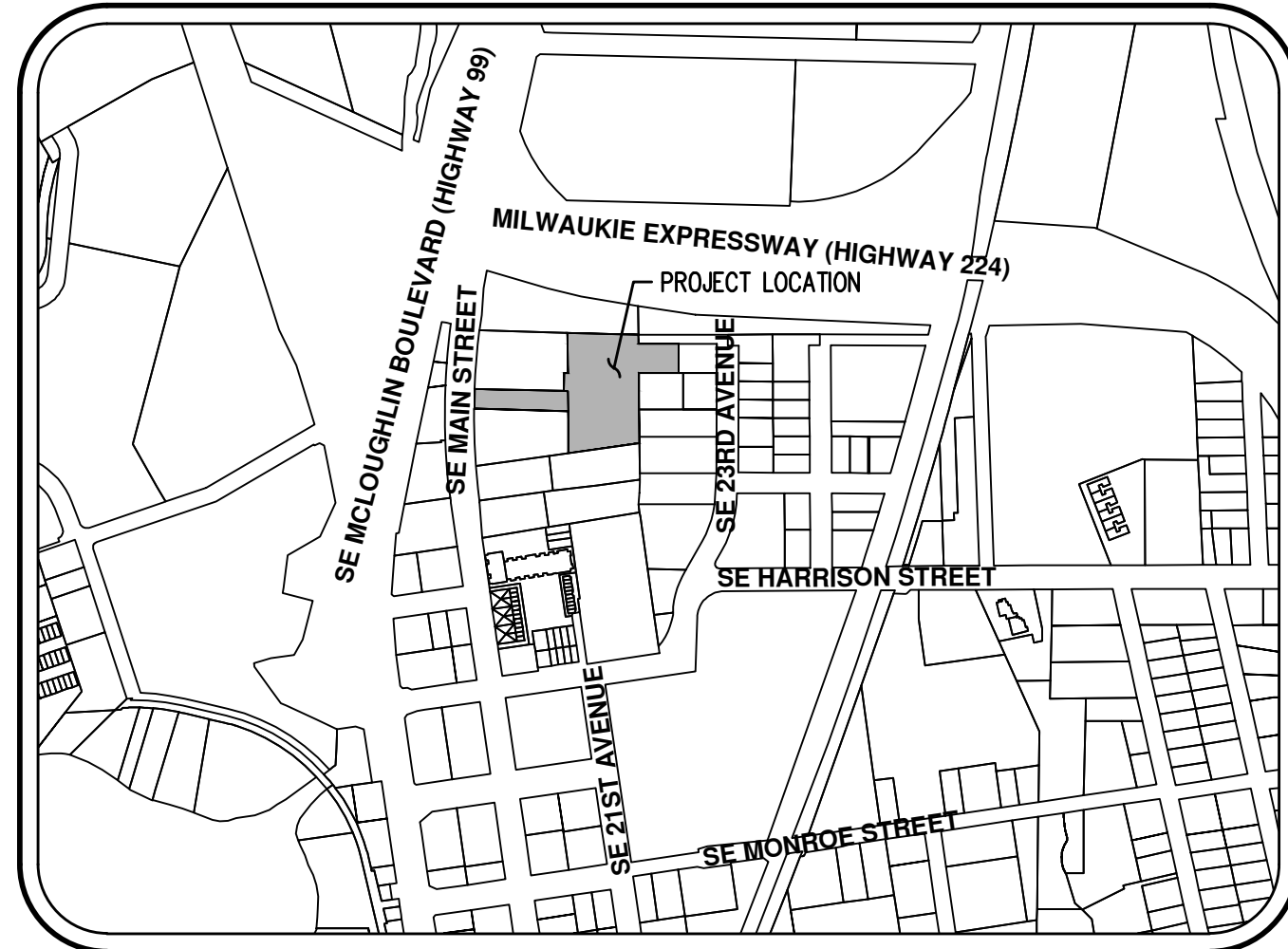


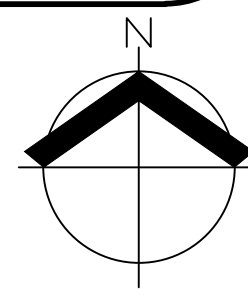
HENLEY PLACE

PRELIMINARY PLANS



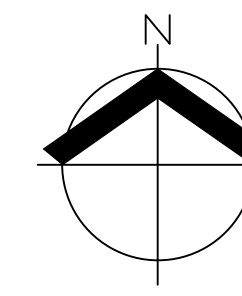
VICINITY MAP

NOT TO SCALE



SITE MAP

SCALE 1" = 80'



APPLICANT

PAHLISCH COMMERCIAL, INC
15333 SEQUOIA PARKWAY STE 190
PORTLAND, OR 97224

CONSULTING FIRM

AKS ENGINEERING & FORESTRY, LLC
CONTACT: CHRIS GOODELL & JONATHON MORSE, PE
12965 SW HERMAN ROAD, SUITE 100
TUALATIN, OR 97062
PH: 503-563-6151
FAX: 503-563-6152

PROPERTY DESCRIPTION

TAX LOTS 401 AND 402 OF CLACKAMAS COUNTY TAX MAP 1 1E 25CC LOCATED IN THE SOUTHWEST ONE QUARTER OF SECTION 25, TOWNSHIP 1 SOUTH, RANGE 1 EAST, WILLAMETTE MERIDIAN, CITY OF MILWAUKIE, CLACKAMAS COUNTY, OREGON.

PROPERTY LOCATION

NORTH OF THE INTERSECTION OF SE SCOTT STREET AND SE MAIN STREET AND WEST OF SE 23RD AVENUE IN MILWAUKIE, OR, 97222.

EXISTING LAND USE

SITE IS CURRENTLY DEVELOPED WITH AN EXISTING COMMERCIAL STRUCTURE AND SURFACE PARKING LOT

PROJECT PURPOSE

MULTIFAMILY RESIDENTIAL HOUSING COMMUNITY

ZONING

TAX LOT 401 – DOWNTOWN MIXED USE (DMU) & R5
TAX LOT 402 – DOWNTOWN MIXED USE (DMU)

TOTAL SITE AREA

TAX LOT 401 – 1.62± AC (70,567± SF)
TAX LOT 402 – 0.32± AC (13,950± SF)

VERTICAL DATUM

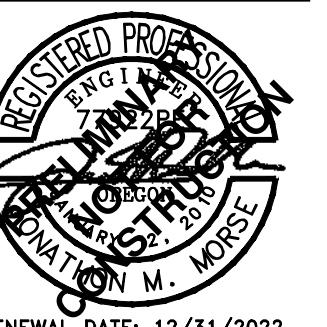
ELEVATIONS ARE BASED ON NGS BENCHMARK NO RD1488, LOCATED AT THE INTERSECTION OF STATE HWY 224 AND MONROE ST. ELEVATION = 97.93 FEET (NAVD 88)

SHEET INDEX

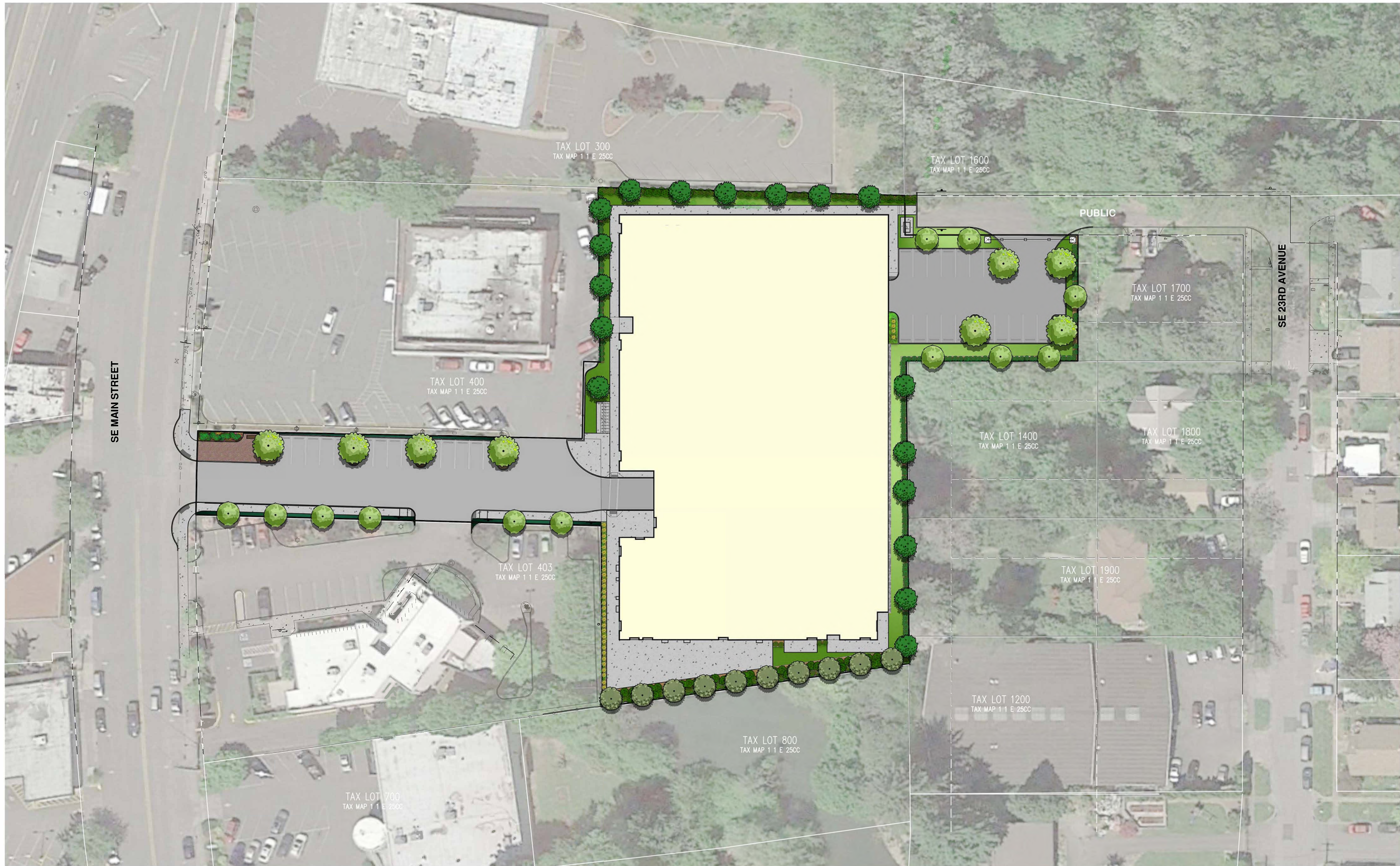
- P-00 COVER SHEET WITH SITE AND VICINITY MAPS
- P-01 PRELIMINARY COLOR LANDSCAPE PLAN
- P-02 PRELIMINARY AERIAL PHOTOGRAPH PLAN
- P-03 EXISTING CONDITIONS PLAN
- P-04 PRELIMINARY DEMOLITION PLAN
- P-05 PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN
- P-06 PRELIMINARY TREE PRESERVATION AND REMOVAL TABLE
- P-07 CONSTRUCTION MANAGEMENT GRADING EROSION & SEDIMENT CONTROL PLAN
- P-08 PRELIMINARY FIRE ACCESS & WATER SUPPLY PLAN
- P-09 PRELIMINARY COMPOSITE UTILITY PLAN
- P-10 PRELIMINARY DIMENSIONED SITE PLAN
- P-11 PRELIMINARY DETAILED LANDSCAPE PLAN
- P-12 PRELIMINARY PHOTOMETRIC PLAN

LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
DECIDUOUS TREE			STORM DRAIN CLEAN OUT		
CONIFEROUS TREE			STORM DRAIN CATCH BASIN		
FIRE HYDRANT			STORM DRAIN AREA DRAIN		
WATER BLOWOFF			STORM DRAIN MANHOLE		
WATER METER			GAS METER		
WATER VALVE			GAS VALVE		
DOUBLE CHECK VALVE			GUY WIRE ANCHOR		
AIR RELEASE VALVE			UTILITY POLE		
SANITARY SEWER CLEAN OUT			POWER VAULT		
SANITARY SEWER MANHOLE			POWER JUNCTION BOX		
SIGN			POWER PEDESTAL		
STREET LIGHT			COMMUNICATIONS VAULT		
MAILBOX			COMMUNICATIONS JUNCTION BOX		
			COMMUNICATIONS RISER		
RIGHT-OF-WAY LINE					
BOUNDARY LINE					
PROPERTY LINE					
CENTERLINE					
DITCH					
CURB					
EDGE OF PAVEMENT					
EASEMENT					
FENCE LINE					
GRAVEL EDGE					
POWER LINE					
OVERHEAD WIRE					
COMMUNICATIONS LINE					
FIBER OPTIC LINE					
GAS LINE					
STORM DRAIN LINE					
SANITARY SEWER LINE					
WATER LINE					



RENEWAL DATE: 12/31/2022
JOB NUMBER: 8145
DATE: 05/27/2021
DESIGNED BY: GSH
DRAWN BY: GSH
CHECKED BY: JMM



SE MAIN STREET

SE 23RD AVENUE

TAX LOT 300
TAX MAP 1 1 E 25CC

TAX LOT 1600
TAX MAP 1 1 E 25CC

PUBLIC

TAX LOT 1700
TAX MAP 1 1 E 25CC

TAX LOT 400
TAX MAP 1 1 E 25CC

TAX LOT 1400
TAX MAP 1 1 E 25CC

TAX LOT 1800
TAX MAP 1 1 E 25CC

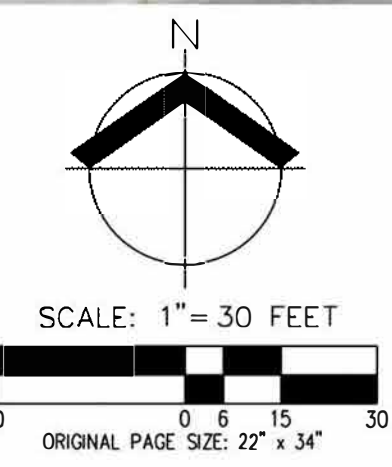
TAX LOT 403
TAX MAP 1 1 E 25CC

TAX LOT 1900
TAX MAP 1 1 E 25CC

TAX LOT 700
TAX MAP 1 1 E 25CC

TAX LOT 1200
TAX MAP 1 1 E 25CC

TAX LOT 800
TAX MAP 1 1 E 25CC

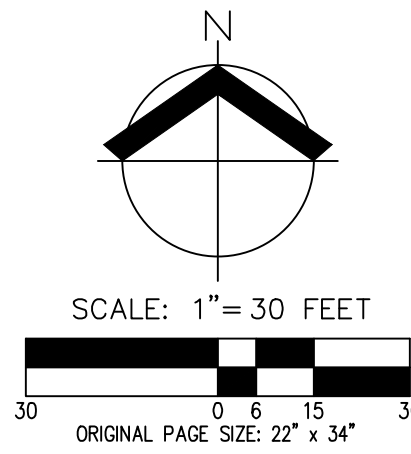


PRELIMINARY COLOR LANDSCAPE PLAN
HENLEY PLACE
PAHLISCH COMMERCIAL
MILWAUKIE OREGON

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NUMBER:	8145
DATE:	05/11/2021
DESIGNED BY:	TEB
DRAWN BY:	TEB
CHECKED BY:	KAH/TEB

