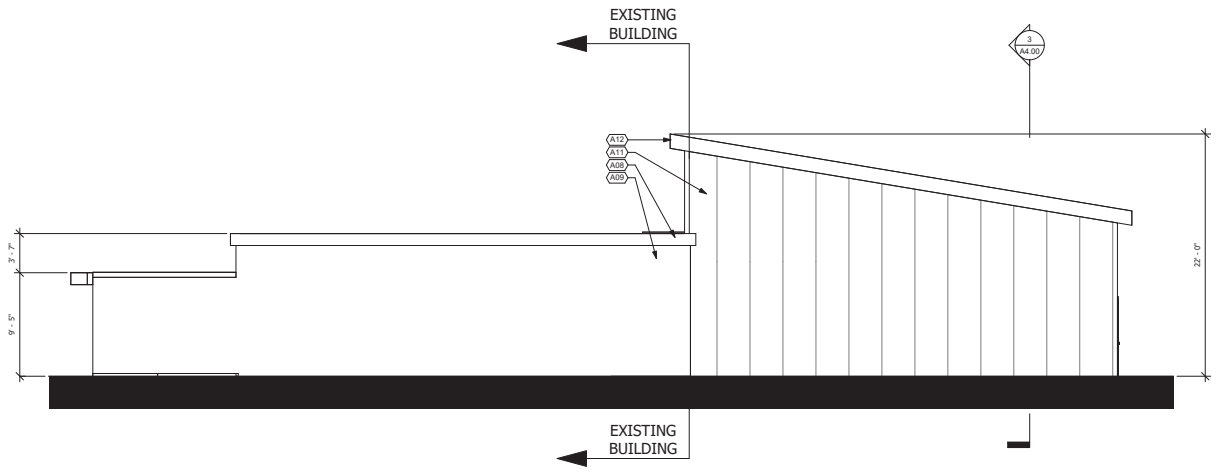
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PROPOSED PLAN KEYNOTES

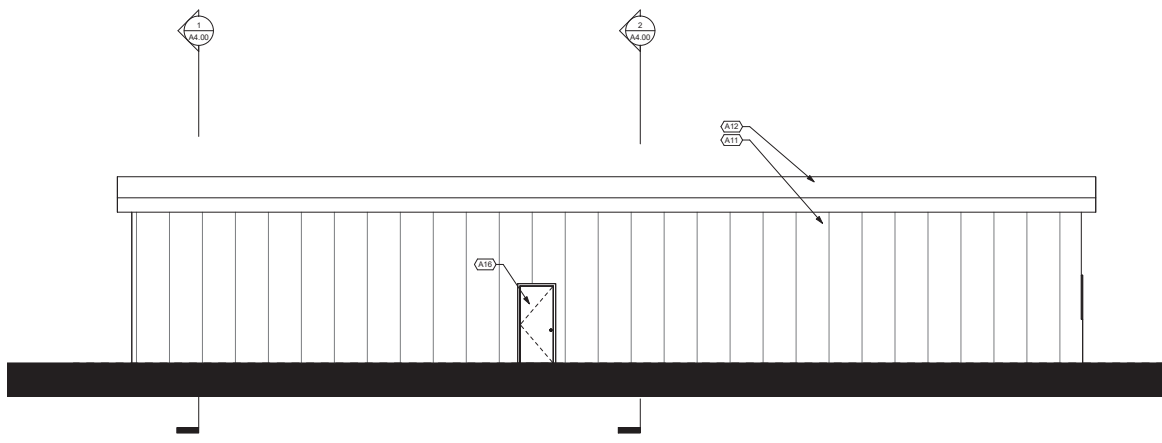
- NOTE: ALL ELEMENTS ARE NEW UNO
- A01 EPOXY FINISHED CONCRETE FLOOR
 - A02 OUTLINE OF CANOPY ABOVE PER BUILDING MFR, TYP
 - A03 OVERHEAD paneled door per schedule, TYP
 - A04 IMAGINARY BAY SEPARATION LINE, TYP
 - A05 CONCRETE RAMP
 - A06 (E) WHITE PAINTED BRICK
 - A07 (E) ALUMINUM SIDING
 - A08 (E) SHEET METAL ROOF CORNICE OR AWNING
 - A09 (E) EXTERIOR METAL PANEL SIDING
 - A10 REPLACEMENT OVERHEAD paneled door
 - A11 VERTICAL METAL SIDING
 - A12 SHEET METAL ROOF
 - A13 WALLS WITH DIAGONAL MATCH AND ASSOCIATED DOORS ARE SHOWN FOR REFERENCE ONLY AND WILL NOT BE CONSTRUCTED UNDER THIS PERMIT
 - A14 WALL MOUNTED SIGN
 - A15 ALUMINUM CANOPY
 - A16 PEDESTRIAN DOOR
 - A17 (E) PEDESTRIAN DOOR
 - A18 STEEL CANOPY PER BUILDING MFR
 - A19 STEEL COLUMN PER BUILDING MFR, TYP
 - A20 NOT USED
 - A21 NOT USED
 - A22 BRICK VENEER TO MATCH (E) COLOR AND COURSE
 - A23 OUTLINE OF WALL OR CANOPY BELOW, TYP OF DASHED LINES
 - A24 ROOF MOUNTED SOLAR PANELS, INSTALLATION PER SOLAR PANEL MFR

WALL LEGEND


-  (E) AND NEW BRICK VENEER PAINTED WHITE - PAINT NEW VENEER TO MATCH (E)
 -  NEW 3" WIDE FINISHED METAL PANELS - PAINTED SHERWIN WILLIAMS SW 7619
 -  EXISTING METAL PANELS - PAINTED WHITE
- SEE A1.00 FOR MATERIAL AREA CALCULATIONS



