

Note: Due to inclement weather on Feb 23, this meeting was rescheduled for March 2 at 11am.



MILWAUKIE PLANNING
6101 SE Johnson Creek Blvd
Milwaukie OR 97206
503.786.7600
planning@milwaukieoregon.gov

Preapplication Request Form

File #: 23-0001PA

Meeting Date: 2/23/2023 Time: 10:00am Location: 6101 SE Johnson Creek Blvd Today's Date: 2 / 6 / 23

Applicants and representatives are expected to present a detailed explanation of their proposal at the conference.

The purpose of the preapplication conference is to acquaint the applicant or applicant's representative with the requirements of the municipal code in preparation for submission of a land use application, including relevant approval criteria, development standards, and procedures. The preapplication conference is not an exhaustive review of all potential issues or requirements. Furthermore, the information provided by the City is not binding, and it does not preclude the City from raising new issues or identifying additional requirements during the land use review process. (MMC 19.1002 Preapplication Conference)

Although the primary purpose is as stated above, preapplication conferences may also be used as part of a due diligence process to obtain a higher degree of certainty about a property development. An applicant is not required to be the property owner to request a preapplication conference.

SITE INFORMATION:

Site Address: **11909 SE Stanly AVE** Map & Tax Lot(s): **1S2E31DA LOT'S 5400 &5500** Zone:

PROPOSAL (brief description):

Middle Housing development: 38 cottage, 6 clusters

APPLICANT:

Project Contact Name: **Bill Krasnogorov** Company: **Red Hills Land and Design, LLC.**

Mailing Address: **14195 SE Dagwood LN Happy Valley, OR** Zip: **97086**

Phone(s): **503-970-2456** Email: **RedHillsLD@gmail.com**

of Expected Attendees: **3**
 Owner Architect Contractor
 Representative Engineer Other: **Contracted buyer**

REQUESTED MEETING TYPE:

- Preapplication Meeting—1st meeting free; 2nd meeting \$50; Subsequent meetings \$100/mtg.**
 - Optional meeting with 2 City staff. No meeting notes are provided by staff.
 - Staff will coordinate meeting date and time once Submittal Information (listed on reverse) is received.
- Preapplication Conference—\$200**
 - Optional or required meeting with 3 or more staff. Meeting notes are provided by staff 2 weeks after the conference.
 - City staff from the Planning, Building, Engineering, and Public Works departments usually attend. Other public agencies (such as the Fire District) may attend as necessary.
 - Appointment times are Thursdays from 10:00 a.m.–11:00 a.m.
 - Appointments are scheduled on a first-come, first-served basis. Preapplication Requests must be submitted during counter hours, and by 12:30 p.m. every Thursday for the first appointment available.
 - Appointments must be made no less than **three weeks** before the desired meeting date for **Major projects** (e.g. commercial, industrial, multi-family, subdivisions) and no less than **two weeks** in advance of the desired meeting date for **Minor projects*** (e.g. single family, ADUs, partitions).
- Transportation Impact Study Review—\$100**
 - Mandatory second meeting if the project requires a Transportation Impact Study (TIS).
 - To be scheduled after completion of a TIS by the applicant's engineer.

IMPORTANT INFORMATION ON REVERSE SIDE

PREAPPLICATION REQUEST CHECKLIST:

Once submitted, application materials and applicant information become public record as well as constitute permission for staff to access the site in preparation for the meeting/conference.

Preapplication Meeting: Please submit electronic copies of the required information.

Minimum Requirements:

- Completed Request Form and accompanying fee (if any)
- Preliminary site plan and building plans, showing existing and proposed features. (Plans do not need to be professionally prepared, just accurate and reliable.)
- A detailed narrative description of the proposal that clearly identifies the location, existing and proposed uses, and any proposed construction.
- A list of all questions or issues the applicant would like the City to address.

Preapplication Conference: Please submit electronic copies of the required information. Please refer to the [Development Project Checklist](#) for a list of items that may be applicable to your project.