P-01



TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
10254	DECIDUOUS	17
10255	DECIDUOUS	6,7,9
10256	DECIDUOUS	7,7,10
10257	DECIDUOUS	6,10
10258	DECIDUOUS	8,9
10260	DECIDUOUS	7,7
10261	DECIDUOUS	15
10262	DECIDUOUS	6,9,14
10291	DECIDUOUS	8
10292	CONIFEROUS	36
10293	CONIFEROUS	19
10294	CONIFEROUS	28
10295	CONIFEROUS	22
10297	DECIDUOUS	12
10298	DECIDUOUS	10
10299	DECIDUOUS	11
10300	DECIDUOUS	12
10301	DECIDUOUS	9
10302	DECIDUOUS	6,6
10303	DECIDUOUS	10

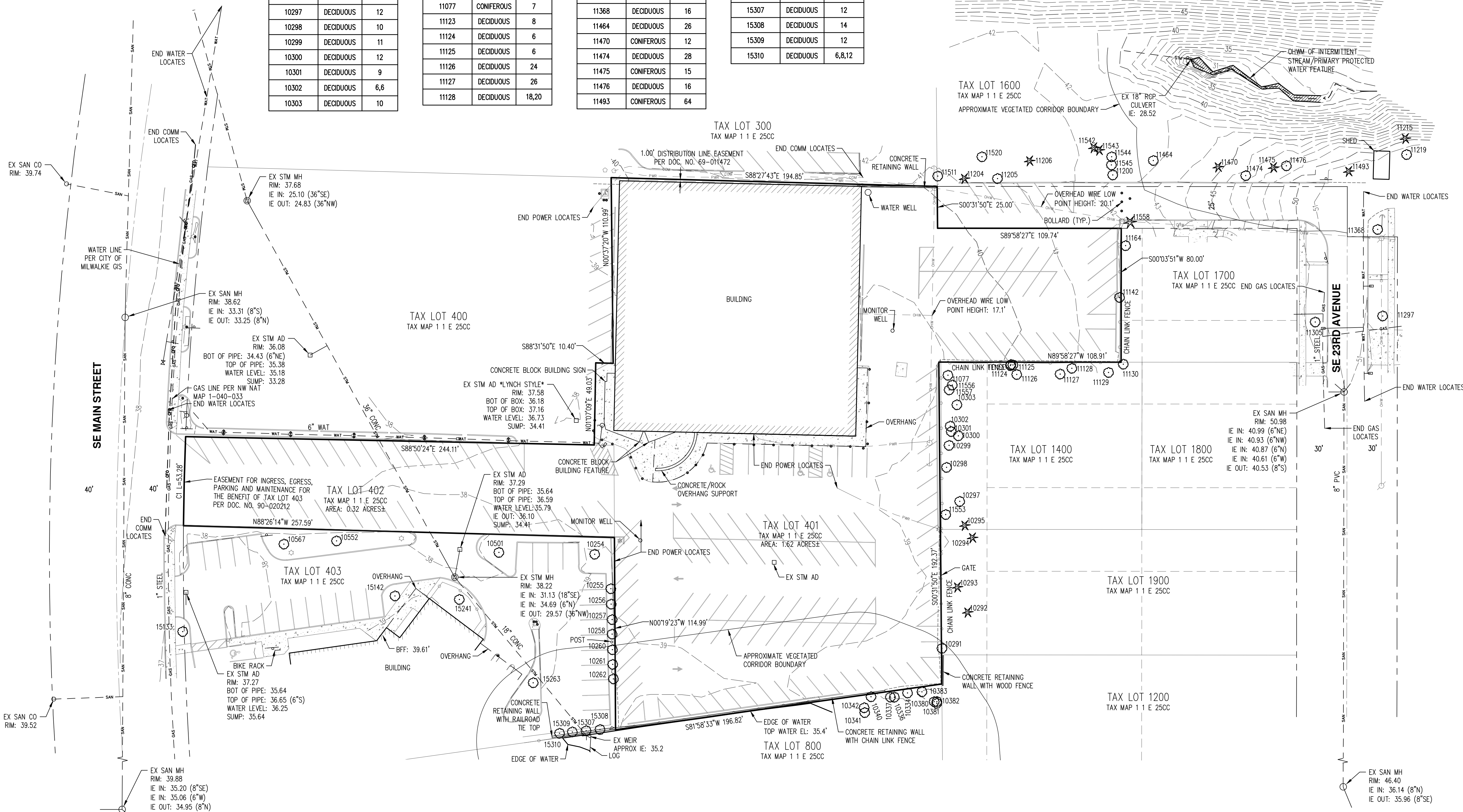
TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
10334	DECIDUOUS	8
10336	DECIDUOUS	7
10337	DECIDUOUS	8
10340	DECIDUOUS	8
10341	DECIDUOUS	7
10342	DECIDUOUS	10
10380	DECIDUOUS	8
10381	DECIDUOUS	10
10382	DECIDUOUS	10
10383	DECIDUOUS	10
10501	DECIDUOUS	16
10552	DECIDUOUS	18
10567	DECIDUOUS	13
11077	CONIFEROUS	7
11123	DECIDUOUS	8
11124	DECIDUOUS	6
11125	DECIDUOUS	6
11126	DECIDUOUS	24
11127	DECIDUOUS	26
11128	DECIDUOUS	18,20

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
11129	DECIDUOUS	10
11130	DECIDUOUS	7
11142	DECIDUOUS	6,8,9
11164	DECIDUOUS	20
11179	CONIFEROUS	7,10
11200	DECIDUOUS	11,15,16
11204	CONIFEROUS	20
11205	DECIDUOUS	9,10
11206	CONIFEROUS	23
11215	CONIFEROUS	42
11219	DECIDUOUS	15,18
11297	DECIDUOUS	8
11305	DECIDUOUS	33
11368	DECIDUOUS	16
11464	DECIDUOUS	26
11470	CONIFEROUS	12
11474	DECIDUOUS	28
11475	CONIFEROUS	15
11476	DECIDUOUS	16
11493	CONIFEROUS	64

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
11511	DECIDUOUS	11,16
11520	DECIDUOUS	7
11542	CONIFEROUS	16
11543	CONIFEROUS	17
11544	DECIDUOUS	7
11545	DECIDUOUS	10,12
11553	DECIDUOUS	8
11556	DECIDUOUS	8
11557	DECIDUOUS	12
15133	DECIDUOUS	6
15142	DECIDUOUS	6
15241	DECIDUOUS	6,6
15263	DECIDUOUS	7,9,9,10,10
15307	DECIDUOUS	12
15308	DECIDUOUS	14
15309	DECIDUOUS	12
15310	DECIDUOUS	6,8,12

NOTES:

- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PROVIDED PER UTILITY LOCATE TICKET NUMBERS 21006675, 21006685, 21006727, AND 21006728. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- FIELD SURVEY WORK WAS CONDUCTED JANUARY 12-14 AND 18, AND FEBRUARY 4, 2021.
- HORIZONTAL DATUM: A LOCAL DATUM PLANE DERIVED FROM STATE PLANE OREGON NORTH 3601 NAD83(2011)EPOCH: 2010.0000 BY MULTIPLYING BY A PROJECT MEAN GROUND COMBINED SCALE FACTOR OF 1.0000919383 AT A CENTRAL PROJECT POINT WITH INTERNATIONAL FOOT STATE PLANE GRID COORDINATES N656566.269 E7652877.279 AND A MERIDIAN CONVERGENCE ANGLE OF -131'04". STATE PLANE COORDINATES WERE DERIVED FROM GPS OBSERVATIONS USING THE TRIMBLE VRS NOW NETWORK. DISTANCES SHOWN ARE INTERNATIONAL FOOT GROUND VALUES.
- VERTICAL DATUM: ELEVATIONS ARE BASED ON NGS BENCHMARK NO. RD1488, LOCATED AT THE INTERSECTION OF STATE HWY 224 AND MONROE ST. ELEVATION = 97.93 FEET (NAVD 88).
- THIS IS NOT A PROPERTY BOUNDARY SURVEY TO BE RECORDED WITH THE COUNTY SURVEYOR. BOUNDARIES MAY BE PRELIMINARY AND SHOULD BE CONFIRMED WITH THE STAMPING SURVEYOR PRIOR TO RELYING ON FOR DETAILED DESIGN OR CONSTRUCTION.
- BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING TIES.
- CONTOUR INTERVAL IS 1 FOOT.
- TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE MEASURED UTILIZING A DIAMETER TAPE AT BREAST HEIGHT. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.
- OFF-SITE ORDINARY HIGH WATER MARK (OHWM) BOUNDARY SHOWN WAS DELINEATED BY AKS ENGINEERING & FORESTRY, LLC. ON FEBRUARY 3, 2021 AND WAS PROFESSIONALLY SURVEYED BY AKS ON FEBRUARY 4, 2021.



**EXISTING CONDITIONS PLAN
 HENLEY PLACE
 PAHLISCH COMMERCIAL
 MILWAUKIE, OREGON**

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
 JANUARY 11, 2005
 ROBERT D. RETTIG
 60124LS
 RENEWS: 12/31/22

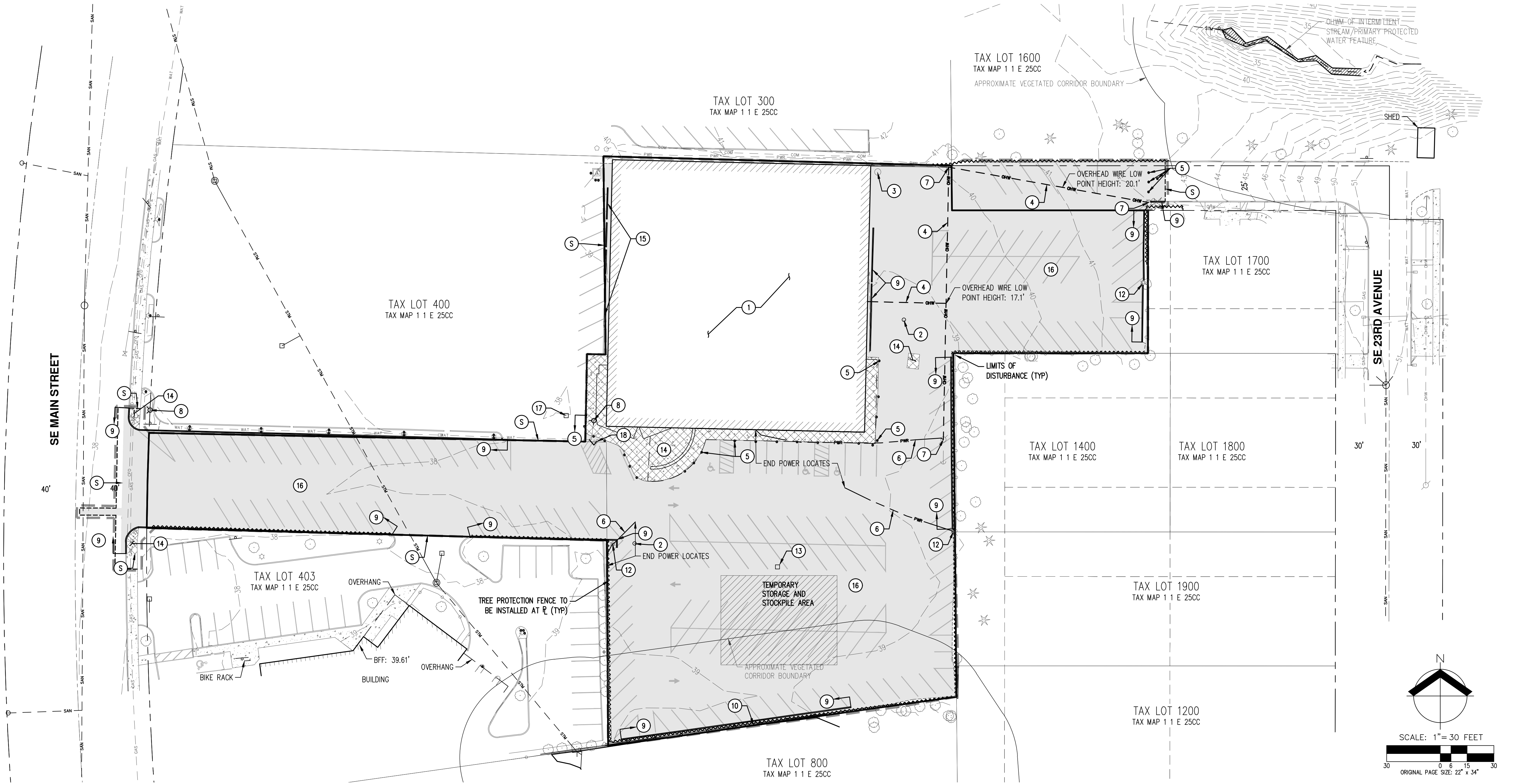
JOB NUMBER: 8145
 DATE: 05/27/2021
 DESIGNED BY:
 DRAWN BY: MSD
 CHECKED BY: MTB

AKS DRAWING FILE: B145 EXCOND.DWG | LAYOUT: P-03

**PRELIMINARY DEMOLITION PLAN
 HENLEY PLACE
 PAHLISCH COMMERCIAL
 MILWAUKIE, OREGON**



RENEWAL DATE: 12/31/2022
 JOB NUMBER: 8145
 DATE: 05/27/2021
 DESIGNED BY: GSH
 DRAWN BY: GSH
 CHECKED BY: JMM



PRELIMINARY DEMOLITION NOTES:

- CONTRACTOR SHALL COORDINATE OFFSITE WORK WITH ADJACENT PROPERTY OWNER(S).
- ANY EXISTING WELLS, SEPTIC SYSTEMS, OR DRAIN FIELDS SHALL BE DECOMMISSIONED AND REMOVED BY CONTRACTOR PER LOCAL AND STATE REQUIREMENTS.
- EXISTING IMPROVEMENTS/LANDSCAPING OUTSIDE OF THE PROJECT LIMITS AND NOT IDENTIFIED FOR REMOVAL SHALL BE PROTECTED, REPAIRED, OR REPLANTED PRIOR TO PROJECT CLOSEOUT AT CONTRACTORS EXPENSE.
- CONTRACTOR SHALL MAINTAIN LOCAL ACCESS (VEHICULAR AND PEDESTRIAN) TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- SEE PRELIMINARY TREE PRESERVATION AND REMOVAL PLANS ON SHEET P-05 FOR TREE PROTECTION INFORMATION.
- CONTRACTOR TO COORDINATE WITH ADJACENT PROPERTY OWNERS TO OBTAIN A TEMPORARY CONSTRUCTION EASEMENT TO ALLOW FOR SMOOTH TRANSITIONS FROM NEW IMPROVEMENTS TO MATCH EXISTING.