2 WEST ELEVATION
 3/16" = 1'-0"



1 SOUTH ELEVATION
 3/16" = 1'-0"

REVISIONS 

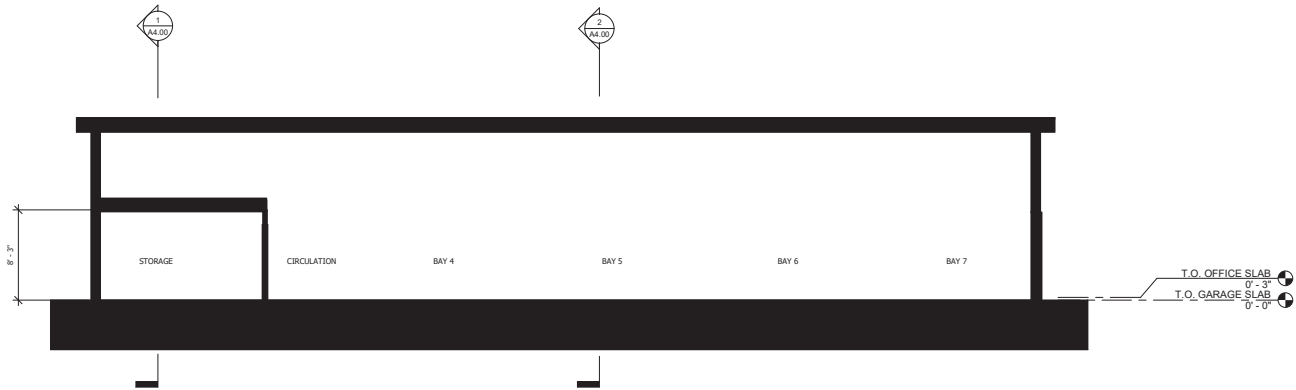
2240

DATE:
 04.10.23

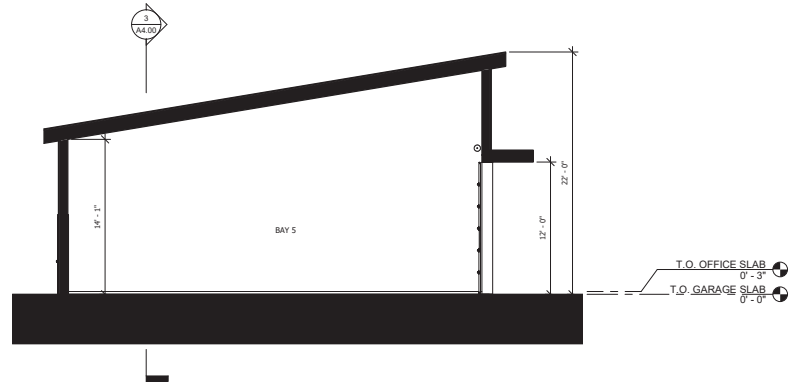
EXTERIOR ELEVATIONS

SHEET:

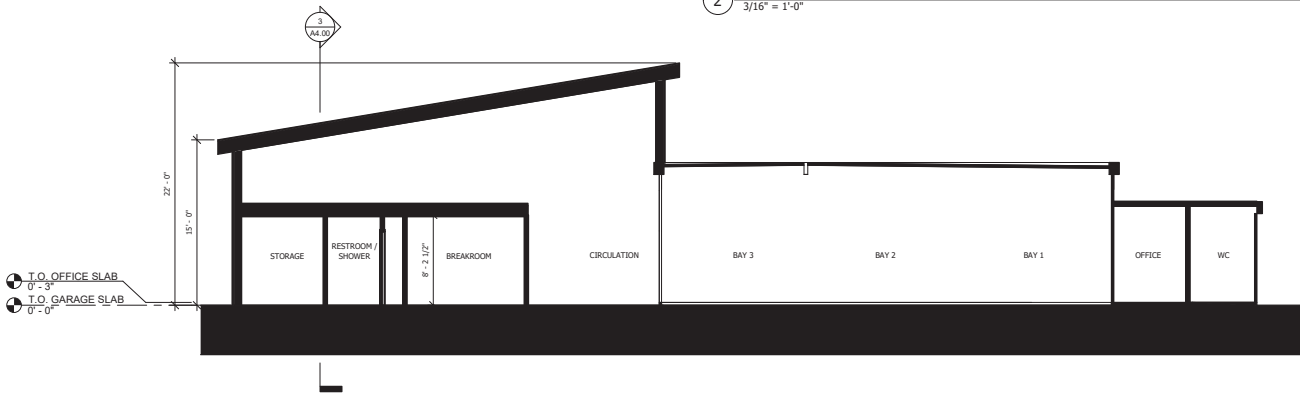
A3.01



3 BUILDING SECTION C
3/16" = 1'-0"



2 BUILDING SECTION B
3/16" = 1'-0"



1 BUILDING SECTION A
3/16" = 1'-0"

PROPOSED PLAN KEYNOTES

- NOTE: ALL ELEMENTS ARE NEW UNLESS INDICATED OTHERWISE
- A01 EPOXY FINISHED CONCRETE FLOOR
 - A02 OUTLINE OF CANOPY ABOVE PER BUILDING MFR, TYP
 - A03 OVERHEAD paneled door per schedule, TYP
 - A04 IMAGINARY BAY SEPARATION LINE, TYP
 - A05 CONCRETE RAMP
 - A06 (E) WHITE PAINTED BRICK
 - A07 (E) ALUMINUM SIDING
 - A08 (E) SHEET METAL ROOF CORNICE OR AWNING
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 - A21 NOT USED
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 - A23 OUTLINE OF WALL OR CANOPY BELOW, TYP OF DASHED LINES
 - A24 ROOF MOUNTED SOLAR PANELS, INSTALLATION PER SOLAR PANEL MFR

NOT FOR CONSTRUCTION

MATHEW STOCKSTILL
ARCHITECT LLC
10781 NE RED WING WAY,
UNIT #201
HILLSBORO, OREGON 97006

SE 42ND MECHANIC SHOP
10425 SE 42ND AVENUE,
MILWAUKIE, OR 97222

REVISIONS 1

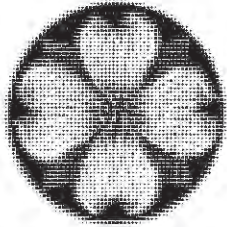
2240

DATE:
04.10.23

BUILDING SECTIONS

SHEET:

A4.00



MILWAUKIE PLANNING
6101 SE Johnson Creek Blvd
Milwaukie OR 97206
503-786-7630
planning@milwaukieoregon.gov

Submittal Requirements

**For all Land Use Applications
(except Annexations and Development Review)**

All land use applications must be accompanied by a signed copy of this form (see reverse for signature block) and the information listed below. The information submitted must be sufficiently detailed and specific to the proposal to allow for adequate review. Failure to submit this information may result in the application being deemed incomplete per the Milwaukie Municipal Code (MMC) and Oregon Revised Statutes.