Minimum Requirements

- Completed Request Form and accompanying fee.
- Narrative: A detailed description of your proposal and any specific questions you have. Include a brief description of the physical context of the site, including a map showing the site and surrounding properties.
- A list of all questions or issues the applicant would like the City to address.
- Proposed elevations
- Site/Plot Plan that includes (if applicable)
 - Parcel and building setback dimensions
 - Existing and proposed structures
 - Location and dimension of existing and proposed easements, access, and driveways
 - Location of existing and proposed utilities: storm, sanitary sewers, and water (including size of service and street location)
 - Width of adjacent right-of-way
 - Existing streets abutting the property
 - Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building)
 - Slope map (if slope is 25% or more)
 - Significant tree locations (all trees with a caliper over 6 inches) (Note new tree code: www.milwaukieoregon.gov/trees)
 - Proposed stormwater detention system with topographic contours
 - Location of onsite and adjacent natural resources
 - Circulation system for vehicles, pedestrians, and bicycles

For Office Use Only:

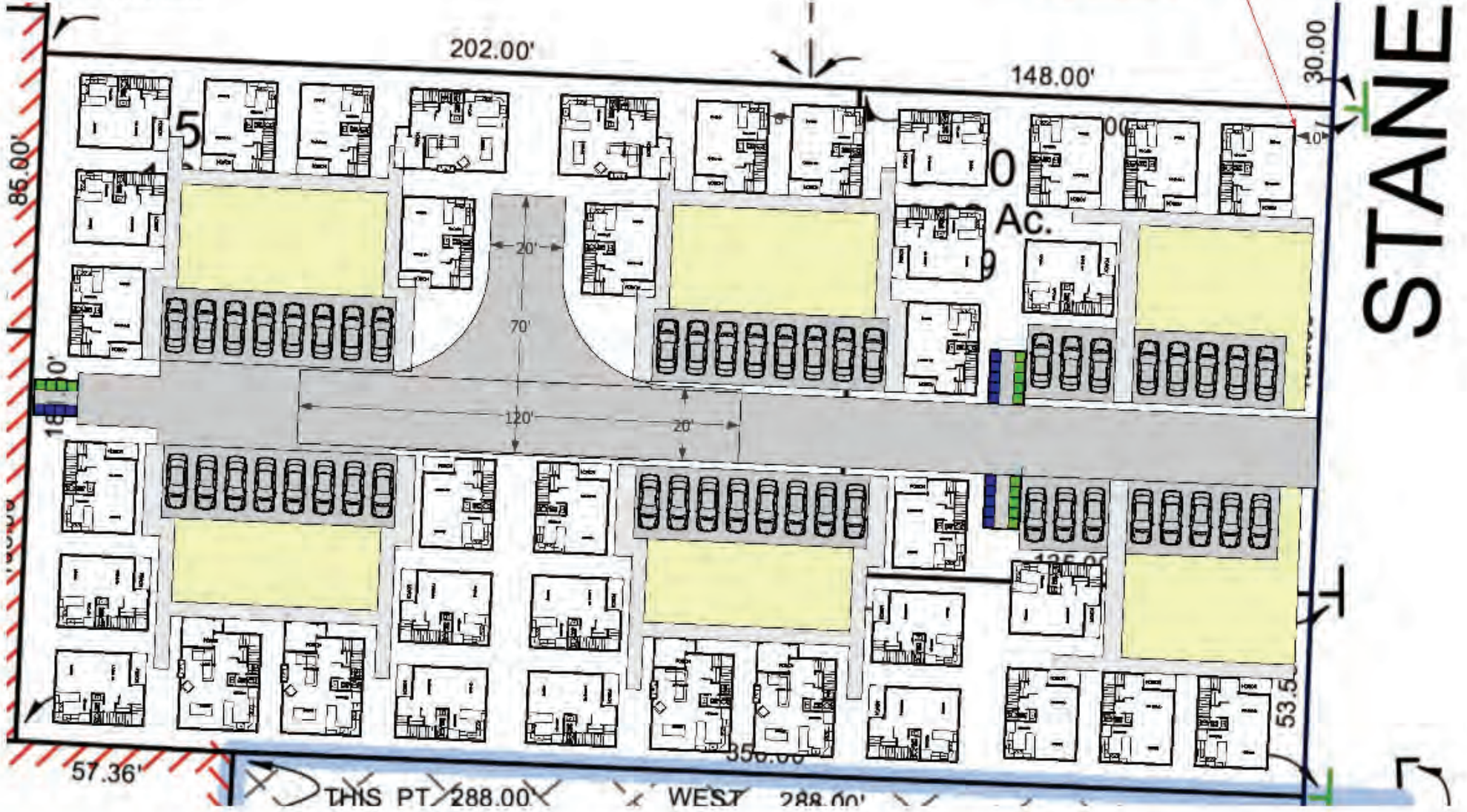
***Project Type:**

- Minor Developments (e.g. single-unit detached dwellings, ADUs, middle housing, partitions): 2 weeks required for review
- Major Developments (e.g. commercial, industrial, multi-unit, subdivisions, and middle housing developments with more than 4 units): 3 weeks required for review