KEYED DEMOLITION NOTES

- S. SAWCUT LINE (TYP). APPROXIMATE EXTENTS SHOWN.
- EXISTING BUILDING TO BE REMOVED.
 - EXISTING MONITORING WELL TO BE DECOMMISSIONED AND REMOVED PER LOCAL AND STATE JURISDICTIONAL STANDARDS.
 - EXISTING WATER WELL TO BE DECOMMISSIONED AND REMOVED PER LOCAL AND STATE JURISDICTIONAL STANDARDS.
 - EXISTING OVERHEAD UTILITY TO BE DISCONNECTED AND REMOVED OR RELOCATED UNDERGROUND AS NECESSARY. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER(S).
 - EXISTING BOLLARD(S) TO BE REMOVED (TYP).
 - EXISTING UNDERGROUND POWER TO BE DISCONNECTED AND REMOVED AS NECESSARY. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER(S).
 - EXISTING UTILITY POLE TO BE REMOVED OR RELOCATED. CONTRACTOR TO COORDINATE REMOVAL WITH UTILITY PROVIDER(S).
 - EXISTING FIRE HYDRANT TO REMAIN.
 - EXISTING CURB TO BE REMOVED.
 - EXISTING FENCE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH ADJACENT PROPERTY OWNER.
 - <NOT USED>.
 - EXISTING OVERHEAD LIGHT AND POLE TO BE REMOVED.
 - EXISTING AREA DRAIN TO BE REMOVED.
 - EXISTING CONCRETE TO BE REMOVED.
 - EXISTING PARKING AREA ENCROACHMENT TO BE REMOVED AND COORDINATED WITH ADJACENT PROPERTY OWNER.
 - EXISTING ASPHALT PAVEMENT TO BE REMOVED.
 - EXISTING AREA DRAIN TO REMAIN.
 - EXISTING WATER METER TO BE REMOVED (COORDINATE WITH CITY). PRESERVE METER FOR SDC CREDIT.

LEGEND

EXISTING GROUND CONTOUR (1 FT)	
EXISTING GROUND CONTOUR (5 FT)	
SAWCUT LINE (APPROXIMATE EXTENTS)	
LIMITS OF DISTURBANCE (APPROXIMATE EXTENTS)	
INITIAL TREE PROTECTION/CONSTRUCTION FENCE	
EXISTING ASPHALT TO BE REMOVED	
EXISTING CONCRETE/HARDSCAPE TO BE REMOVED	
EXISTING TREE TO BE PRESERVED SEE PRELIMINARY TREE PRESERVATION AND REMOVAL PLANS FOR TREE REMOVAL INFORMATION	
	CONIFER DECIDUOUS

PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN



**HENLEY PLACE
PAHLISCH COMMERCIAL
MILWAUKIE, OREGON**



RENEWAL DATE: 12/31/2022

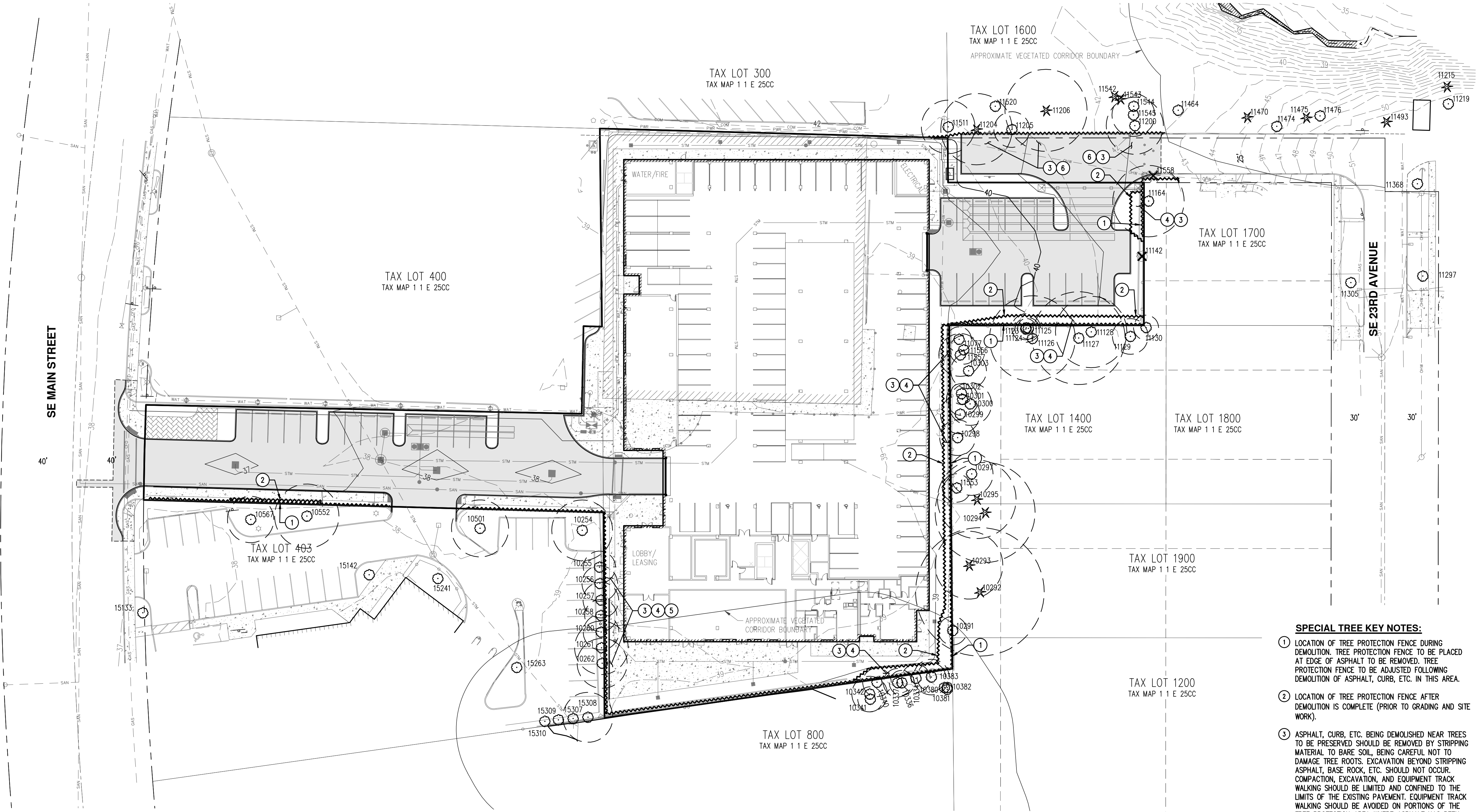
JOB NUMBER: 8145

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DESIGNED BY: GSH

DRAWN BY: GSH

CHECKED BY: JMM

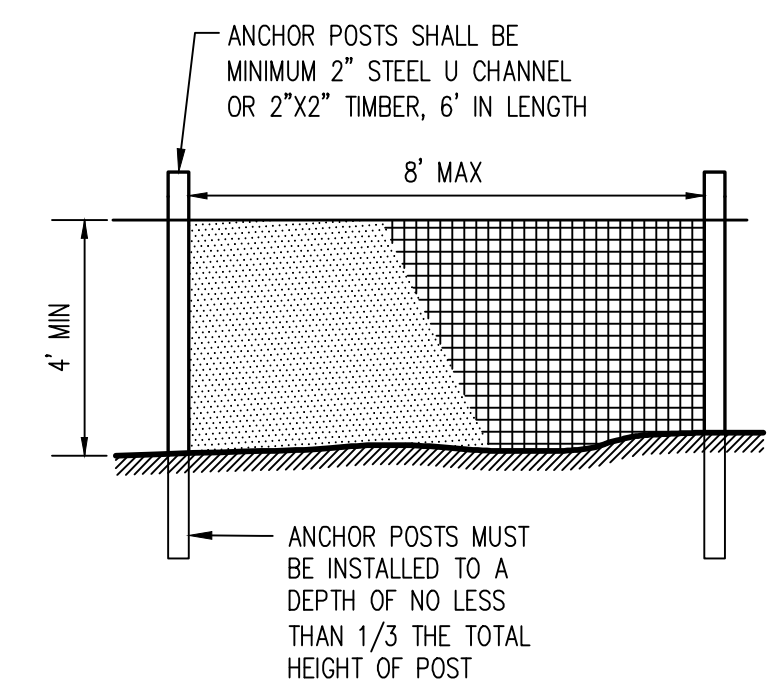


SPECIAL TREE KEY NOTES:

- 1 LOCATION OF TREE PROTECTION FENCE DURING DEMOLITION. TREE PROTECTION FENCE TO BE PLACED AT EDGE OF ASPHALT TO BE REMOVED. TREE PROTECTION FENCE TO BE ADJUSTED FOLLOWING DEMOLITION OF ASPHALT, CURB, ETC. IN THIS AREA.
- 2 LOCATION OF TREE PROTECTION FENCE AFTER DEMOLITION IS COMPLETE (PRIOR TO GRADING AND SITE WORK).
- 3 ASPHALT, CURB, ETC. BEING DEMOLISHED NEAR TREES TO BE PRESERVED SHOULD BE REMOVED BY STRIPPING MATERIAL TO BARE SOIL, BEING CAREFUL NOT TO DAMAGE TREE ROOTS. EXCAVATION BEYOND STRIPPING ASPHALT, BASE ROCK, ETC. SHOULD NOT OCCUR. COMPACTION, EXCAVATION, AND EQUIPMENT TRACK WALKING SHOULD BE LIMITED AND CONFINED TO THE LIMITS OF THE EXISTING PAVEMENT. EQUIPMENT TRACK WALKING SHOULD BE AVOIDED ON PORTIONS OF THE TREE PROTECTION AREA WHERE ASPHALT HAS BEEN REMOVED. IF CONSTRUCTION ACCESS IS DESIRED IN AREAS WHERE ASPHALT HAS BEEN REMOVED, THEN STEEL PLATES, MULCH, OR OTHER MATERIAL AS APPROVED BY THE PROJECT ARBORIST SHOULD BE PLACED SO AS NOT TO CAUSE EXCESSIVE SOIL COMPACTION. A CERTIFIED ARBORIST SHALL BE ONSITE DURING DEMOLITION IN THIS AREA.
- 4 TREE PRUNING MAY BE REQUIRED FOR CONSTRUCTION ACTIVITIES IN THIS AREA.
- 5 ARBORIST OBSERVATION REQUIRED FOR CONSTRUCTION ACTIVITIES IN THIS AREA.
- 6 PAVEMENT BEING PLACED NEAR TREES TO BE PRESERVED SHOULD BE CONSTRUCTED BY STRIPPING GRASS/ORGANIC MATERIAL TO BARE SOIL, BEING CAREFUL NOT TO DAMAGE TREE ROOTS, AND THEN PLACING CONSTRUCTION MATERIALS. EXCAVATION BEYOND STRIPPING GRASS/ORGANIC MATERIAL SHOULD NOT OCCUR. IF NECESSARY TO LEVEL THE PAVEMENT, MINOR AMOUNTS OF FILL MATERIAL SHOULD BE USED INSTEAD OF EXCAVATING SOIL. COMPACTION AND EQUIPMENT TRACK WALKING SHOULD BE LIMITED AND CONFINED TO THE LIMITS OF THE NEW PAVEMENT. A CERTIFIED ARBORIST SHALL BE ONSITE DURING CONSTRUCTION ACTIVITIES IN THIS AREA.