Contact Milwaukie Planning staff at 503-786-7630 or planning@milwaukieoregon.gov for assistance with Milwaukie's land use application requirements.

1. **All required land use application forms and fees**, including any deposits.

Applications without the required application forms and fees will not be accepted.

2. **Proof of ownership or eligibility to initiate application** per MMC Subsection 19.1001.6.A.

Where written authorization is required, applications without written authorization will not be accepted.

3. **Detailed and comprehensive description** of all existing and proposed uses and structures, including a summary of all information contained in any site plans.

Depending upon the development being proposed, the description may need to include both a written and graphic component such as elevation drawings, 3-D models, photo simulations, etc. Where subjective aspects of the height and mass of the proposed development will be evaluated at a public hearing, temporary onsite "story pole" installations, and photographic representations thereof, may be required at the time of application submittal or prior to the public hearing.

4. **Detailed statement** that demonstrates how the proposal meets the following:

A. All applicable development standards (listed below):

1. **Base zone standards** in Chapter 19.300.
2. **Overlay zone standards** in Chapter 19.400.
3. **Supplementary development regulations** in Chapter 19.500.
4. **Off-street parking and loading standards and requirements** in Chapter 19.600.
5. **Public facility standards and requirements**, including any required street improvements, in Chapter 19.700.

B. All applicable application-specific approval criteria (check with staff).

C. Compliance with the Tree Code (MMC 16.32): www.milwaukieoregon.gov/trees
These standards can be found in the MMC, here: www.qcode.us/codes/milwaukie/

5. **Site plan(s), preliminary plat, or final plat** as appropriate.

See Site Plan, Preliminary Plat, and Final Plat Requirements for guidance.

6. **Copy of valid preapplication conference report**, when a conference was required.

G:\Planning\Internal\Administrative - General Info\Applications & Handouts\Submittal Rqmts_Form_revised.docx—Rev. 6/22

APPLICATION PREPARATION REQUIREMENTS:

- Electronic copies of all application materials are required at the time of submittal.

ADDITIONAL INFORMATION:

- Neighborhood District Associations (NDAs) and their associated Land Use Committees (LUCs) are important parts of Milwaukie's land use process. The City will provide a review copy of your application to the LUC for the subject property. They may contact you or you may wish to contact them. Applicants are strongly encouraged to present their proposal to all applicable NDAs prior to the submittal of a land use application and, where presented, to submit minutes from all such meetings. NDA information: www.milwaukieoregon.gov/citymanager/what-neighborhood-district-association.
- By submitting the application, the applicant agrees that City of Milwaukie employees, and appointed or elected City Officials, have authority to enter the project site for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

As the authorized applicant I, (print name) Wesley Somers, attest that all required application materials have been submitted in accordance with City of Milwaukie requirements. I understand that any omission of required items or lack of sufficient detail may constitute grounds for a determination that the application is incomplete per MMC Subsection 19.1003.3 and Oregon Revised Statutes 227.178. I understand that review of the application may be delayed if it is deemed incomplete.

Furthermore, I understand that, if the application triggers the City's sign-posting requirements, I will be required to post signs on the site for a specified period of time. I also understand that I will be required to provide the City with an affidavit of posting prior to issuance of any decision on this application.

Applicant Signature: _____

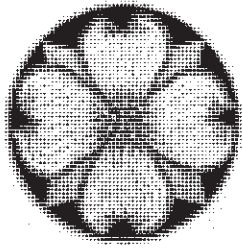
Date: 3-14-2023

Official Use Only

Date Received (date stamp below):

<p>Materials submitted 3/24/2023</p> <p>Payment received 3/29/2023</p>
--

Received by: Brett Kelter, Senior Planner



PLANNING DEPARTMENT
 6101 SE Johnson Creek Blvd
 Milwaukie OR 97206
 503.786.7630
 planning@milwaukieoregon.gov

Development Review Application Worksheet

This worksheet is intended to assist you in determining if a development review application is needed. If a Type I development review is required, this form can be used to complete the application. Not all information requested on this form may be needed for your project. Please discuss your project with Planning Department staff prior to completing this form.

Step 1: Review Type

Exempt from Development Review	Type I Development Review Excludes single-family structures/ accessory structures	Type II Development Review
<input type="checkbox"/> Single-unit detached dwelling or attached structures (new or addition), ADUs, middle housing. <input type="checkbox"/> Residential accessory structures. <input type="checkbox"/> Modifications to interior of existing buildings with no change of use.	<input type="checkbox"/> New development. <input checked="" type="checkbox"/> Expansions or modifications to structures. <input checked="" type="checkbox"/> Change in primary use (with or without development or expansion). <input type="checkbox"/> Parking area expansion/ modification of 5 or more spaces.	<input type="checkbox"/> New construction in BI Zone >1,000 sq ft. <input type="checkbox"/> New construction in M Zone >1,000 sq ft AND within 120 ft of residential zone. <input type="checkbox"/> New development reviewed against discretionary criteria/standards. <input type="checkbox"/> Large-scale projects/approval criteria not appropriate for Type I review.
<p><i>Development review not required.</i> <i>Project can proceed to obtaining building permit.</i></p>	<p><i>Development review application required.</i> <i>Application can be made by completing a land use application form, along with this form, and submitting development permits for review.</i></p>	<p><i>Preapplication conference is required prior to submitting a development review permit.</i> <i>Please discuss the preapplication conference with Planning Department staff.</i></p>

Step 2: Information for Type I Development Review Application

Site Address: 10425 SE 42nd Ave Milwaukie OR 97222

Previous Approval Land Use File #(s): NA

Overall project description:

Use of property would switch from used vehicle sales and repair to vehicle repair and service only. An automotive mechanic shop addition is being constructed onto an existing automotive mechanic shop to support the the change in use. An existing free standing canopy will be removed. The existing building will undergo an exterior renovation.