Routing: <input type="checkbox"/> File	<input type="checkbox"/> Planning (2)	<input type="checkbox"/> Engineering (2)	<input type="checkbox"/> Building
<input type="checkbox"/> Development Manager	<input type="checkbox"/> Public Works	<input type="checkbox"/> Fire	<input type="checkbox"/> CD Director (development)

RED HILLS CONSTRUCTION, INC.
503-970-2456
PROJECT:
14310 SE RIDGECREST RD.
HAPPY VALLEY, OR 97086

FRONT SETBACK: 10'
SIDE SETBACK: 5'
REAR SETBACK: 10'



Brett Kolver

From: Mariya Krasnogorov <redhillslid@gmail.com>
Sent: Monday, February 6, 2023 11:29 PM
To: Milwaukie Planning
Cc: Brett Kolver
Subject: Red Hills Land & Design, LLC. - 11909 SE Stanley Ave.: 38 Cottage / 6 Cluster project
Attachments: preapprequest_form_revised.pdf; 38 COTTAGE CLUSTER.pdf; (13218) Red Hills Construction - Cottage B3-A.pdf; (13218) Red Hills Construction - Cottage B3-B.pdf; (13218) Red Hills Construction - Cottage B3-C.pdf; We sent you safe versions of your files

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

This Message originated outside your organization.

Attached, please find the Pre-application meeting request form, along with site plan, and cottage drawings.

The subject property is located at 11909 SE Stanley Ave. Milwaukie, OR, and consist of two tax lots (5400 & 5500). The current use is a single family residence.

We propose to consolidate the two lots, and develop this site into 38 cottages on 6 clusters, as depicted on our proposed site plan sketch.

The following is a list of questions we would like to be addressed at this pre-app meeting:

1. Will permit fee calculation be done at a full dwelling unit rate, or will the rate be reduced similar to multi family & apartment development?
2. What is the expected Permit fee be per cottage?
3. SEWER: What size lateral will be required for this 38 cottage development?
4. SEWER: Will there be a connection fee?
5. WATER: Can water meter's be shared per cluster?
6. WATER: What is the cost for a new meter?
7. WATER: Can a single lateral service 6 meters?
8. PARKING: Is city open to allowing 1.25 parking places per unit?
9. Do you see any concerns with the proposed development?

If you find that additional information is needed to better prepare for this meeting, don't hesitate to ask.

Let me know how I can make a card payment for the review fee.

Sincerely,

Bill Krasnogorov
503-970-2456
www.redhillsconstruction.com

Street of Dreams 2014, 2017, 2019 & 2021
Award Winning Builder

NOTE: A balanced, whole-house ventilation system will be provided in accordance with M1505.4

TABLE N1101.1(2) ADDITIONAL MEASURES

- 5 DUCTLESS HEAT PUMP
For dwelling units with all-electric heat provide:
Ductless heat pump of minimum HSPF 10 in primary zone replaces zonal electric heat sources, and
Programmable thermostat for all heaters in bedrooms

FOOTNOTES

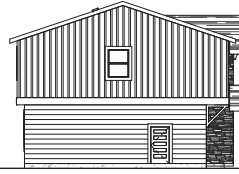
- a. Appliances located within the building thermal envelope shall be sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.
b. The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.026.
c. In accordance with Table N1104.1(1), the Proposed UA total of the Proposed Alternative Design shall be a minimum of 8 percent less than the Code UA total of the Standard Base Case.