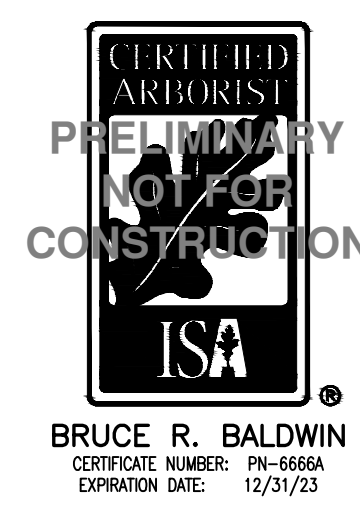
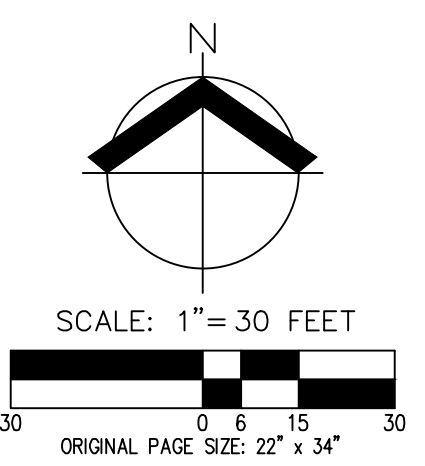
LEGEND

EXISTING GROUND CONTOUR (1 FT)	---	149
EXISTING GROUND CONTOUR (5 FT)	---	150
FINISHED GRADE CONTOUR (1 FT)	---	149
FINISHED GRADE CONTOUR (5 FT)	---	150
EXISTING CONIFEROUS TREE	*	
EXISTING DECIDUOUS TREE	○	
TREE REMOVAL	✕	
TREE PROTECTION/CONSTRUCTION FENCE (TREE PROTECTION AREA)	~~~~~	
ASSUMED TREE ROOT ZONE (1-FT RADIUS PER 1-IN OF DBH)	○	



- NOTES:
1. BLAZE ORANGE PLASTIC MESH FENCE FOR TREE PROTECTION DEVICE OR APPROVED EQUAL.
 2. AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS.
 3. DEVICE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION / CONSTRUCTION FENCE



Detailed Tree Inventory for Henley Place

AKS Job No. 8145 - Evaluation Date: 1/26/2021 - Evaluated by: BRK

Tree #	DBH (In.)	Avg. Crown Radius (ft)	Tree Species Common Name (Scientific name)	Comments	Health Rating*	Structure Rating**	Remove/Preserve
10254	17	11	Purple-leaf Plum (<i>Prunus cerasifera</i>)	OFFSITE; Evaluated from property line; Topped limbs; Dead limbs	2	2	Preserve
10255	6,7,9	10	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10256	7,7,10	13	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10257	6,10	13	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from property line; Small cavities with decay	2	1	Preserve
10258	8,9	13	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from property line; Codominant with included bark	1	2	Preserve
10260	7,10	13	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from property line; Small cavities with decay	2	1	Preserve
10261	15	10	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10262	6,9,14	11	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from property line; Exposed roots (S) with damage; Cavities with decay	2	2	Preserve
10291	8	15	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind large shrub	1	1	Preserve
10292	36	18	Ponderosa Pine (<i>Pinus ponderosa</i>)	OFFSITE; Evaluated behind large shrub	1	1	Preserve
10293	19	14	Western Redcedar (<i>Thuja plicata</i>)	OFFSITE; Evaluated behind large shrub; Abnormal dead foliage	2	1	Preserve
10294	28	20	Ponderosa Pine (<i>Pinus ponderosa</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
10295	22	15	Ponderosa Pine (<i>Pinus ponderosa</i>)	OFFSITE; Evaluated behind fence; Lean (N)	1	2	Preserve
10297	12	16	Willow (<i>Salix sp.</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
10298	10	16	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
10299	11	16	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
10300	12	16	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
10301	9	16	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
10302	6,6	16	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
10303	10	16	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
10334	8	13	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10336	7	12	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated from property line; Fungus growth	2	1	Preserve
10337	8	12	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10340	8	14	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10341	7	13	Black Locust (<i>Robinia pseudoacacia</i>)	OFFSITE; Evaluated from property line; Splitting bark; Lean (S)	3	2	Preserve
10342	10	16	Black Locust (<i>Robinia pseudoacacia</i>)	OFFSITE; Evaluated from property line; Splitting bark	3	2	Preserve
10380	8	17	Black Locust (<i>Robinia pseudoacacia</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10381	10	17	Black Locust (<i>Robinia pseudoacacia</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10382	10	17	Black Locust (<i>Robinia pseudoacacia</i>)	OFFSITE; Evaluated from property line	1	1	Preserve
10383	10	17	Black Locust (<i>Robinia pseudoacacia</i>)	OFFSITE; Evaluated from property line; 1-sided canopy (N)	1	2	Preserve
10501	16	9	Purple-leaf Plum (<i>Prunus cerasifera</i>)	OFFSITE; Evaluated from property line; Topped limbs; Dead limbs	2	2	Preserve
10552	18	13	Purple-leaf Plum (<i>Prunus cerasifera</i>)	OFFSITE; Evaluated from property line; Topped limbs; Dead limbs	2	2	Preserve
10567	13	12	Purple-leaf Plum (<i>Prunus cerasifera</i>)	OFFSITE; Evaluated from property line; Topped limbs; Dead limbs	2	2	Preserve
11077	7	10	Dogwood (<i>Cornus sp.</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
11123	8	22	Norway Maple (<i>Acer platanoides</i>)	OFFSITE; Evaluated behind fence; Suppressed; 1-sided canopy (N); Dead limbs	2	2	Preserve
11124	6	22	Norway Maple (<i>Acer platanoides</i>)	OFFSITE; Evaluated behind fence; Suppressed; 1-sided canopy (N); Dead limbs	2	2	Preserve
11125	6	22	Norway Maple (<i>Acer platanoides</i>)	OFFSITE; Evaluated behind fence; Suppressed; 1-sided canopy (N); Dead limbs	2	2	Preserve
11126	24	32	Norway Maple (<i>Acer platanoides</i>)	OFFSITE; Evaluated behind fence; 7" crack from split at codominance	2	3	Preserve
11127	26	19	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
11128	18,20	22	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence; Cavities with decay; Lean (N)	2	2	Preserve
11129	10	14	Rhododendron (<i>Rhododendron</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
11130	7	14	Rhododendron (<i>Rhododendron</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
11142	6,8,9	18	Purple-leaf Plum (<i>Prunus cerasifera</i>)	Dead branches	2	1	Remove
11164	20	20	Tulip Magnolia (<i>Magnolia liliflora</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
11200	11,15,16	24	Bigleaf Maple (<i>Acer macrophyllum</i>)	OFFSITE; Codominant; Cavities with decay; Pruned limbs; Dead limbs	2	2	Preserve
11204	20	12	Port Orford Cedar (<i>Chamaecyparis lawsoniana</i>)	OFFSITE; Pruned for overhead wires; Codominant top; Large scar	2	2	Preserve
11205	9,10	9	Common Holly (<i>Ilex aquifolium</i>)	OFFSITE	1	1	Preserve
11206	23	18	Norway Spruce (<i>Picea abies</i>)	OFFSITE	1	1	Preserve
11215	42	22	Douglas-fir (<i>Pseudotsuga menziesii</i>)	OFFSITE; Evaluated from Right-of-Way	1	1	Preserve
11219	15,18	19	Rhododendron (<i>Rhododendron</i>)	OFFSITE; Evaluated from Right-of-Way; 1-sided canopy (S)	1	1	Preserve
11297	8	8	Cherry (<i>Prunus sp.</i>)	OFFSITE	1	1	Preserve
11305	33	36	Black Walnut (<i>Juglans nigra</i>)	OFFSITE	1	1	Preserve
11368	16	12	Cherry (<i>Prunus sp.</i>)	OFFSITE; Pruned for overhead wires; Dead branches	2	1	Preserve
11464	26	30	Yellow Poplar (<i>Liriodendron tulipifera</i>)	OFFSITE; 1-sided canopy (S)	1	2	Preserve
11470	12	10	Blue Spruce (<i>Picea pungens</i>)	OFFSITE; 1-sided canopy (S); Lean (S); Dead foliage	2	2	Preserve
11474	28	20	Bigleaf Maple (<i>Acer macrophyllum</i>)	OFFSITE	1	1	Preserve
11475	15	15	Blue Spruce (<i>Picea pungens</i>)	OFFSITE; Ivy coverage; Lean (S); Sparse canopy	2	2	Preserve
11476	16	27	Black Walnut (<i>Juglans nigra</i>)	OFFSITE; Lean (S)	1	2	Preserve
11493	64	30	Redwood (<i>Sequoia sempervirens</i>)	OFFSITE; Codominant with included bark	1	2	Preserve
11511	11,16	15	English Hawthorn (<i>Crataegus monogyna</i>)	OFFSITE; Pruned for overhead wires; 1-sided canopy (W); Ivy coverage	2	2	Preserve
11520	7	0	Black Cottonwood (<i>Populus trichocarpa</i>)	OFFSITE; Dead	3	3	Preserve
11542	16	12	Western Redcedar (<i>Thuja plicata</i>)	OFFSITE; Codominant top with included bark	1	2	Preserve
11543	17	12	Western Redcedar (<i>Thuja plicata</i>)	OFFSITE; Codominant top with included bark	1	2	Preserve
11544	7	7	Bigleaf Maple (<i>Acer macrophyllum</i>)	OFFSITE; Ivy coverage; Very sparse canopy; Cavities with decay	3	2	Preserve
11545	10,12	19	Bigleaf Maple (<i>Acer macrophyllum</i>)	OFFSITE; 10" stem is dead; 12" stem 1-sided canopy (W); Ivy coverage	2	2	Preserve
11553	8	16	English Hawthorn (<i>Crataegus monogyna</i>)	OFFSITE; Evaluated behind fence; 1-sided canopy (W); Lean (W)	1	2	Preserve
11556	8	18	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
11557	12	13	Common Laurel (<i>Prunus laurocerasus</i>)	OFFSITE; Evaluated behind fence	1	1	Preserve
11558	7,10	9	Western Redcedar (<i>Thuja plicata</i>)	OFFSITE; Topped for overhead wires	2	3	Remove
15133	6	9	Red Maple (<i>Acer rubrum</i>)	OFFSITE; Evaluated from Property Line	1	1	Preserve
15142	6	12	Maple (<i>Acer sp.</i>)	OFFSITE; Evaluated from Property Line	1	1	Preserve
15241	6,6	14	Maple (<i>Acer sp.</i>)	OFFSITE; Evaluated from Property Line	1	1	Preserve
15263	10,10,9,7	17	Maple (<i>Acer sp.</i>)	OFFSITE; Evaluated from Property Line	1	1	Preserve
15307	12	16	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from Property Line	1	1	Preserve
15308	14	13	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from Property Line	1	1	Preserve
15309	12	16	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from Property Line	1	1	Preserve
15310	12,8,6	16	Japanese Zelkova (<i>Zelkova serrata</i>)	OFFSITE; Evaluated from Property Line	1	1	Preserve

Total # of Existing Trees Inventoried = 77

Total # of Existing Onsite Trees = 1

Total # of Existing Onsite Trees to be Preserved = 0
Total # of Existing Onsite Trees to be Removed = 1

Total # of Existing Offsite Trees = 76

Total # of Existing Offsite Trees to be Preserved = 75
Total # of Existing Offsite Trees to be Removed = 1

***Health Rating:**

- 1 = Good Health - A tree that exhibits typical foliage, bark, and root characteristics, for its respective species, shows no signs of infection or infestation, and has a high level of vigor and vitality.
- 2 = Fair Health - A tree that exhibits some abnormal health characteristics and/or shows some signs of infection or infestation, but may be reversed or abated with supplemental treatment.
- 3 = Poor Health - A tree that is in significant decline, to the extent that supplemental treatment would not likely result in reversing or abating its decline.

****Structure Rating:**

- 1 = Good Structure - A tree that exhibits typical physical form characteristics, for its respective species, shows no signs of structural defects of the canopy, trunk, and/or root system.
- 2 = Fair Structure - A tree that exhibits some abnormal physical form characteristics and/or some signs of structural defects, which reduce the structural integrity of the tree, but are not indicative of imminent physical failure, and may be corrected using arboricultural abatement methods.
- 3 = Poor Structure - A tree that exhibits extensively abnormal physical form characteristics and/or significant structural defects that substantially reduces the structural viability of the tree, cannot feasibly be abated, and are indicative of imminent physical failure.

Arborist Disclosure Statement:

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the health of trees, and attempt to reduce the risk of living near trees. The Client and Jurisdiction may choose to accept or disregard the recommendations of the arborist, or seek additional advice. Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like medicine, cannot be guaranteed. Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees. Neither this author nor AKS Engineering & Forestry, LLC have assumed any responsibility for liability associated with the trees on or adjacent to this site.

At the completion of construction, all trees should once again be reviewed. Land clearing and removal of adjacent trees can expose previously unseen defects and otherwise healthy trees can be damaged during construction.

TREE PRESERVATION NOTES:

PLACING MATERIALS NEAR TREES:

- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE TREE PROTECTION AREA OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO, PARKING EQUIPMENT, PLACING SOLVENTS, STORING BUILDING MATERIAL AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT.

ATTACHMENTS TO TREES:

- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY OBJECT TO ANY TREE DESIGNATED FOR PROTECTION.

GRADING NEAR TREES:

- THE GRADE SHALL NOT BE ELEVATED OR REDUCED WITHIN THE TREE PROTECTION AREA OF TREES TO BE PRESERVED WITHOUT THE PROJECT ARBORIST'S AUTHORIZATION. THE PROJECT ARBORIST MAY ALLOW COVERAGE OF UP TO ONE HALF OF THE AREA OF THE TREE'S ASSUMED ROOT ZONE WITH LIGHT SOILS (NO CLAY) TO THE MINIMUM DEPTH NECESSARY TO CARRY OUT GRADING OR LANDSCAPING PLANS, IF IT WILL NOT IMPERIL THE SURVIVAL OF THE TREE. AERATION DEVICES MAY BE REQUIRED TO ENSURE THE TREE'S SURVIVAL.
- IF THE GRADE ADJACENT TO A PRESERVED TREE IS RAISED SUCH THAT IT COULD SLOUGH OR ERODE INTO THE TREE PROTECTION AREA, IT SHALL BE PERMANENTLY STABILIZED TO PREVENT SUFFOCATION OF THE ROOTS.
- THE APPLICANT SHALL NOT INSTALL AN IMPERVIOUS SURFACE WITHIN THE TREE PROTECTION AREA WITHOUT THE AUTHORIZATION OF THE PROJECT ARBORIST. THE PROJECT ARBORIST MAY REQUIRE SPECIFIC CONSTRUCTION METHODS AND/OR USE OF AERATION DEVICES TO ENSURE THE TREE'S SURVIVAL AND TO MINIMIZE THE POTENTIAL FOR ROOT INDUCED DAMAGE TO THE IMPERVIOUS SURFACE.
- TO THE GREATEST EXTENT PRACTICAL, UTILITY TRENCHES SHALL BE LOCATED OUTSIDE OF THE TREE PROTECTION AREA. THE PROJECT ARBORIST MAY REQUIRE THAT UTILITIES BE TUNNELED UNDER THE ROOTS OF TREES TO BE RETAINED IF THE PROJECT ARBORIST DETERMINES THAT TRENCHING WOULD SIGNIFICANTLY REDUCE THE CHANCES OF THE TREE'S SURVIVAL.
- TREES AND OTHER VEGETATION TO BE RETAINED SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. CLEARING OPERATIONS SHALL BE CONDUCTED SO AS TO EXPOSE THE SMALLEST PRACTICAL AREA OF SOIL FOR THE LEAST POSSIBLE AMOUNT OF TIME. SHRUBS, GROUND COVER, AND STUMPS SHALL BE MAINTAINED TO CONTROL EROSION, WHERE FEASIBLE. WHERE NOT FEASIBLE, APPROPRIATE EROSION CONTROL PRACTICES SHALL BE IMPLEMENTED.

ADDITIONAL REQUIREMENTS:

- THE PROJECT ENGINEER MAY REQUIRE ADDITIONAL TREE PROTECTION MEASURES WHICH ARE CONSISTENT WITH ACCEPTED URBAN FORESTRY PRACTICES.