Description of use(s): List characteristics of uses that are or will be present on-site. Relevant information will vary depending on zoning. Commonly required information includes good/services provided, items manufactured or stored, and number of employees. M Zone uses: refer to Milwaukie Municipal Code (MMC) 19.309.1. BI Zone uses: refer to MMC 19.310.2-4.

Property was used primarily as a car dealership that also did a mechanical repair work. This use was grandfathered in from before the zoning changed to NMU.

I intend to eliminate use as an auto dealership, changing the primary use to vehicle service and repairs.

Floor areas: Floor areas are needed for evaluating parking ratios and M Zone use standards per MMC 19.309.1.

Use	Existing Sq Ft	Proposed Sq Ft	Total Sq Ft
Vehicle repair space	990	2930	3920
office/reception	175	0	253
restroom	62	113	175
utility/mezzanine	78	1065	1143

Other information: Provide other information needed for review of the project. Examples: uses that base parking on something other than sq ft, zoning overlays, other existing uses on multi-tenant sites.

As the authorized applicant I, Weston Sarnae (print name), attest that all required application materials have been submitted in accordance with City of Milwaukie requirements. I understand that any omission of required items or lack of sufficient detail may constitute grounds for a determination that the application is incomplete per MMC 19.1003.3 and Oregon Revised Statutes 227.178. I understand that review of the application may be delayed if it is deemed incomplete.

Weston Sarnae / Zete Holdings LLC
Applicant Name/Business

[Signature]
Applicant Signature

3/14/23
Date

THIS SECTION FOR OFFICE USE ONLY:

Date Received (date stamp below):

Received by:

[Large empty area for office use, including date stamp and signature lines]



CITY OF MILWAUKIE
 6101 SE Johnson Creek Blvd
 Milwaukie OR 97206
 503.786.7600
planning@milwaukieoregon.gov
building@milwaukieoregon.gov
engineering@milwaukieoregon.gov

Preapplication Conference Report

Project ID: 22-003PA

This report is provided as a follow-up to the meeting that was held on 5/26/2022 at 10:00 AM

The Milwaukie Municipal Code is available here: www.qcode.us/codes/milwaukie/

APPLICANT AND PROJECT INFORMATION

Applicant:	Weston Sanaee	Applicant Role:	Developer
Applicant Address:	15910 SE Oatfield Rd, Portland, OR 97267		
Company:			
Project Name:	Site improvements to existing auto service/sales		
Project Address:	10425 SE 42 nd Ave	Zone:	NMU
Project Description:	Add 4-6 auto service bays in a new structure; improve existing structures; add low fence/wall along N & E frontages; reduce the scale of vehicle sales		
Current Use:	Auto sales and service		
Applicants Present:	Weston Sanaee (applicant), Michael Parshall (architect)		
Staff Present:	Steve Adams, City Engineer; Jennifer Backhaus, Engineering Technician III; Brett Kelter, Senior Planner		

PLANNING COMMENTS

Zoning Compliance (MMC Title 19)

<input checked="" type="checkbox"/>	Use Standards (e.g., residential, commercial, accessory)	<p>The property is zoned Neighborhood Mixed Use (NMU). Vehicle sales are not permitted in the NMU, so the vehicle sales component of the existing use is understood to be a legal nonconforming use. Vehicle repair and service is a conditional use in the NMU; there is no record of a previous conditional use approval for the existing use, so the vehicle repair and service component of the existing use is understood to be a de facto conditional use.</p> <p>Vehicle repair and service uses are permitted in commercial mixed-use zones like the NMU only when conducted within a completely enclosed building. This restriction is interpreted to mean that vehicles being repaired or serviced on the site must be stored inside a building or else parked in a formal parking space. The same restriction does not apply to vehicles for sale on the site, as the existing nonconforming sales use includes some sale vehicles displayed outside in non-designated parking spaces.</p>
<input checked="" type="checkbox"/>	Dimensional Standards	The development standards for the NMU zones are provided in MMC Table 19.303.3. No land division is proposed, so the lot size and street frontage standards are not applicable.

		The minimum floor area ratio (FAR) is 0.5:1. The maximum building height is three stories or 45 ft, whichever is less, with no height bonuses available. There are no frontage occupancy requirements.
Land Use Review Process		
<input checked="" type="checkbox"/>	Applications Needed, Fees, and Review Type	<p>An application for major modification of a Conditional Use is required to adjust the existing use as proposed. Depending on the specifics of the final proposal, a variance(s) to certain standards may be required.</p> <ul style="list-style-type: none"> • Conditional Use modification (major) (Type III) = \$2,000 • <i>(potentially)</i> Variance (Type II or III) = \$750 or \$1,500 (w/ discount for multiple applications) <p><u>Note:</u> For multiple applications processed concurrently, there is a 25% discount offered for each application fee after paying full price for the most expensive application.</p>
<input checked="" type="checkbox"/>	Application Process	<p>The applicant must submit a complete electronic copy of all application materials for the City's initial review. A determination of the application's completeness will be issued within 30 days. If the application is deemed incomplete, City staff will provide a list of items to be addressed upon resubmittal.</p> <p>Where multiple applications with different review types are processed concurrently, the package is processed according to the highest review type.</p> <p>In the Type III application process, a public hearing with the Planning Commission will be scheduled once the application is deemed complete. At present, meetings are being conducted in a hybrid format, with the option of participating in person at City Hall or online via Zoom.</p> <p>Public notice of the hearing will be sent to property owners and current residents within 300 ft of the subject property no later than 20 days prior to the hearing date. At least 14 days before the hearing, a sign giving notice of the application must be posted on the subject property, to remain until the decision is issued.</p> <p>Staff will prepare a report with analysis of the proposal and a recommendation that will be made available one week before the hearing. Both staff and the applicant will have the opportunity to make presentations at the hearing, followed by public testimony and then deliberation by the Commission for a decision.</p> <p>With Type III review, issuance of a decision starts a 15-day appeal period for the applicant and any party who establishes standing. If no appeal is received within the 15-day window, the decision becomes final. Any appeal of a Type III decision would be heard by the City Council for the final local decision.</p> <p>Development permits submitted during the appeal period may be reviewed but are not typically approved until the appeal period has ended.</p> <p>The 2022 schedule for Planning Commission hearings, including dates by which an application must be deemed complete to be eligible for a particular hearing date, is attached for reference.</p>
Overlay Zones (MMC 19.400)		
<input type="checkbox"/>	Willamette Greenway	(There are no special overlays for the subject property.)
<input type="checkbox"/>	Natural Resources	
<input type="checkbox"/>	Historic Preservation	
<input type="checkbox"/>	Flex Space Overlay	