TABLE N1101.1(1) PRESCRIPTIVE ENVELOPE REQUIREMENTS	
ABOVE GRADE WALL	R-21 N1*
BELOW GRADE WALL	R-15C/19 N1*
FLAT CEILINGS	R-49
VAULTED CEILINGS	R-30 RAFTER R-30M* SOFTWOOD TRUSS
UNDERFLOORS	R-30
SLAB EDGE PERIMETER	R-15
HEATED SLAB INTERIOR	R-10
WINDOWS	U-0.27
SKYLIGHTS	U-0.50
EXTERIOR DOORS	U-0.30
EXTERIOR DOORS W/ 2 1/2 FL GLAZING	U-0.40
FORCED AIR DUCT INSULATION	R-8

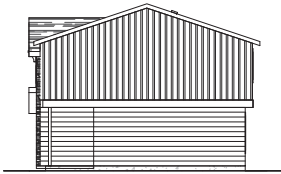
TABLE M1507.4 EXHAUST RATES FOR RESIDENTIAL DWELLINGS	
DOMESTIC KITCHENS	
RANGE HOODS / DOWNDRAFT EXHAUST	MIN. 150 CFM INTERMITTENT
BATHROOMS/TOILET ROOMS	
ROOMS CONTAINING BATHING AND SPA FACILITIES	MIN. 80 CFM INTERMITTENT OR 20 CFM CONTINUOUS
TOILET ROOMS WITHOUT BATHING OR SPA FACILITIES, WHEN NOT PROVIDED WITH NATURAL VENTILATION IN ACCORDANCE WITH SECTION R303.3.2	MIN. 50 CFM

NOTE
MECHANICAL EXHAUST VENTS SHALL NOT TERMINATE WITHIN 36" OF OPERABLE WINDOWS

- a. As allowed in Section N1104.1, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-factor standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved U-factors contained in Table N1104.1(1).
b. R-values used in this table are nominal for the insulation only in standard wood-framed construction and not for the entire assembly.
c. Wall insulation requirements apply to all exterior wood-framed, concrete or masonry walls that are above grade. This includes cripple walls and rim joist areas. Nominal compliance with R-21 insulation and intermediate framing (N1104.1.2) with insulated headers.
e. Below-grade wood, concrete or masonry walls include all walls that are below grade and do not include those portions of such wall that extend more than 24 inches above grade. R-21 for insulation in framed cavity; R-15 continuous insulation.
f. Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet in area may be reduced to not less than R-21. When reduced, the cavity shall be filled (except for required ventilation spaces). R-49 insulation installed to minimum 6-inches depth at top plate at exterior of structure to achieve U-factor.
g. Vaulted ceiling surface area exceeding 50 percent of the total heated space floor area shall have a U-factor no greater than U-0.026 (equivalent to R38 rafter or rafter truss with R-38 advanced framing).
h. A = Advanced frame construction. See Section N1104.6.
i. Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heating system within the slab. Insulation shall be installed underneath the entire slab.
j. Sliding glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with Section NF1111.2, Item 3 shall comply with window performance requirements if constructed with thermal break aluminum or wood, or vinyl, or fiberglass frames and double-pane glazing with low-emissivity coatings of 0.10 or less. Buildings designed to incorporate passive solar elements may include glazing with a U-factor greater than 0.35 by using Table N1104.1(1) to demonstrate equivalence to building thermal envelope requirements.
k. A maximum of 28 square feet of exterior door area per dwelling unit can have a U-factor of 0.54 or less.
l. Glazing that is either double-pane with low-e coating on one surface, or triple-pane shall be deemed to comply with this requirement.
m. Minimum 24-inch horizontal or vertical below-grade.



4 REAR
1 1/8" = 1'-0"



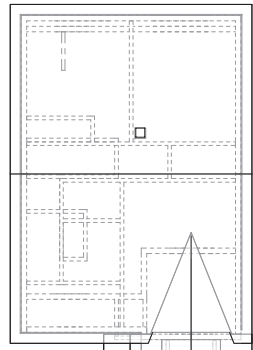
2 LEFT
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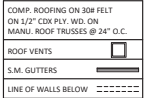
1 REAR
1 1/4" = 1'-0"