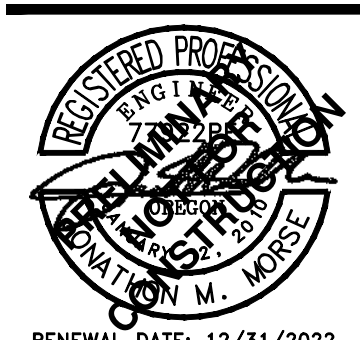
EXCAVATION NEAR TREES:

- EXCAVATION IN THE TOP 24 INCHES OF SOIL SHOULD BEGIN AT THE EXCAVATION LINE THAT IS CLOSEST TO THE TREE / TREE PROTECTION AREA.
- THE EXCAVATION SHOULD BE DONE BY HAND/SHOVEL OR WITH AN EXCAVATOR AND A PERSON WITH A SHOVEL, PRUNING SHEARS, AND A PRUNING SAW.
- IF DONE BY HAND, ALL ROOTS 1-INCH DIAMETER OR LARGER SHOULD BE PRUNED AT THE EXCAVATION LINE.
- IF DONE WITH AN EXCAVATOR (MOST LIKELY SCENARIO), THEN THE OPERATOR SHALL START THE CUT AT THE EXCAVATION LINE AND CAREFULLY "FEEL" FOR ROOTS/RESISTANCE. WHEN THERE IS RESISTANCE, THE PERSON WITH THE SHOVEL HAND DIGS AROUND THE ROOTS AND PRUNES THE ROOTS 1-INCH DIAMETER OR LARGER.
- THE EXCAVATOR IS TO REMAIN OFF OF THE TREE ROOTS TO BE PRESERVED AT ALL TIMES.
- ALL ROOTS SHALL BE CUT CLEANLY WITH PRUNING SHEARS OR A PRUNING SAW.
- THE PROJECT ARBORIST MUST BE ON SITE DURING ANY WORK WITHIN THE TREE PROTECTION AREA.

PRUNING/TREE REMOVAL NOTES:

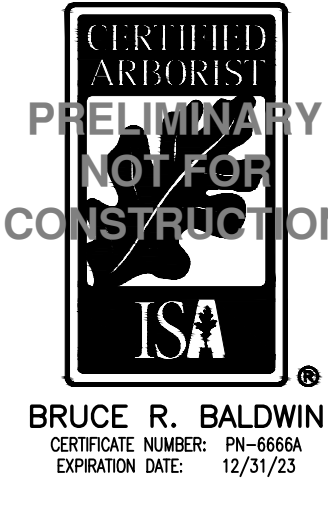
- THE CONTRACTOR SHALL PROVIDE AN ADEQUATE CREW OF PERSONNEL, EQUIPMENT, AND MATERIALS TO SAFELY AND EFFICIENTLY COMPLETE THE ASSIGNED WORK. EACH SUCH CREW SHALL INCLUDE AN INDIVIDUAL WHO SHALL BE DESIGNATED AS THE CREW SUPERVISOR, BE RESPONSIBLE FOR THE CREW'S ACTIVITIES, RECEIVE INSTRUCTION FROM THE OWNER OR THE OWNER'S REPRESENTATIVE, AND DIRECT THE CREW TO ACCOMPLISH SUCH WORK.
- WHENEVER A TREE, WHICH IS NOT SCHEDULED TO BE REMOVED, MUST BE TRIMMED OR PRUNED, THE CONTRACTOR SHALL ENSURE THAT SUCH TRIMMING AND PRUNING IS CARRIED OUT UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST. ALL PRUNING AND TRIMMING SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF ANSI A300 "STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE".
- UNLESS AS OTHERWISE DIRECTED BY THE OWNER, ROOT BALLS FROM TREES BEING REMOVED SHALL BE COMPLETELY REMOVED UNLESS THE ROOT REMOVAL CROSSES ONTO ADJACENT PROPERTIES OR WOULD COMPROMISE TREES BEING PRESERVED. IN THOSE CASES, THE STUMPS SHALL BE GROUND AS NECESSARY SO AS NOT TO CAUSE DAMAGE TO THE ROOT ZONES OF ADJACENT TREES TO BE PRESERVED ON THE SUBJECT PARCEL OR ABUTTING PARCELS. STUMPS NEAR PROPERTY LINES SHALL ALSO BE GROUND AS NECESSARY SO AS NOT TO CAUSE DISTURBANCE TO ADJACENT PARCELS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE LATEST GOVERNMENTAL SAFETY REGULATIONS. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ANSI Z133.1 "PRUNING, TRIMMING, REPAIRING, MAINTAINING AND REMOVING TREES AND CUTTING BRUSH-SAFETY REQUIREMENTS" WITH SPECIAL EMPHASIS GIVEN TO THE REQUIREMENT THAT ONLY QUALIFIED LINE-CLEARANCE TREE TRIMMERS BE ASSIGNED TO WORK WHERE A POTENTIAL ELECTRICAL HAZARD EXISTS.
- THE CONTRACTOR SHALL MAKE ALL THE NECESSARY ARRANGEMENTS WITH ANY UTILITY THAT MUST BE PROTECTED OR RELOCATED IN ORDER TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF THE OPERATING CONDITION OF ALL ACTIVE UTILITIES WITHIN THE AREA OF CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING UTILITIES.
- ANY MATERIAL RESULTING FROM THE TRIMMING OR REMOVAL OF ANY TREES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO DISPOSE OF.
- HAZARDOUS TREE REPORTING: ANY PERSON ENGAGED IN TRIMMING OR PRUNING WHO BECOMES AWARE OF A TREE OF DOUBTFUL STRENGTH, THAT COULD BE DANGEROUS TO PERSONS AND PROPERTY, SHALL REPORT SUCH TREE(S) TO THE OWNER OR THE OWNER'S REPRESENTATIVE. SUCH TREES SHALL INCLUDE THOSE THAT ARE OVER MATURE, DISEASED, OR SHOWING SIGNS OF DECAY OR OTHER STRUCTURAL WEAKNESS.
- TREES DETERMINED TO BE A HAZARD SHALL BE REMOVED AS SOON AS POSSIBLE.
- DAMAGES: ANY DAMAGE CAUSED BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO, BROKEN SIDEWALK, CURB, RUTTED LAWN, BROKEN WATER SHUT-OFFS, WIRE DAMAGE, BUILDING DAMAGE, STREET DAMAGE, ETC., WILL BE REPAIRED OR REPLACED IN A TIMELY MANNER, TO THE OWNER'S SATISFACTION, AND ALL COSTS PAID BY THE CONTRACTOR.
- ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION AREA SHALL BE ACCOMPLISHED WITH HAND OPERATED EQUIPMENT.
- TREES TO BE REMOVED SHALL BE FELLED SO AS TO FALL AWAY FROM TREES TO BE PRESERVED AND TO AVOID PULLING AND BREAKING OF ROOTS TO REMAIN. DIRECTIONAL FELLING OF TREES SHALL BE USED TO AVOID DAMAGE TO TREES DESIGNATED FOR RETENTION.
- ALL DOWNED BRUSH AND TREES SHALL BE REMOVED FROM THE TREE PROTECTION AREA EITHER BY HAND OR WITH EQUIPMENT STAGED OUTSIDE OF THE TREE PROTECTION AREA. EXTRACTION SHALL OCCUR BY LIFTING THE MATERIAL OUT, NOT BY SKIDDING IT ACROSS THE GROUND.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER TREE PROTECTION AREA, A ROADBED OF STEEL PLATES, OR 6 INCHES OF MULCH, OR 6 INCHES OF GRAVEL SHALL BE PLACED TO PREVENT SOIL COMPACTION IF DETERMINED NECESSARY BY THE PROJECT ARBORIST. THE ROADBED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A 6-INCH DEPTH.
- PRUNING: THE CONTRACTOR SHALL CONSULT WITH THE PROJECT ARBORIST PRIOR TO ANY PRUNING ACTIVITIES NECESSARY FOR CONSTRUCTION ACTIVITIES. ALL PRUNING ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH ANSI A300 PRUNING STANDARDS. PRUNING SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- CUT BRANCHES AND ROOTS WITH SHARP PRUNING INSTRUMENTS THAT DO NOT CHOP OR TEAR.
- FENCING SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO CLEARING, GRADING, EXCAVATION, OR DEMOLITION WORK, AND SHALL BE REMOVED ONLY AFTER THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPING AND IRRIGATION INSTALLATION.
- TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.

PRELIMINARY TREE PRESERVATION AND REMOVAL TABLE
HENLEY PLACE
PAHLISCH COMMERCIAL
MILWAUKIE, OREGON



RENEWAL DATE: 12/31/2022
 JOB NUMBER: 8145
 DATE: 05/27/2021
 DESIGNED BY: GSH
 DRAWN BY: GSH
 CHECKED BY: JMM

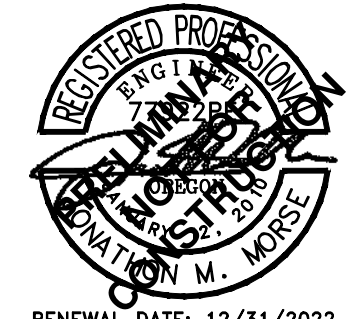
P-06



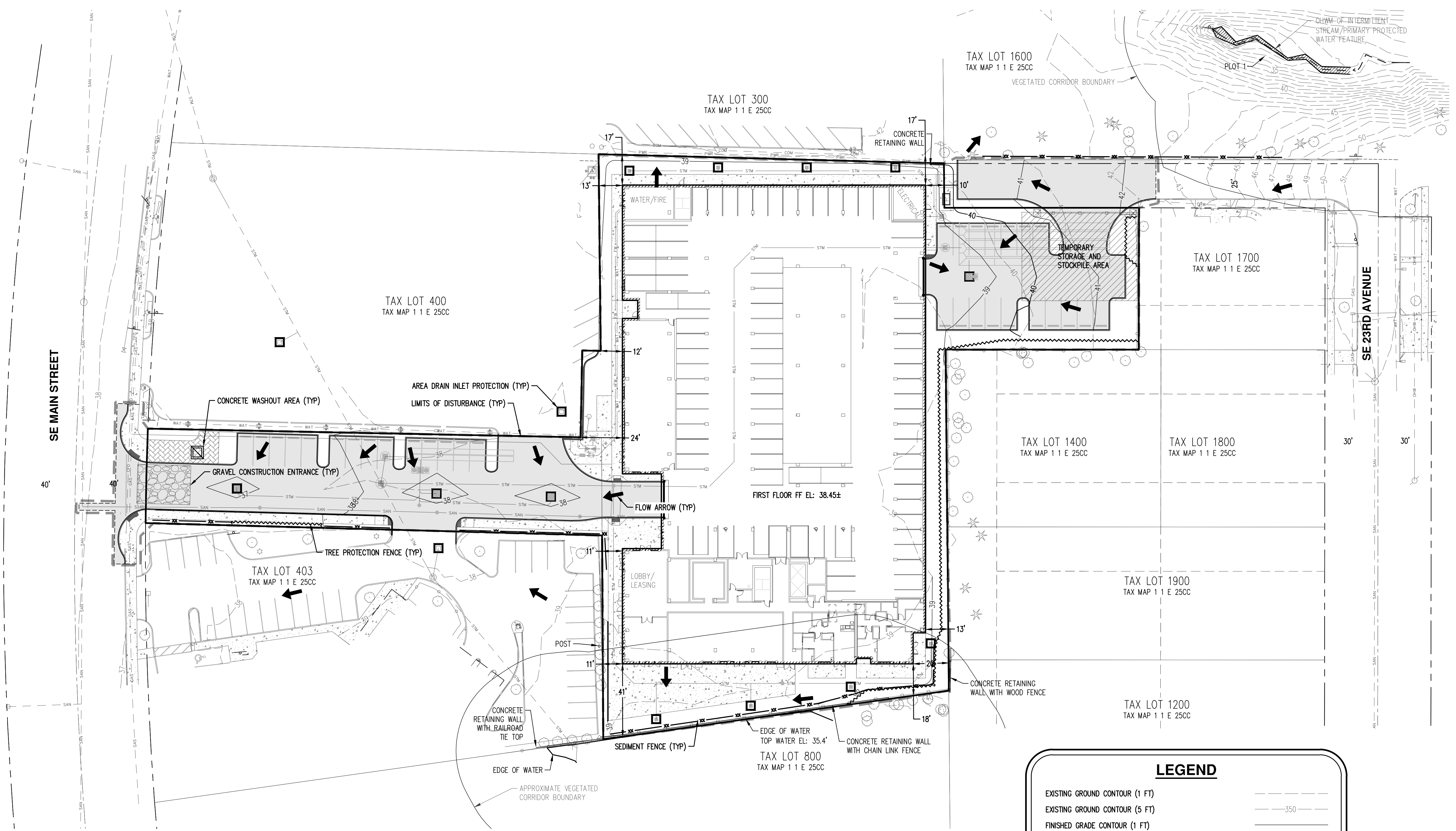
CONSTRUCTION MANAGEMENT GRADING EROSION & SEDIMENT CONTROL PLAN



**HENLEY PLACE
 PAHLISCH COMMERCIAL
 MILWAUKIE, OREGON**



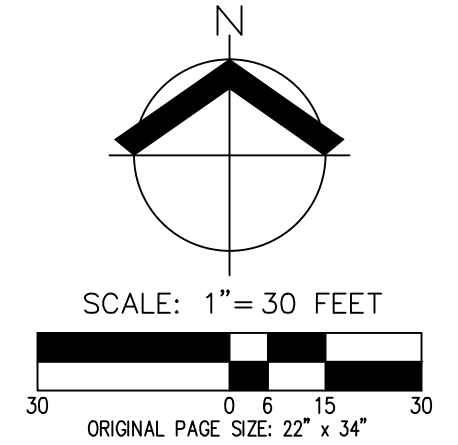
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 JOB NUMBER: 8145
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LEGEND

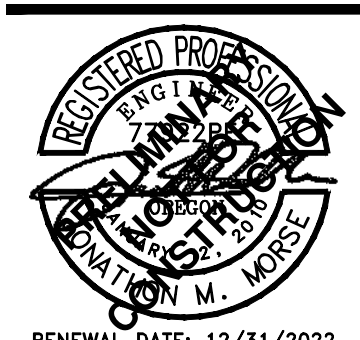
EXISTING GROUND CONTOUR (1 FT)	---
EXISTING GROUND CONTOUR (5 FT)	---350---
FINISHED GRADE CONTOUR (1 FT)	---
FINISHED GRADE CONTOUR (5 FT)	---345---
SEDIMENT FENCE	—x—
AREA DRAIN PROTECTION (TYP) PER CATCH BASIN INSERT BAG DETAIL	□
CONCRETE WASHOUT AREA	▣
DRAINAGE FLOW DIRECTION	➔
GRAVEL CONSTRUCTION ENTRANCE (EXISTING PAVED DRIVEWAY TO BE UTILIZED FOR SITE ACCESS)	▨
LIMITS OF DISTURBANCE	---x---
TEMPORARY STORAGE AND STOCKPILE AREA	▩
TREE PROTECTION/CONSTRUCTION FENCE	~
VEGETATED CORRIDOR BOUNDARY	- - -

- GENERAL NOTES:**
- FIRST FLOOR ELEVATION (FF EL) IS APPROXIMATE AND FOR COORDINATION AND PLANNING PURPOSES ONLY.
 - THESE PRELIMINARY GRADING AND EROSION CONTROL PLANS 'ASSUME DRY WEATHER' CONSTRUCTION.
 - CONTRACTOR MAY COORDINATE WITH ADJACENT PROPERTY OWNERS TO OBTAIN A TEMPORARY CONSTRUCTION EASEMENT TO ALLOW FOR SMOOTH TRANSITIONS FROM NEW IMPROVEMENTS TO MATCH EXISTING.