Site Improvements/Site Context

<input checked="" type="checkbox"/>	Setback Requirements	<p>There is no minimum yard setback from the street or from side or rear property lines; however, there is a maximum setback from the street of 10 ft.</p> <p>MMC Subsection 19.501.2 and MMC Table 19.501.2.A establish additional yard setbacks for King Road and 42nd Avenue, measured from the centerline of the public right-of-way (ROW). For King Road, the additional setback is 40 ft from ROW center line; for 42nd Avenue between Harrison Street and King Road, the additional setback is 30 ft from ROW center line. At this location, the ROW centerline for King Road is approximately 28.5 ft from the subject property boundary, so an additional 11.5 ft (approximate) of setback is required. The ROW centerline for 42nd Avenue is approximately 33.5 ft from the subject property boundary, so the additional setback is already met on that frontage.</p> <p>As per MMC Subsection 19.303.4.c.2.c, these additional setback requirements of MMC 19.501.2 override the maximum street-side setback standard (10 ft max) of the NMU zone.</p> <p>MMC Subsection 19.504.10 establishes setbacks applicable to commercial development within 500 ft of existing or planned transit routes, limiting the setbacks of individual buildings to no more than 30 ft from the right-of-way. For sites with multiple buildings, the maximum distance from the transit street to a public entrance of the primary building is 100 ft.</p>
<input checked="" type="checkbox"/>	Landscaping Requirements and Lot Coverage	<p>The minimum vegetation requirement for the NMU zone is 15%, with a maximum lot coverage of 85%. As per MMC Subsection 19.504.7, no more than 20% of the required vegetation area may be covered in mulch or bark dust.</p>
<input checked="" type="checkbox"/>	On-site Walkways and Circulation (MMC 19.504.9)	<p>MMC Subsection 19.504.9 establishes standards for on-site walkways that connect parts of the site where the public is invited to walk as well as that link the site with the public street sidewalk system. Redevelopment projects must endeavor to bring the site closer to conformance with these standards.</p> <p>Walkways should connect building entrances to one another as well as to adjacent public streets and existing or planned transit stops. Note that new walkways must be at least 5 ft wide and constructed with a hard-surface material that is permeable for stormwater. Walkways must be separated from parking areas and internal driveways using curbing, landscaping, or distinctive paving materials. On-site walkways must be lighted to and average 0.5 footcandle level.</p>
<input type="checkbox"/>	Connectivity to surrounding properties	
<input checked="" type="checkbox"/>	Building Design Standards (MMC 19.505)	<p>MMC Subsection 19.505.7 provides design standards for nonresidential development, applicable to the street-facing façades of new buildings within the commercial mixed-use zones. The design standards do not apply to additions to existing buildings.</p> <p>MMC Subsection 19.505.7.C provides standards for eight design elements: corners (not applicable to this particular site), weather protection, exterior building materials, windows and doors, roofs, rooftop equipment and screening, ground-level screening, and rooftop structures. A variance to the building design standards can be processed through Type II review, pursuant to MMC Subsection 19.911.3.B.7.</p>
<input type="checkbox"/>	Downtown Design Standards (MMC 19.508)	
Parking Standards (MMC 19.600)		
<input checked="" type="checkbox"/>	Applicability (MMC 19.602)	<p>Existing nonconforming parking areas must be brought into full conformance when development results in an increase of 100% or more of the existing floor area and/or structure footprint.</p> <p>When development results in an increase of less than 100% of the existing floor area and/or structure footprint, the parking area must be brought closer into conformance—the</p>