3 FRONT
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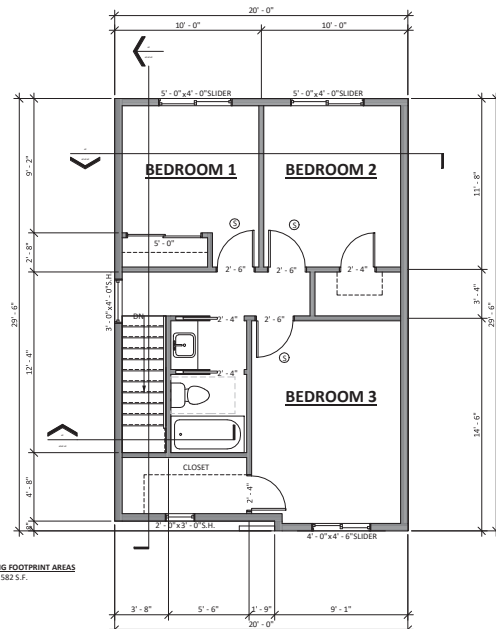
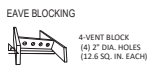


5 ROOF PLAN
1 3/16" = 1'-0"



- NOTES**
-OVERFRAMING TO BE 2x6 RAFTERS @ 24" W/ MAX. 72" SPAN
-HIPS, RIDGES & ROOF PLATES TO BE 2x8 W/ 48" MAX. SPAN
-SUPPORT WITH 2x4 STUDS
-ALL GIRDER TRUSSES ARE TO BE SUPPORTED BY MINIMUM (3) 2x6 STUDS W/ 16d NAILS @ 6" O.C. STAGGERED UN.D.
ATTIC VENTILATION REQUIRED: THE ATTIC AREA MUST BE 1/300 OF THE AREA OF THE SPACE VENTILATED (1/150 MUST BE USED IF NO VENTED EAVE BLOCKS OR INTAKE AIR IS SUPPLIED)
-ATTIC SPACE IS 432 S.F. ATTIC AREA
-ATTIC VENTS MUST PROVIDE MIN. 60 SQ. IN. (0.416 S.F.)
-432 / 300 = 1.44 / 2 = 0.72
-0.72 x 56 = 2 ATTIC VENTS REQUIRED
-348 S.F. PER EAVE BLOCK PROVIDED
-0.72 / 348 = 3 EAVE BLOCKS REQUIRED

ROOF PLAN LEGEND
1/4" = 1'-0"

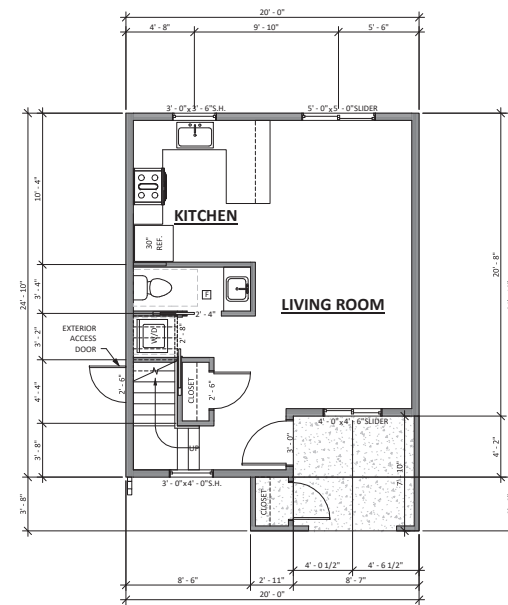


7 2nd FLOOR PLAN
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	SLIDING GLASS
	POCKET DOOR
	SWINGING DOOR
	BI-FOLD DOOR
	WALLS - SEE DETAILS
	CONCRETE WALL
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	RADON CONTROL -SEE RADON CONTROL DETAILS

NOTE:
- OPERABLE WINDOWS LOCATED GREATER THAN 6'-0" ABOVE FINISHED EXTERIOR GRADE, THAT ARE 24" OR CLOSER TO FLOOR LEVEL, ARE TO BE PROVIDED WITH WINDOW LIMITING DEVICES COMPLYING WITH ASTM 2090-10

NEW HOUSE LEGEND
1/4" = 1'-0"



6 1st FLOOR PLAN
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Red Hills Land and Design, LLC
12042 SE SUNNYSIDE RD. CLACKAMAS, OR 97015
CELL: (503) 970-2456 - redhillsllc@gmail.com

COTTAGE B3-A
ELEVATIONS & PLANS

Project number:	1528
Date:	9/7/2022 8:03:58 AM
Drawn by:	BSY/CHT
Check:	
Scale:	As indicated

NOTE: A balanced, whole-house ventilation system will be provided in accordance with M1505.4