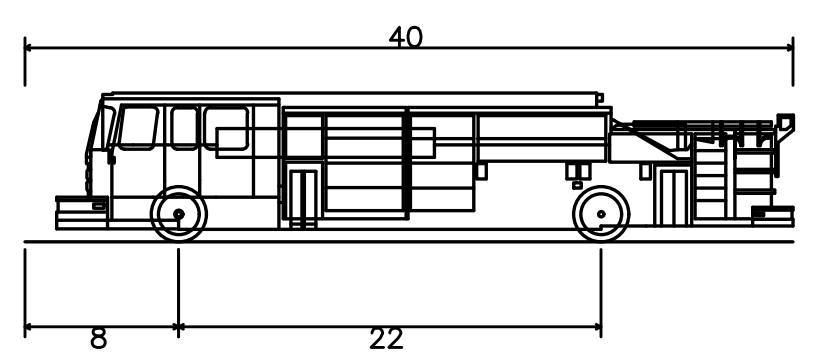
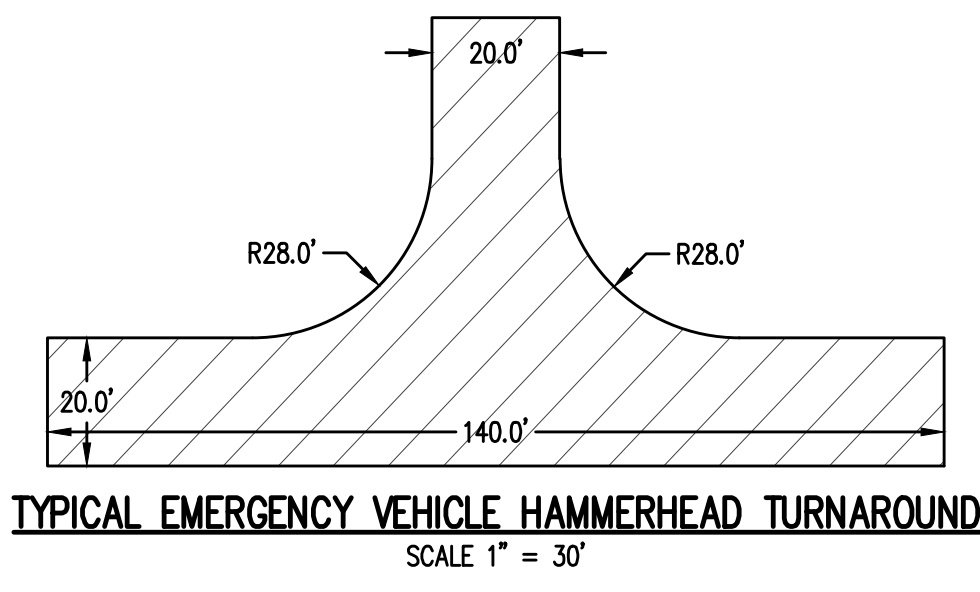
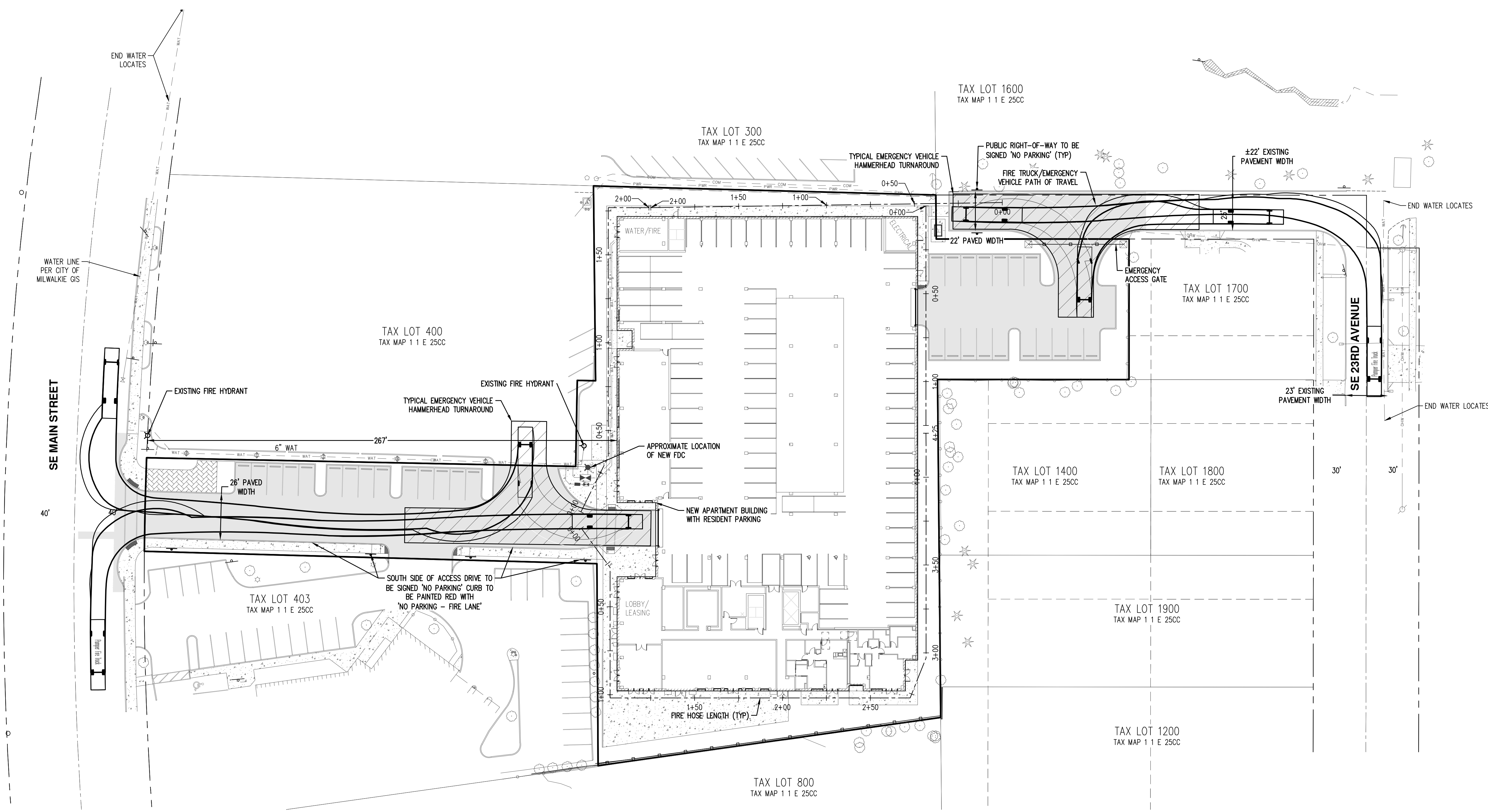


PRELIMINARY FIRE ACCESS & WATER SUPPLY PLAN

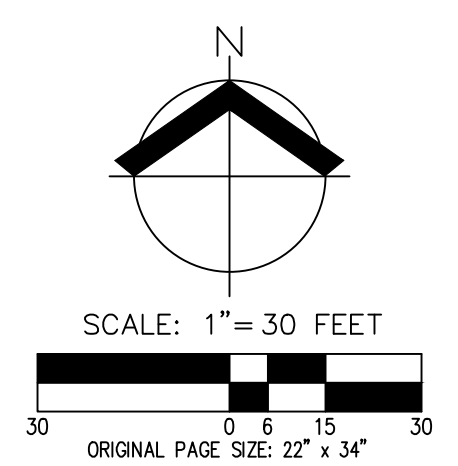
**HENLEY PLACE
 PAHLISCH COMMERCIAL
 MILWAUKIE, OREGON**

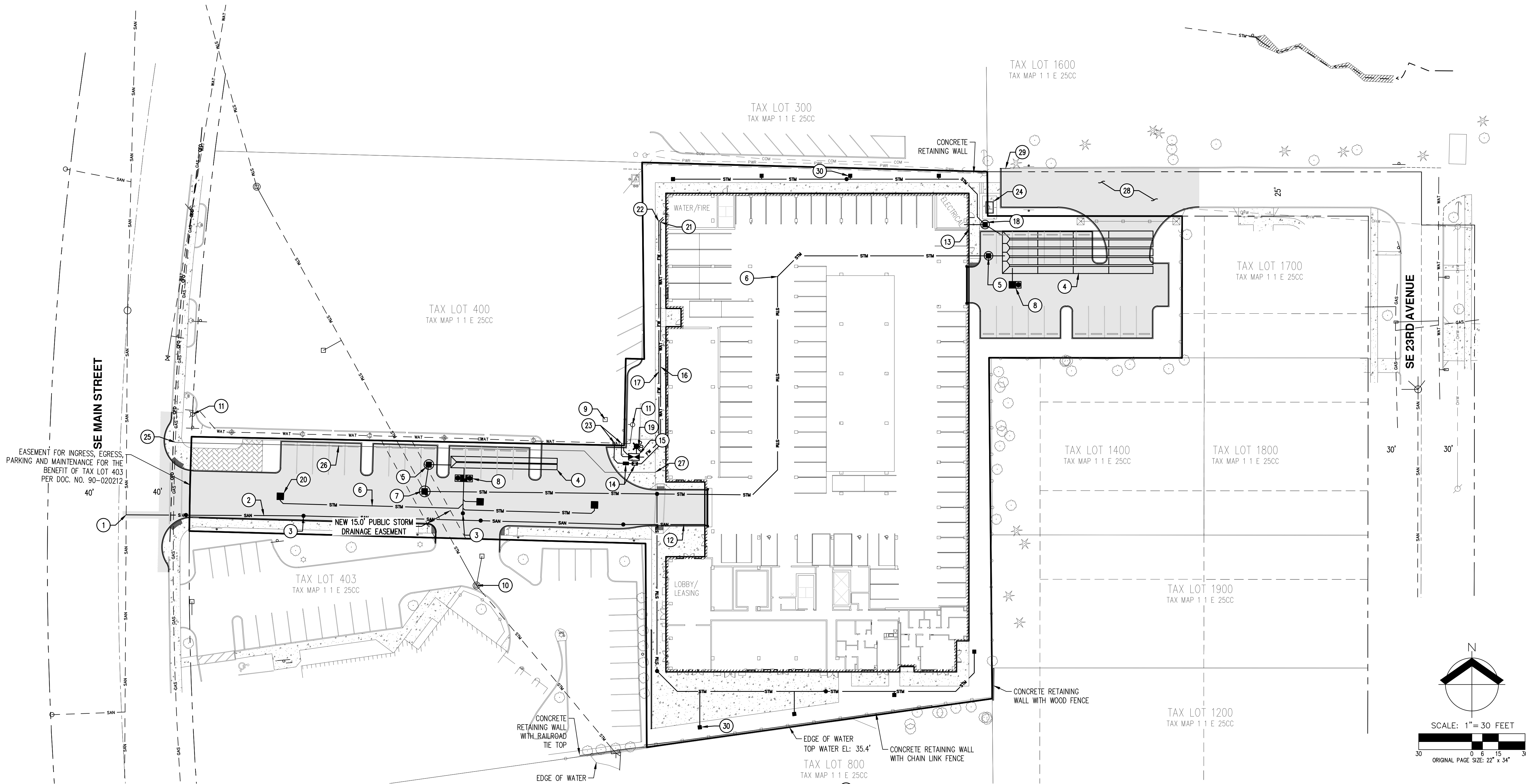


RENEWAL DATE: 12/31/2022
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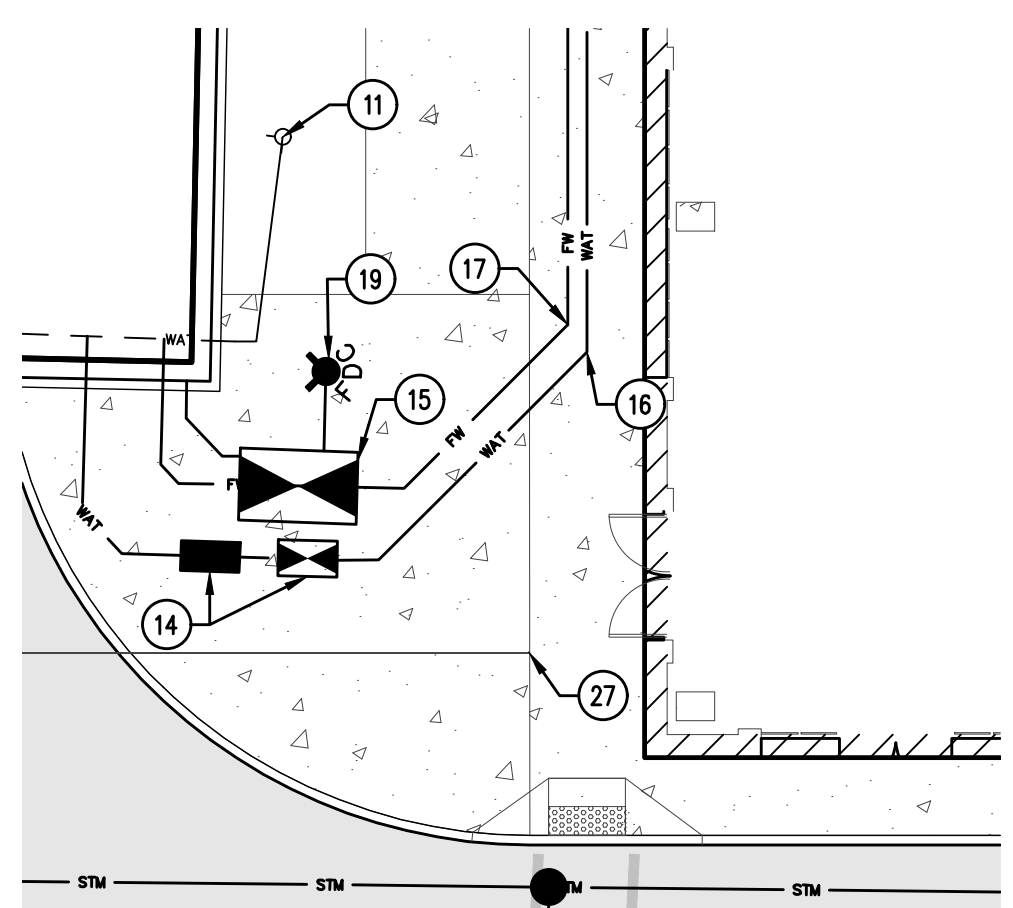


Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 7.745ft
 Overall Body Height 0.656ft
 Min Body Ground Clearance 8.167ft
 Track Width 5.00s.
 Lock-to-lock time 45.00°
 Max Wheel Angle





EASEMENT FOR INGRESS, EGRESS, PARKING AND MAINTENANCE FOR THE BENEFIT OF TAX LOT 403 PER DOC. NO. 90-020212



DETAILED UTILITY ROUTING DIAGRAM
SCALE 1" = 10'

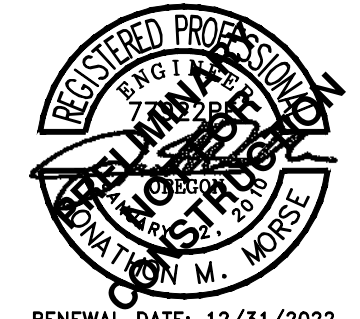
KEYED UTILITY NOTES:

1. NEW CONNECTION TO EXISTING SANITARY MAIN.
2. NEW SANITARY SEWER LATERAL (TYP).
3. NEW PRIVATE CLEANOUT (TYP).
4. NEW SUBSURFACE STORMWATER DETENTION PIPE.
5. NEW FLOW CONTROL MANHOLE.
6. NEW STORM PIPE (TYP).
7. NEW 60-IN MANHOLE CONNECTION TO EXISTING 36" STORM MAIN
8. NEW MANUFACTURED STORMWATER TREATMENT (MST) FILTER BASIN.
9. EXISTING AREA DRAIN (TYP).
10. EXISTING STORM MANHOLE (TYP).
11. EXISTING FIRE HYDRANT.
12. NEW SANITARY SEWER SERVICE STUB TO BUILDING.
13. NEW STORMWATER SERVICE CONNECTION TO ROOF DRAIN COLLECTION PIPE.
14. NEW WATER METER AND DOUBLE CHECK VALVE.
15. NEW DOUBLE CHECK DETECTOR ASSEMBLY (DCDA).
16. NEW DOMESTIC WATER SERVICE.
17. NEW FIRE WATER SERVICE.
18. NEW WATER QUALITY MANHOLE.
19. NEW FDC POINT OF CONNECTION.
20. NEW AREA DRAIN (TYP).
21. NEW DOMESTIC WATER SERVICE STUB TO BUILDING.
22. NEW FIRE WATER SERVICE STUB TO BUILDING.
23. NEW CONNECTION TO EXISTING WATER MAIN (TYP).
24. NEW PAD MOUNTED ELECTRICAL TRANSFORMER. FINAL LOCATION TO BE COORDINATED WITH UTILITY PROVIDER.
25. NEW CONNECTION TO EXISTING NATURAL GAS MAIN. (LOCATION TO BE CONFIRMED WITH UTILITY PROVIDER)
26. NEW NATURAL GAS SERVICE.
27. NEW NATURAL GAS SERVICE STUB TO BUILDING.
28. PORTION OF EXISTING ACCESS ROAD TO BE RECONSTRUCTED TO SHED NORTH.
29. CURB CUT FOR STORMWATER DRAINAGE AND FIELD GRADE TO DRAIN NORTH.
30. NEW LANDSCAPE AREA DRAIN (TYP)

GENERAL NOTES:

1. ONSITE UTILITY LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE.

PRELIMINARY COMPOSITE UTILITY PLAN
HENLEY PLACE
PAHLISCH COMMERCIAL
MILWAUKIE, OREGON



RENEWAL DATE: 12/31/2022
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PRELIMINARY DIMENSIONED SITE PLAN

**HENLEY PLACE
 PAHLISCH COMMERCIAL
 MILWAUKIE, OREGON**



RENEWAL DATE: 12/31/2022

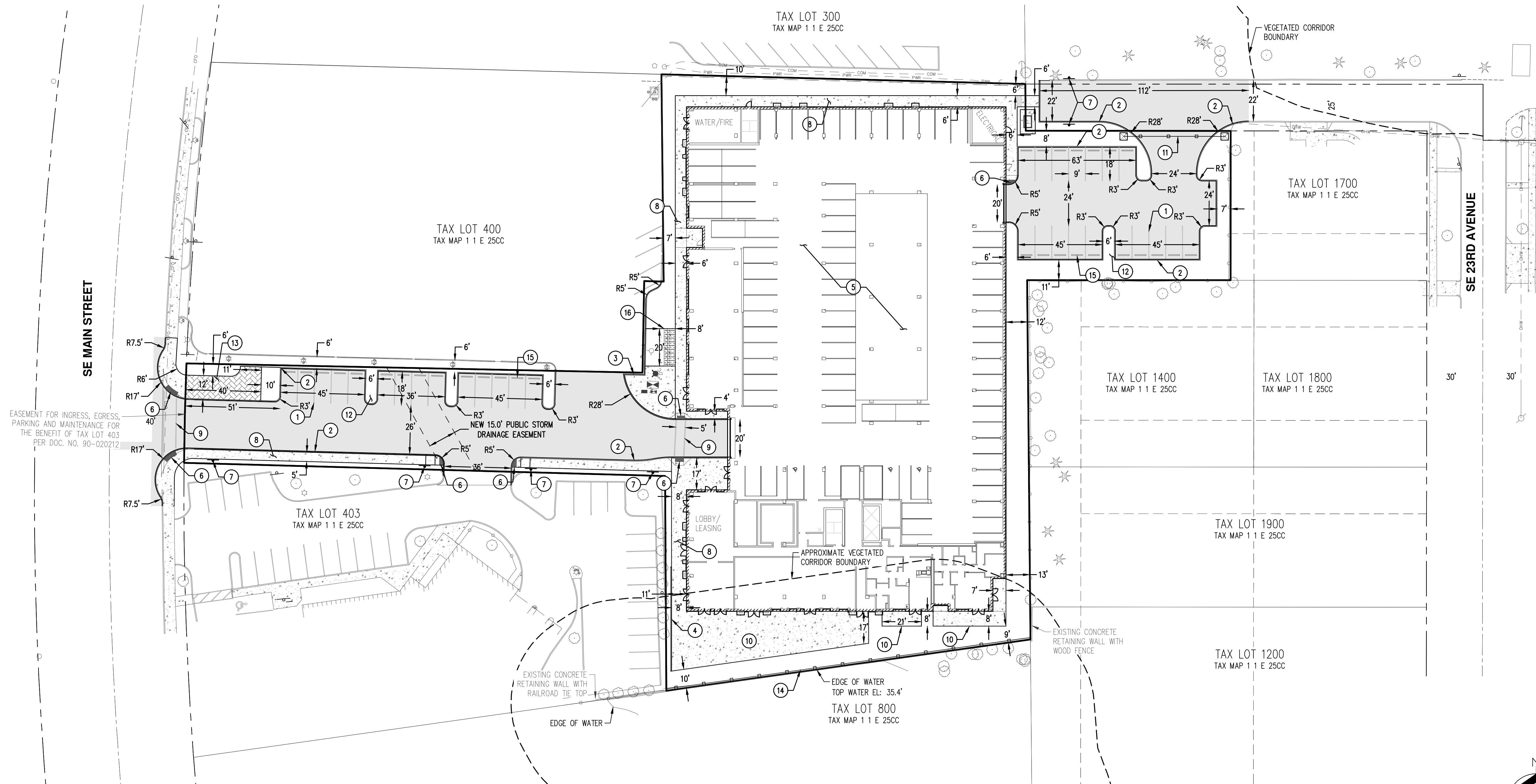
JOB NUMBER: 8145

DATE: 05/27/2021

DESIGNED BY: GSH

DRAWN BY: GSH

CHECKED BY: JMM



EASEMENT FOR INGRESS, EGRESS, PARKING AND MAINTENANCE FOR THE BENEFIT OF TAX LOT 403 PER DOC. NO. 90-020212

LEGEND:

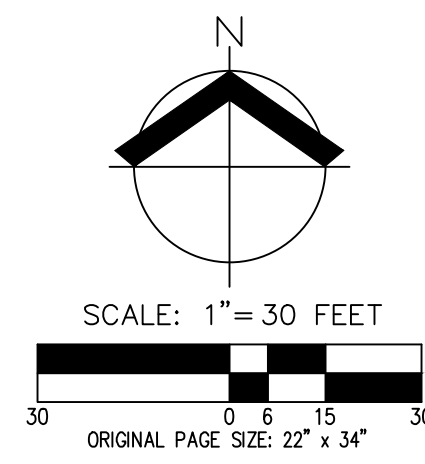
- APPROXIMATE OFF-SITE MAN-MADE WATER QUALITY RESOURCE (POND) BOUNDARY
- - - ON-SITE VEGETATED CORRIDOR: 9,299 SF± (0.21 ACRES±)

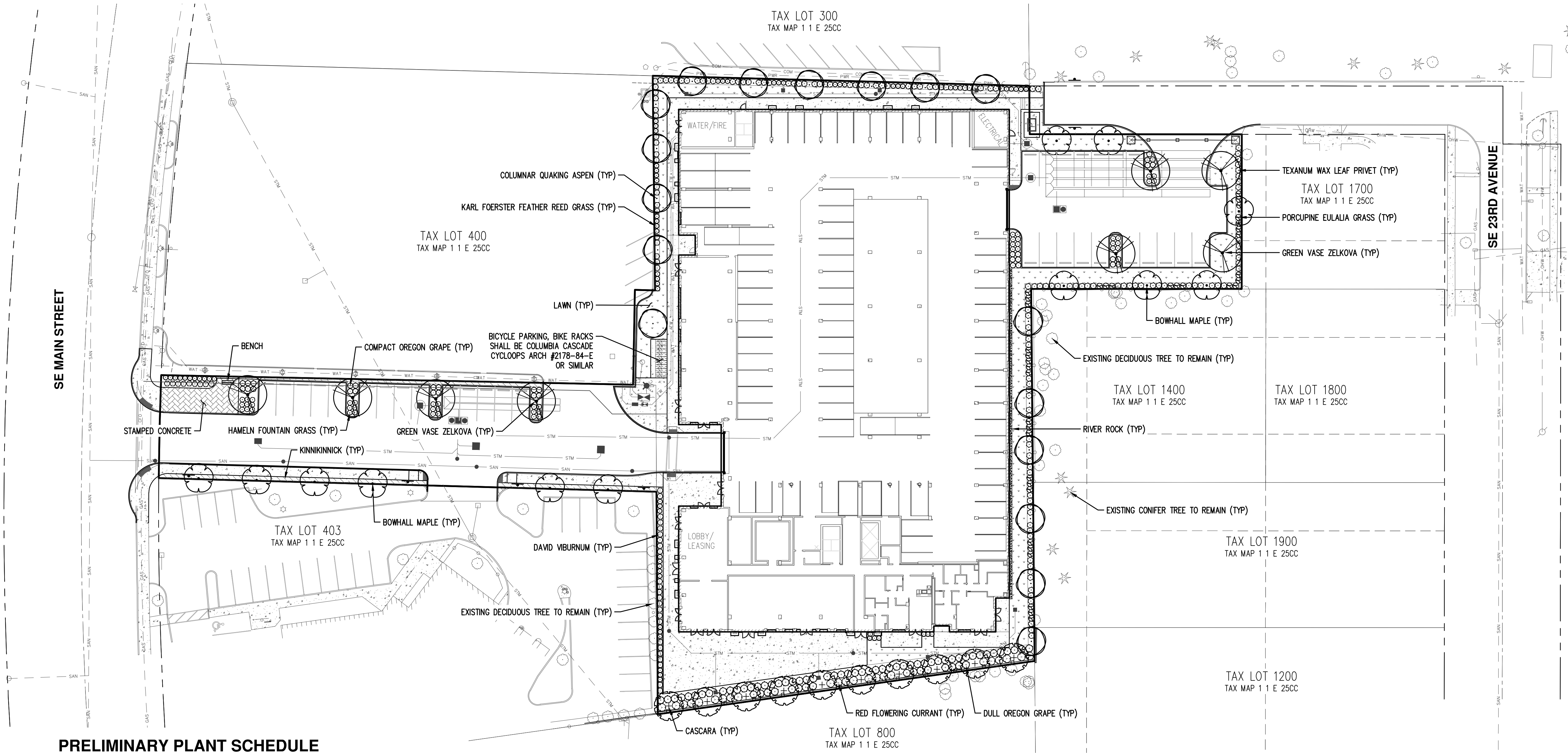
KEYED NOTES:

1. NEW PARKING STALL.
2. NEW STANDARD CURB.
3. NEW MOUNTABLE CURB.
4. NEW TALL CURB.
5. NEW APARTMENT BUILDING WITH RESIDENT PARKING.
6. NEW ADA COMPLIANT RAMP (TYP).
7. NEW 'NO PARKING' SIGN.
8. NEW CONCRETE SIDEWALK (TYP).
9. NEW PEDESTRIAN CROSSING.
10. NEW TERRACE HARDSCAPE PATIO AREA.
11. NEW EMERGENCY ACCESS GATE.
12. NEW PARKING AREA LANDSCAPE ISLAND (TYP).
13. NEW PEDESTRIAN PLAZA AREA.
14. NEW FENCE AT TOP OF EXISTING CONCRETE RETAINING WALL.
15. NEW PRECAST WHEEL STOP (TYP).
16. NEW BIKE PARKING AREA.