		material costs of such improvements are limited to no more than 10% of the associated permit value. Areas of focus for improvements include paving and striping, providing the minimum number of spaces, bicycle parking, landscaping existing buffers and islands, creating new landscaping areas, and other items as determined by the Planning Manager.
<input checked="" type="checkbox"/>	Commercial Parking Requirements (MMC 19.605)	For vehicle repair, a minimum of two spaces per 1,000 sq ft of floor area is required, with a maximum of 2.5 spaces per 1,000 sq ft allowed. For bulk retail, including vehicle sales, a minimum of one space per 1,000 sq ft of floor area is required, with a maximum of three spaces per 1,000 sq ft of floor area. Note that floor area, as defined in MMC Section 19.201, relates to buildings and does not include exterior off-street parking spaces where vehicles being repaired or offered for sale may be parked.
<input checked="" type="checkbox"/>	Parking Area Design and Landscaping (MMC 19.606)	<p>Parking space dimensions are based on the angle of the stall—for standard 90° spaces, the minimum dimensions are 9 ft by 18 ft, with a minimum 22-ft-wide drive aisle.</p> <p>Perimeter landscaping is required at the periphery of the parking area, with a minimum width of 8 ft where adjacent to the public right-of-way and 6-ft width where adjacent to other properties (measured from the inside of curbs). Within the landscaped perimeter, at least one tree must be planted every 30 lineal feet (as evenly spaced as practicable), rounding up where the calculation does not produce a whole number.</p> <p>Where adjacent to residential uses, parking areas must have a continuous visual screen (fence, wall, landscaping, earthen berm with plantings, etc.) that is opaque throughout the year from 1 ft to 4 ft above ground to adequately screen vehicle lights.</p> <p>Interior landscaping is required where there are more than 10 parking spaces, at the ratio of 25 sq ft per parking space. Planting areas must be at least 120 sq ft in area, at least 6 ft in width, and dispersed throughout the parking area. For landscape islands, at least one tree must be planted per island; for divider medians between opposing rows of parking, at least one tree must be planted per 40 lineal feet.</p> <p>Required trees must be species that are expected to provide a minimum 20-ft diameter shade canopy within 10 years of planting.</p> <p>Perimeter and interior landscaping count toward the minimum vegetation required for the overall site.</p> <p>Other parking area design standards (MMC Subsection 19.606.3) include requirements for wheel stops, pedestrian access, and lighting. All required parking areas must be paved and striped. Wheel stops must have a minimum 4-in height and prevent vehicles from encroaching into public rights-of-way, adjacent landscaping, and pedestrian walkways.</p> <p>Along collector and arterial streets (42nd Ave is an arterial, the King Rd frontage is a neighborhood route), no parking space can be located such that its maneuvering area is in an ingress or egress aisle within 20 ft of the back of sidewalk. Parking drive aisles must align with the approved driveway access and must not be wider than the approved access within 10 ft of the right-of-way boundary.</p> <p>Pedestrian access must be provided so that no parking space is farther than 100 ft (measured along drive aisles) from a building entrance or walkway that meets the standards of MMC 19.504.9.</p> <p>Lighting is required for parking areas with more than 10 spaces; the Planning Manager can require lighting for smaller parking areas if there are safety concerns. Lighting should not cause light trespass of more than 0.5 footcandles at the site boundaries; luminaries should have a cutoff angle of 90° or greater; pedestrian walkways and bicycle parking areas must have a minimum illumination level of 0.5 footcandles.</p>
<input checked="" type="checkbox"/>	Bicycle Parking (MMC 19.609)	Bike parking is required in number at a minimum of 10% of the number of required vehicle parking spaces. Bike parking spaces must be at least 6 ft long and 2 ft wide, with a 5-ft-wide access aisle. Bike racks must be securely anchored and designed to allow the frame and one wheel to be locked using a U-shaped shackle lock. Bicycle parking facilities must be provided within 50 ft of a main building entrance, dispersed for multiple entrances.

Approval Criteria (MMC 19.900)		
<input type="checkbox"/>	Community Service Use (CSU) (MMC 19.904)	
<input checked="" type="checkbox"/>	Conditional Use (MMC 19.905)	<p>The approval criteria for new conditional uses and major modifications to existing conditional uses are provided in MMC Subsection 19.905.4.A. These include suitability of the subject property for the proposed use, the operating and physical characteristics of the proposed use, mitigation of identified impacts, compliance with other applicable standards, consistency with applicable Comprehensive Plan policies, and adequate transportation facilities and public utilities.</p> <p>Conditions of approval may be imposed, with the types of limitations and requirements outlined in MMC Subsection 19.905.5.</p> <p>Upon approval, the City will issue a Conditional Use Permit that must be recorded prior to commencing the approved use.</p>
<input checked="" type="checkbox"/>	Development Review (MMC 19.906)	<p>Development review is how changes in use or modifications of existing uses are normally handled, but in the case of a conditional use, the Conditional Use modification process described above will take the place of a separate Development Review application. The project's compliance with various applicable standards (such as the NMU development standards, off-street parking standards, etc.) will be evaluated through the Conditional Use review process.</p>
<input checked="" type="checkbox"/>	Variance (MMC 19.911)	<p>If the proposal requires any variances, they will be handled with either Type II or Type III review. Variances eligible for Type II review are listed in MMC Subsection 19.911.3.B.</p> <p>Variance approval criteria are established in MMC Subsection 19.911.4, with Type II variances addressing 19.911.4.A and Type III variances addressing 19.911.4.B.</p> <p>Staff has determined that an addition to any existing structure on the site will only have to come closer to conformance with applicable standards (such as for setbacks, FAR, design standards, etc.) and will not require a variance. However, any new structure must meet the applicable standards or else request a variance.</p>
Land Division (MMC Title 17)		
<input type="checkbox"/>	Design Standards	No land division or boundary changes are proposed.
<input type="checkbox"/>	Preliminary Plat Requirements	
<input type="checkbox"/>	Final Plat Requirements	
Sign Code Compliance (MMC Title 14)		
<input checked="" type="checkbox"/>	Sign Requirements	Signage allowances for commercial zones like the NMU are outlined in MMC Section 14.16.040.
Noise (MMC Title 16)		
<input type="checkbox"/>	Noise Mitigation (MMC 16.24)	
Neighborhood District Associations		
<input checked="" type="checkbox"/>	Hector Campbell	Prior to submitting the application, the applicant is encouraged (but not required) to present the project at a regular meeting of the relevant Neighborhood District Association (NDA). In this case, the site is within the Hector Campbell NDA.
	Choose an item.	

	Choose an item.	<p><u>NDA Chair</u></p> <p>Corinn DeTorres</p> <p>corinn@chapeltheatremilwaukie.com</p> <p>Regular meeting—quarterly, next is July 13, 2022 (6:00 p.m. to 8:00 p.m.)</p>
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Other Permits/Registration

<input checked="" type="checkbox"/>	Business Registration	
<input type="checkbox"/>	Home Occupation Compliance (MMC 19.507)	

Additional Planning Notes

ENGINEERING & PUBLIC WORKS COMMENTS

Public Facility Improvements (MMC 19.700)