TABLE N1101.1(2) ADDITIONAL MEASURES

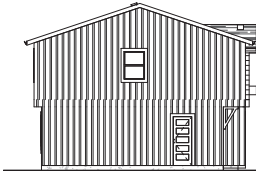
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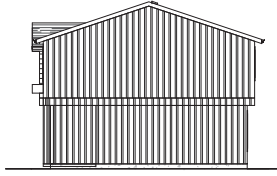
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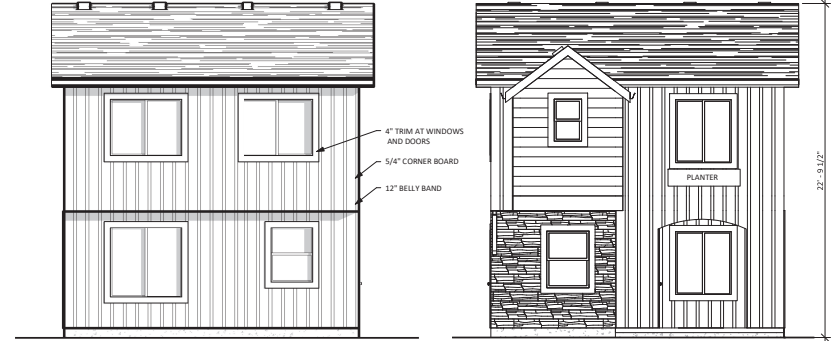
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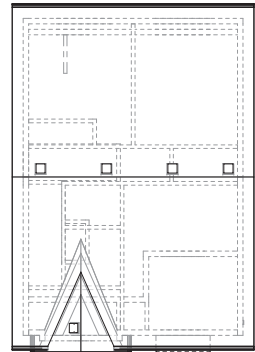


2 LEFT
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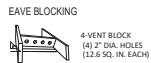


5 ROOF PLAN
1 3/16" = 1'-0"

COMP. ROOFING ON 30# FELT ON 1/2" CDX PLY. WD. ON MANU. ROOF TRUSSES @ 24" O.C.
ROOF VENTS
S.M. GUTTERS
LINE OF WALLS BELOW

- NOTES**
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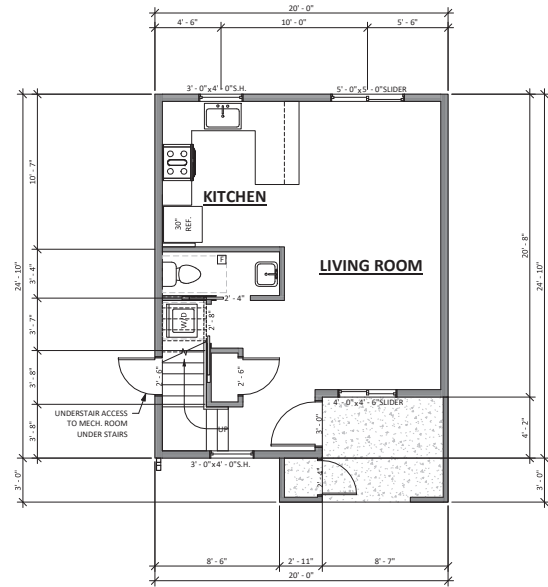


BUILDING FOOTPRINT AREAS
UNIT 8: 580 S.F.

7 2nd FLOOR PLAN
1 1/4" = 1'-0"

	SLIDING GLASS
	POCKET DOOR
	SWINGING DOOR
	BI-FOLD DOOR
	WALLS - SEE DETAILS
	CONCRETE WALL
	EXHAUST FAN
	SMOKE DETECTOR
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- NOTE**
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- NEW HOUSE LEGEND**
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COTTAGE B3-B
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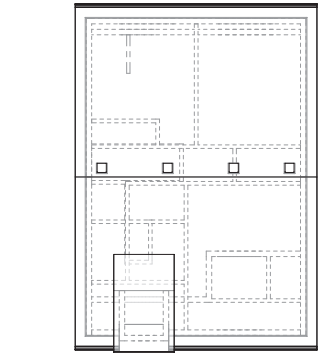
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STATIC PRESSURE SHALL BE RATED	20 CFM CONTINUOUS
@ 0.10-INCH WATER GAUGE FOR INTERMITTENT FANS	
TOILET ROOMS WITHOUT BATHING OR SPA FACILITIES,	MIN. 50 CFM
WHEN NOT PROVIDED WITH NATURAL VENTILATION	
IN ACCORDANCE WITH SECTION R303.3.2	
NOTE	
MECHANICAL EXHAUST VENTS SHALL NOT TERMINATE	
WITHIN 36" OF OPERABLE WINDOWS	