PARKING SUMMARY:

INTERIOR PARKING STALLS PROVIDED:	141
EXTERIOR PARKING STALLS PROVIDED:	31
TOTAL PARKING STALLS PROVIDED:	173
EXTERIOR BIKE PARKING PROVIDED:	10
INTERIOR BIKE PARKING PROVIDED:	180
TOTAL BIKE PARKING PROVIDED:	190





PRELIMINARY PLANT SCHEDULE

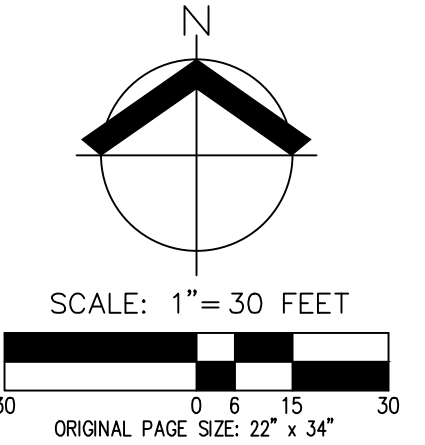
TREES	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2" CAL. B&B	AS SHOWN		ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	1 GAL. CONT.	30" o.c.
	POPULUS TREMULOIDES 'ERECTA'	COLUMNAR QUAKING ASPEN	2" CAL. B&B	AS SHOWN		LAWN		SEED	
	RHAMNUS PURSHIANA	CASCARA	2" CAL. B&B	AS SHOWN					
	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2" CAL. B&B	AS SHOWN					
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING					
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL. CONT.	30" o.c.					
	LIGUSTRUM JAPONICUM 'TEXANUM'	WAX LEAF PRIVET	2 GAL. CONT.	36" o.c.					
	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GAL. CONT.	36" o.c.					
	MAHONIA NERVOSA	DULL OREGON GRAPE	2 GAL. CONT.	48" o.c.					
	MISCANTHUS SINENSIS 'STRICTUS'	PORCUPINE EULALIA GRASS	1 GAL. CONT.	36" o.c.					
	NANDINA DOMESTICA 'COMPACTA'	COMPACT NANDINA	2 GAL. CONT.	36" o.c.					
	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL. CONT.	30" o.c.					
	RIBES SANGUINEUM	RED FLOWERING CURRANT	2 GAL. CONT.	48" o.c.					
	VIBURNUM DAVIDII	DAVID VIBURNUM	2 GAL. CONT.	36" o.c.					

LANDSCAPE DATA

INTERIOR PARKING LOT LANDSCAPE AREA REQUIRED: 31 PARKING STALLS X 25 SF = 775 SF
 INTERIOR PARKING LOT LANDSCAPE AREA INCLUDED WITH SITE PLAN: ±1,212 SF

PRELIMINARY LANDSCAPE NOTES

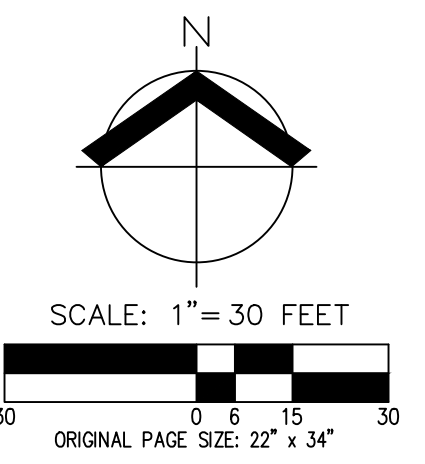
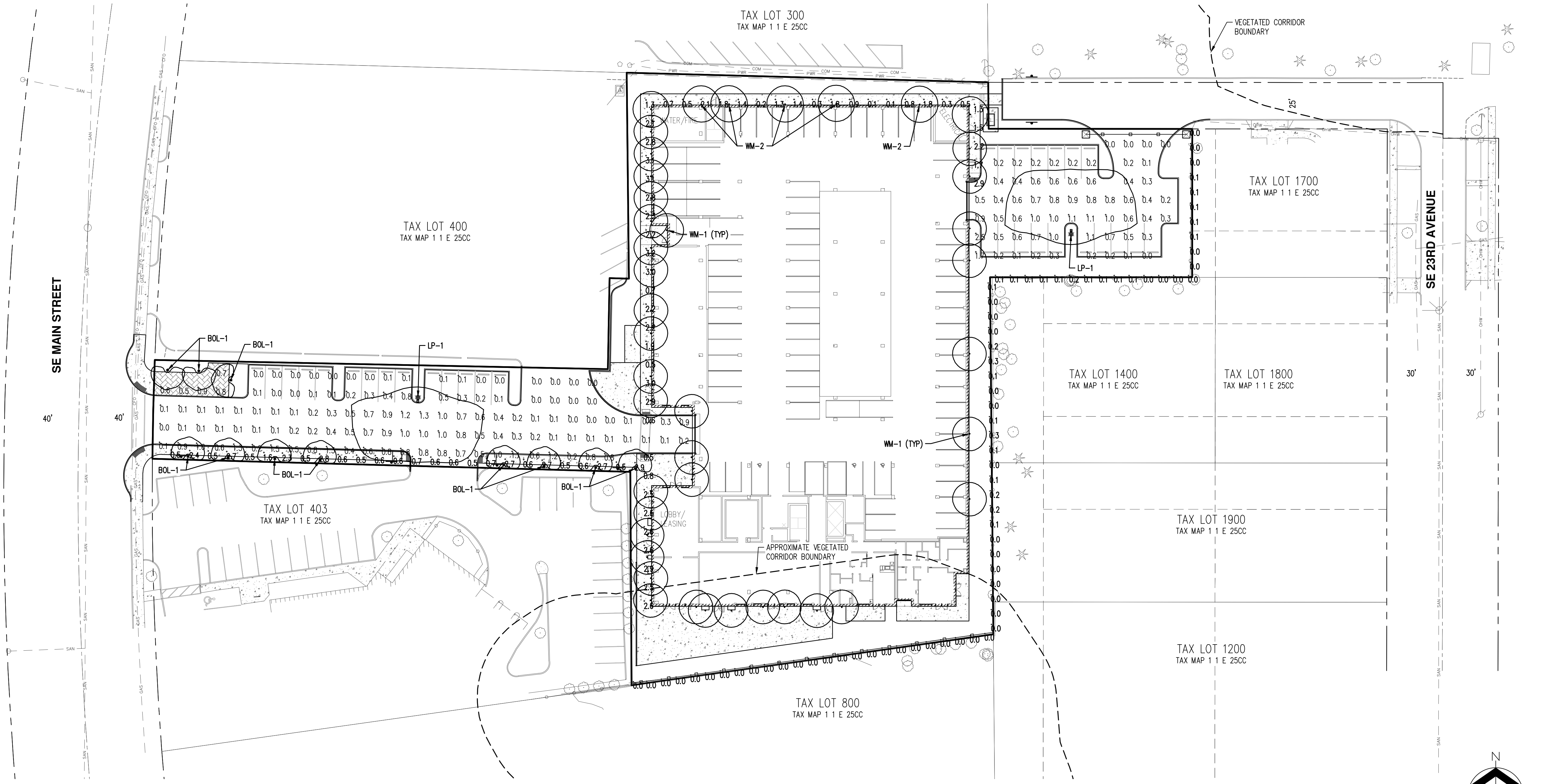
- LANDSCAPING SPECIFICATIONS ARE PRELIMINARY AND SHOWN TO CONVEY DESIGN INTENT ONLY. PLAN ELEMENTS, LOCATIONS, AND DETAILS AS SHOWN ARE SUBJECT TO CHANGE PRIOR TO FINAL REVIEW AND SUBMITTAL.
- LANDSCAPING SHALL CONFORM TO APPLICABLE CITY OF MILWAUKIE DESIGN STANDARDS.
- LANDSCAPING AND IRRIGATION WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR LICENSED AND BONDED IN THE STATE OF OREGON. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH CURRENT MILWAUKIE MUNICIPAL CODE REQUIREMENTS, EXISTING SITE CONDITIONS, AND ALL ASPECTS OF SITE WORK NECESSARY FOR THE FULL COMPLETION OF THE PROJECT. COORDINATE LANDSCAPE WORK WITH GENERAL CONTRACTOR AND OWNER.
- PLANT LEGEND IS SHOWN TO CLARIFY DESIGN LAYOUT. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT, MATERIAL, AND FURNISHING QUANTITIES PRIOR TO BIDDING AND CONSTRUCTION. IF DISCREPANCIES OCCUR, DESIGN INTENT PREVAILS OVER QUANTITIES LISTED.
- ALL PLANT MATERIAL SHALL CONFORM TO THE CITY OF MILWAUKIE LANDSCAPE DESIGN STANDARDS AND TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), CURRENT EDITION. QUALITY DEFINITIONS, SIZE TOLERANCES, ROOT BALL SIZES, AND CALIPER-TO-HEIGHT RATIOS SHALL BE NO LESS THAN MINIMUMS SPECIFIED IN THESE STANDARDS.
- PLANT MATERIAL SHALL BE HEALTHY, FREE OF DISEASE, PESTS, AND INJURY. TURF AREAS SHALL BE PLANTED IN SPECIES NORMALLY GROWN AS PERENNIAL RYES AND FESCUES.
- SOIL PREPARATION: PLANTING AREAS SHALL HAVE ADEQUATE TOPSOIL FOR HEALTHY PLANT GROWTH AND ESTABLISHMENT. TOPSOIL SHALL BE FREE FROM WEEDS AND OTHER DELETERIOUS MATERIAL HARMFUL TO PLANT GROWTH AND BE EITHER EXISTING NATIVE TOPSOIL OR STOCKPILED TOPSOIL. FINISH GRADE OF NEW PLANTING AREAS SHALL SEAMLESSLY MEET GRADE OF SURROUNDING AREAS. FINISH GRADE OF LAWN AREAS SHALL BE 1/2" BELOW ADJACENT SIDEWALKS; PLANTING BEDS SHALL BE 3" BELOW ADJACENT SIDEWALKS FOR MULCH APPLICATION UNLESS OTHERWISE INDICATED ON THE GRADING PLANS. PRIOR TO SEEDING AND PLANTING, GROUND SHALL BE SMOOTH, FREE OF DEBRIS (ROCKS, STICKS, ETC.), AND PROVIDE POSITIVE DRAINAGE IN ACCORDANCE WITH THE GRADING PLANS.
- ALL PLANTINGS SHALL BE AUTOMATICALLY IRRIGATED WITH A PERMANENT UNDERGROUND SYSTEM UTILIZING CURRENT WATER-SAVING TECHNOLOGY IN CONFORMANCE TO MILWAUKIE DESIGN STANDARDS INCLUDING AN EVAPOTRANSPIRATION (ET) BASED CENTRAL CONTROLLER WITH ACTIVE CONNECTION TO WEATHER STATION AND FLOW MONITORING SYSTEM. CONTROLLER SHALL BE LOCATED AS DIRECTED BY OWNER.
- MULCH: APPLY 3" DEEP WELL-AGED MEDIUM GRIND OR SHREDDED DARK HEMLOCK OR FIR BARK MULCH UNDER AND AROUND ALL NEW PLANTINGS IN PLANTING BEDS. TREES IN LAWN AREAS SHALL HAVE A MINIMUM 4'-FT DIAMETER MULCH RING CENTERED ON THE TREE FOR EASE OF MAINTENANCE. CARE SHALL BE TAKEN TO AVOID COVERING FOLIAGE OR ROOT CROWNS OF PLANTS. PLANTS SHALL BE PLANTED AT A DEPTH TO ACCOMMODATE BARK MULCH APPLICATION.
- ADJUST PLANTING ON SITE AS NECESSARY TO AVOID CONFLICTS WITH UTILITIES, METERS, LIGHTS, HARDSCAPING, ETC.
- CONTRACTOR SHALL REMOVE, AND PROPERLY DISPOSE OF OFF-SITE, ALL ORGANIC AND/OR UNSUITABLE MATERIALS INCLUDING TREES, STUMPS, ROOTS, BRUSH, AND GRASS, IN SUCH A MANNER TO MEET ALL APPLICABLE REGULATIONS. TOPSOIL REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH TOPSOIL.
- ALL LANDSCAPE MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE-YEAR TO SURVIVE IN GOOD CONDITION. LANDSCAPE CONTRACTOR SHALL GUARANTEE REPLACEMENT OF DEAD OR DYING PLANT MATERIALS, AT NO ADDITIONAL COST TO THE OWNER OR CITY, EXCEPT IN CASES OF GROSS NEGLIGENCE OR VANDALISM.



**PRELIMINARY PHOTOMETRIC PLAN
 HENLEY PLACE
 PAHLISCH COMMERCIAL
 MILWAUKIE, OREGON**



RENEWAL DATE: 12/31/2022
 JOB NUMBER: 8145
 DATE: 05/27/2021
 DESIGNED BY: GSH
 DRAWN BY: GSH
 CHECKED BY: JMM



PRELIMINARY BOLLARD STYLE LUMINAIRE SCHEDULE

LABEL	TAG	DESCRIPTION	QTY	TOTAL LUMENS	LUM. WATTS	LLF
BOL-1	NEW	HYDREL 3100C LED (3110C H36 4COB 20K MVOLT FT LP BL)	11	390	37	0.9

PRELIMINARY WALL MOUNTED LUMINAIRE SCHEDULE

LABEL	TAG	DESCRIPTION	MOUNTING HEIGHT (FT)	QTY	TOTAL LUMENS	LUM. WATTS	LLF
WM-1	NEW	WAC LIGHTING CALIBER OUTDOOR WALL SCONCE (WS-W36610)	8	37	560	11	0.9
WM-2	NEW	WAC LIGHTING CALIBER OUTDOOR WALL SCONCE (WS-W36614)	8	5	1,140	21	0.9

CONCEPTUAL LUMINAIRE AND POLE SCHEDULE

LABEL	TAG	DESCRIPTION	MOUNTING HEIGHT (FT)	POLE TYPE	QTY	TOTAL LUMENS	LUM. WATTS	LLF
LP-1	NEW	38W LITHONIA DSXO LED (DSXO LED P1 40K T3M)	20	AL	2	4,376	38	0.9

ILLUMINATION LEVEL SUMMARY:
 PEDESTRIAN WALKWAYS AND BICYCLE PARKING AREAS
 MINIMUM ILLUMINATION LEVEL
 -TARGET: 0.5 fc
 -ACHIEVED: 0.1 fc

LIGHT TRESPASS
 MAXIMUM ILLUMINATION LEVEL
 -TARGET: 0.5 fc
 -ACHIEVED: 0.0 fc