<input checked="" type="checkbox"/>	Applicability (MMC 19.702)	<p>MMC 19.702 establishes the applicability of MMC 19.700, including partitions, subdivisions, replants, new construction, and modification and/or expansion of an existing structure or a change or intensification in use that results in a new dwelling unit, any new increase in gross floor area, and/or in any projected increase in vehicle trips.</p> <p>The proposed development would add new vehicle bays increasing the gross floor area and intensifying use. MMC 19.700 applies.</p>
<input type="checkbox"/>	Transportation Facilities Review (MMC 19.703)	A Transportation Facilities Review (TFR) Land Use Application is not required.
<input type="checkbox"/>	Transportation Impact Study (MMC 19.704)	A Transportation Impact Study (TIS) is not required.
<input checked="" type="checkbox"/>	Rough Proportionality (MMC 19.705)	<p>The subject property is developed with an existing vehicle repair and sales business and has frontage on both King Road and 42nd Avenue. The subject property currently has one accessway on King Road, and two accessways on 42nd Avenue.</p> <p>The King Road frontage has 5-ft wide setback sidewalk with landscape planter strip and curb. The 42nd Avenue frontage has 5-ft wide curb-tight sidewalk and curb.</p> <p>As part of this development the north accessway on the 42nd Avenue frontage must be closed. The applicant has proposed closing both accessways on the 42nd Avenue frontage. New curb and sidewalk will need to be constructed by the applicant in place of all removed accessways.</p> <p>ROW dedication for either frontage will not be required. Street improvements outside of the necessary curb and sidewalk repairs at the removed accessways will not be required.</p>
<input checked="" type="checkbox"/>	Agency Notification (MMC 19.707)	<p>The City shall provide notice to the following agencies:</p> <ol style="list-style-type: none"> 1. Metro 2. Clackamas County 3. TriMet
<input checked="" type="checkbox"/>	Transportation Requirements (MMC 19.708) <ol style="list-style-type: none"> 1. General Requirements 2. Street Design Standards 	The applicant is responsible for removing the northern driveway/accessway on the 42 nd Avenue frontage. The applicant has proposed to remove both driveways/accessways on 42 nd Avenue in advance of the city's future intersection improvements for 42 nd Avenue and

	3. Sidewalk Requirements	<p>King Road. New sidewalk and curb must be constructed in place of the removed driveways/accessways.</p> <ol style="list-style-type: none"> 1. General Requirements <ol style="list-style-type: none"> a. Access Management: All development subject to MMC 19.700 shall comply with access management standards contained in MMC 12.16 b. Clear Vision: All development subject to MMC 19.700 shall comply with clear vision standards contained in MMC 12.24 2. Street Design Standards <ol style="list-style-type: none"> a. The improved right-of-way shall have a curb-tight sidewalk width of 4-ft to match existing sidewalk. A future city project will construct street improvements on 42nd Avenue. 3. Sidewalk Requirements <ol style="list-style-type: none"> a. Sidewalks shall be provided on the public street frontage of 42nd Avenue per the requirements of this chapter. Sidewalks shall be constructed within the existing and/or dedicated public right-of-way and designed in accordance with the Public Works Standards and the City of Milwaukie Americans with Disabilities Act Transition Plan. <p>A Right-of-Way permit is required to construct any improvements in the public right-of-way.</p>
<input type="checkbox"/>	Utility Requirements (MMC 19.709)	<p>The existing utilities are sufficient for this development.</p> <p>Any proposed increase in sewer or water utilities will require Engineering Review.</p>
Flood Hazard Area (MMC 18)		
<input type="checkbox"/>	Development Permit (MMC 18.04.100)	<p>The subject property is not located in a designated flood hazard area.</p>
<input type="checkbox"/>	General Standards (MMC 18.04.150)	
<input type="checkbox"/>	Specific Standards (MMC 18.04.160)	
<input type="checkbox"/>	Floodways (MMC 18.04.170)	
Environmental Protection (MMC 16)		
<input type="checkbox"/>	Weak Foundation Soils (MMC 16.16)	<p>The proposed development is not located in the City-regulated soil hazard area.</p>
<input type="checkbox"/>	Erosion Control (MMC 16.28)	
<input type="checkbox"/>	Tree Protections (MMC 16.32)	
Public Services (MMC 13)		
<input type="checkbox"/>	Water System (MMC 13.04)	<p>If new or upgraded water systems are desired, a Right-of-Way permit is required. Water meter equipment charges and system development charges will apply.</p>
<input type="checkbox"/>	Sewer System (MMC 13.12)	<p>A system development charge must be paid prior to new connections or impacts due to intensification of use to city sanitary sewer.</p> <p>New or upgraded connections to the city's sewer system will require a Right-of-Way permit.</p>
<input checked="" type="checkbox"/>	Stormwater Management (MMC 13.14)	<p>Stormwater mitigation must meet the city's NPDES permit through design of facilities according to the 2016 City of Portland Stormwater Management Manual. Applicant will be required to provide an infiltration test to be completed by a Geotechnical engineer.</p>

		At the time of development, the applicant will need to install a drywell or other approved overflow management discharge point for runoff from the ROW to assure that rain garden(s) or swale(s) are not overwhelmed during a storm event. A system development charge must be paid prior to building permit issuance.
<input checked="" type="checkbox"/>	System Development Charge (MMC 13.28.040)	All new development or intensification of use shall be subject to system development charges. Latest charges are determined by the Master Fee Schedule available here: https://www.milwaukieoregon.gov/finance/fees-charges
<input type="checkbox"/>	Fee in Lieu of Construction (MMC 13.32)	

Public Places (MMC 12)

<input checked="" type="checkbox"/>	Right of Way Permit (MMC 12.08.020)	A Right-of-Way Permit will be required for all frontage improvements, utility work within the right-of-way, driveway/accessway removal, and sidewalk construction.
<input checked="" type="checkbox"/>	Access Requirements (MMC 12.16.040)	Per MMC 12.16.040, private property shall be provided street access via accessways (driveways). These driveways shall be constructed under a right-of-way permit in accordance with the current Milwaukie Public Works Standards 1. The north driveway/accessway on 42 nd Avenue must be closed and replaced with new curb and sidewalk. The applicant has proposed removing both driveways/accessways on the 42 nd Avenue frontage. Site access will be taken from the existing driveway/accessway on the King Road frontage which has a Local/Neighborhood classification.
<input checked="" type="checkbox"/>	Clear Vision (MMC 12.24)	A clear vision area shall be maintained at all driveways and accessways.

Additional Engineering & Public Works Notes

A future city project will update the current traffic pattern for the 42nd Avenue and King Road intersection. No design is finalized, however the potential impacts for this development would be limited access from 42nd Avenue. Should the applicant choose to keep the southern driveway/accessway on 42nd Avenue, access will eventually be limited to a Right-in/Right-out pattern. Primary access from King Road is recommended.

Future right-of-way improvements will likely include sidewalk widening on the west side of 42nd Avenue and the removal of the existing turn-lane.