- a. As allowed in Section N1104.1, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-factor standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved U-factors contained in Table N1104.1(1).
b. R-values used in this table are nominal for the insulation only in standard wood-framed construction and not for the entire assembly.
c. Wall insulation requirements apply to all exterior wood-framed, concrete or masonry walls that are above grade. This includes cripple walls and rim joist areas. Nominal compliance with R-21 insulation and intermediate framing (N1104.1.2) with insulated headers.
e. Below-grade wood, concrete or masonry walls include all walls that are below grade and do not include those portions of such wall that extend more than 24 inches above grade. R-21 for insulation in framed cavity; R-15 continuous insulation.
f. Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet in area may be reduced to not less than R-21. When reduced, the cavity shall be filled (except for required ventilation spaces). R-49 insulation installed to minimum 6-inches depth at top plate at exterior of structure to achieve U-factor.
g. Vaulted ceiling surface area exceeding 50 percent of the total heated space floor area shall have a U-factor no greater than U-0.026 (equivalent to R38 rafter or rafter or truss with R-38 advanced framing).
h. A = Advanced frame construction. See Section N1104.6.
i. Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heating system within the slab. Insulation shall be installed underneath the entire slab.
j. Sliding glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with Section NF1111.2, Item 3 shall comply with window performance requirements if constructed with thermal break aluminum or wood, or vinyl, or fiberglass frames and double-pane glazing with low-emissivity coating of 0.10 or less. Buildings designed to incorporate passive solar elements may include glazing with a U-factor greater than 0.35 by using Table N1104.1(1) to demonstrate equivalence to building thermal envelope requirements.
k. A maximum of 28 square feet of exterior door area per dwelling unit can have a U-factor of 0.34 or less.
l. Glazing that is either double pane with low-e coating on one surface, or triple pane shall be deemed to comply with this requirement.
m. Minimum 24-inch horizontal or vertical below-grade.



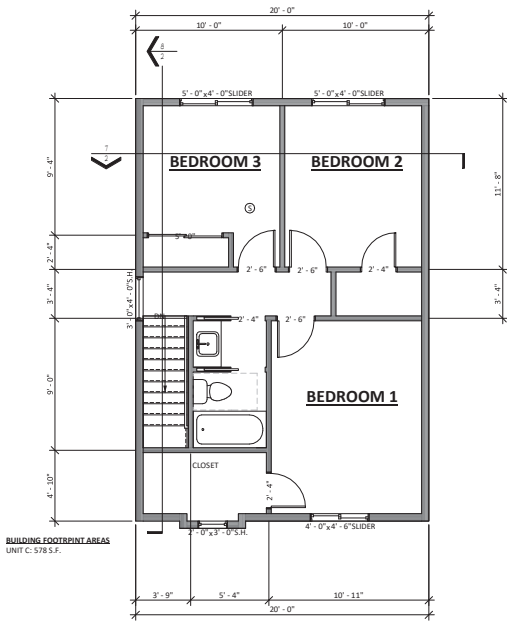
5 ROOF PLAN
1 3/16" = 1'-0"

- COMP. ROOFING ON 30# FELT ON 1/2" CDX PLY. WD. ON MANU. ROOF TRUSSES @ 24" O.C.
ROOF VENTS
S.M. GUTTERS
LINE OF WALLS BELOW
- NOTES**
-OVERFRAMING TO BE 2x6 RAFTERS @ 24" W/ MAX. 7'2" SPAN
-HIPS, RIDGES & ROOF PLATES TO BE 2x8 W/ 48" MAX. SPAN
-SUPPORT WITH 2x4 STUDS
-ALL GIRDER TRUSSES ARE TO BE SUPPORTED BY MINIMUM (3) 2x6 STUDS W/ 16" NAILS @ 6" O.C. STAGGERED U.N.D.
ATTIC VENTILATION REQUIRED: THE ATTIC AREA MUST BE 1/300 OF THE AREA OF THE SPACE VENTILATED (1/150 MUST BE USED IF NO VENTED EAVE BLOCKS OR INTAKE AIR IS SUPPLIED)
-ATTIC SPACE IS 43.2 S.F. ATTIC AREA
-ATTIC VENTS MUST PROVIDE MIN. 60 SQ. IN. (0.416 S.F.)
-432 / 300 = 1.44 / 2 = 0.72
-0.72 x 56 = 2 ATTIC VENTS REQUIRED
-348 S.F. PER EAVE BLOCK PROVIDED
-0.72 / 348 = 3 EAVE BLOCKS REQUIRED