A Right-of-Way permit is required for all work in the public Right-of-Way.

An estimated SDC invoice has been provided. This estimate is based on current fiscal year fees and is subject to change after July 1st. Fees are also based on development assumptions regarding building footprint, not upsizing utilities, and new impervious surface. These fees are subject to change based on changes to the submitted plans.

BUILDING COMMENTS

All drawings must be submitted electronically through www.buildingpermits.oregon.gov

New buildings or remodels shall meet all the provisions of the current applicable Oregon Building Codes. All State adopted building codes can be found online at: <https://www.oregon.gov/bcd/codes-stand/Pages/adopted-codes.aspx>.

All building permit applications are electronic and can be applied for online with a valid CCB license number or engineer/architect license at www.buildingpermits.oregon.gov. Each permit type and sub-permit type are separate permits are subject to the same time review times and will need to be applied for individually. Plans need to be uploaded to their specific permits in PDF format as a total plan set (not individual pages) if size allows.

Note: Plumbing and electrical plan reviews (when required) are done off site and are subject to that jurisdiction's timelines. The City does not have any control over those timelines, so please plan accordingly.

Site utilities require a separate plumbing permit and will require plumbing plan review. **NOTE:** The grading plan submitted to the Engineering Department does not cover this review.

If you have any building related questions, please email us at building@milwaukieoregon.gov.

Additional Building Notes

Mechanical ventilation will need to be addressed for any alterations to building.

OTHER FEES

<input checked="" type="checkbox"/>	Construction Excise Tax Affordable Housing CET – Applies to any project with a construction value of over \$100,000.	The applicant should be aware that this fee exists and may apply depending on the construction value. Calculation: Valuation *1% (0.1)
<input checked="" type="checkbox"/>	Metro Excise Tax Metro – Applies to any project with a construction value of over \$100,000.	The applicant should be aware that this fee exists and may apply depending on the construction value. Calculation: Valuation *0.12% (0.0012)
<input checked="" type="checkbox"/>	School Excise Tax School CET – Applies to any new square footage.	The applicant should be aware that this fee exists and may apply depending on the construction value. Calculation: Commercial = \$0.69 a square foot, Residential = \$1.39 a square foot (not including garages)

FIRE DISTRICT COMMENTS

Please see the attached memorandum for fire district comments.

COORDINATION WITH OTHER AGENCIES

Applicant must communicate directly with outside agencies. These may include the following:

- Metro
- Trimet
- North Clackamas School District
- North Clackamas Parks and Recreation District (NCPRD)
- Oregon Parks and Recreation
- ODOT/ODOT Rail
- Department of State Lands

- Oregon Marine Board
- Oregon Department of Fish and Wildlife (ODOT)
- State Historic Preservation Office
- Clackamas County Transportation and Development

MISCELLANEOUS

State or County Approvals Needed

- | | | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | Boiler Approval (State) | |
| <input type="checkbox"/> | Elevator Approval (State) | |
| <input type="checkbox"/> | Health Department Approval (County) | |

Arts Tax

- | | | |
|--------------------------|----------------------------|--|
| <input type="checkbox"/> | Neighborhood Office Permit | |
|--------------------------|----------------------------|--|

Other Right-of-Way Permits

- | | | |
|--------------------------|--|--|
| <input type="checkbox"/> | Major: | |
| <input type="checkbox"/> | Minor: | |
| <input type="checkbox"/> | Painted Intersection Program Permits: | |
| <input type="checkbox"/> | artMOB Application | |
| <input type="checkbox"/> | Traffic Control Plan (Engineering) | |
| <input type="checkbox"/> | Parklet: | |
| <input type="checkbox"/> | Parklet Application/ Planning Approval | |
| <input type="checkbox"/> | Engineering Approval | |
| <input type="checkbox"/> | Building Approval | |
| <input type="checkbox"/> | Sidewalk Café: | |
| <input type="checkbox"/> | Tree Removal Permit: | |

Infrastructure/Utilities

- Applicant must communicate directly with utility providers. These may include the following:**
- PGE
 - NW Natural
 - Clackamas River Water (CRW)
 - Telecomm (Comcast, Century Link)
 - Water Environmental Services (WES)
 - Garbage Collection (Waste Management, Hoodview Disposal and Recycling)

Economic Development/Incentives

Enterprise Zone:

Vertical Housing Tax Credit:

New Market Tax Credits:

Housing Resources:

PLEASE SEE NOTE AND CONTACT INFORMATION ON THE FOLLOWING PAGE

This is only preliminary preapplication conference information based on the applicant's proposal, and does not cover all possible development scenarios. Other requirements may be added after an applicant submits land use applications or building permits. City policies and code requirements are subject to change. If a note in this report contradicts the Milwaukie Municipal Code, the MMC supersedes the note. If you have any questions, please contact the City staff that attended the conference (listed on Page 1). Contact numbers for these staff are City staff listed at the end of the report.

Sincerely,

City of Milwaukie Development Review Team

BUILDING DEPARTMENT

Samantha Vandagriff	Building Official	503-786-7611
Harmony Drake	Permit Technician	503-786-7623
Stephanie Marcinkiewicz	Inspector/Plans Examiner	503-786-7636

ENGINEERING DEPARTMENT

Steve Adams	City Engineer	503-786-7605
Jennifer Backhaus	Engineering Technician III	503-786-7608

PLANNING DEPARTMENT

Laura Weigel	Planning Manager	503-786-7654
Vera Kalias	Senior Planner	503-786-7653
Brett Kolver	Senior Planner	503-786-7657
Adam Heroux	Associate Planner	503-786-7658
Ryan Dyar	Assistant Planner	503-786-7661

COMMUNITY DEVELOPMENT DEPARTMENT

Joseph Briglio	Community Development Director	503-786-7616
Mandy Byrd	Development Project Manager	503-786-7692
Janine Gates	Housing & Econ. Dev. Prog. Mgr.	503-786-7627
Emilie Bushlen	Administrative Specialist II	503-786-7600
Will First	Administrative Specialist II	503-786-7600

CLACKAMAS FIRE DISTRICT

Shawn Olson	Fire Marshal	503-655-8211
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