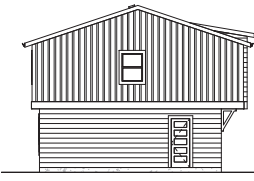
ROOF PLAN LEGEND
1/4" = 1'-0"



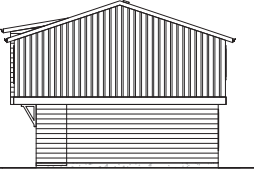
7 2nd FLOOR PLAN
1 1/4" = 1'-0"



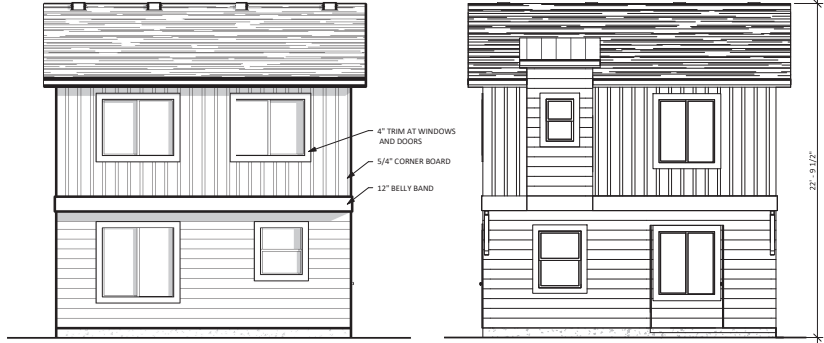
BUILDING FOOTPRINT AREAS
UNIT C: 578 S.F.



4 RIGHT
1 1/8" = 1'-0"



2 LEFT
1 1/8" = 1'-0"



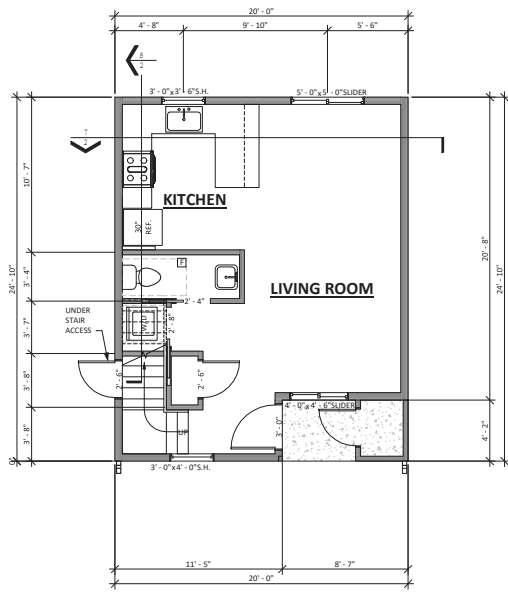
1 REAR
1 1/4" = 1'-0"

3 FRONT
1 1/4" = 1'-0"

	SLIDING GLASS
	POCKET DOOR
	SWINGING DOOR
	BI-FOLD DOOR
	WALLS - SEE DETAILS
	CONCRETE WALL
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	RADON CONTROL - SEE RADON CONTROL DETAILS

NOTE:
- OPERABLE WINDOWS LOCATED GREATER THAN 6'-0" ABOVE FINISHED EXTERIOR GRADE, THAT ARE 24" OR CLOSER TO FLOOR LEVEL, ARE TO BE PROVIDED WITH WINDOW LIMITING DEVICES COMPLYING WITH ASTM 2090-10

NEW HOUSE LEGEND
1/4" = 1'-0"



6 1st FLOOR PLAN
1 1/4" = 1'-0"



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COTTAGE B3-C
ELEVATIONS & PLANS

Project number:	1528
Date:	9/7/2022 8:59:54 AM
Drawn by:	BSY/CHT
Check:	
Scale:	As Indicated