

MILWAUKIE PLANNING
 6101 SE Johnson Creek Blvd
 Milwaukie OR 97206
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Master File #: ADU-2019-003

Review type*: I II III IV V

<p>CHECK ALL APPLICATION TYPES THAT APPLY:</p> <input type="checkbox"/> Amendment to Maps and/or Ordinances: <input type="checkbox"/> Comprehensive Plan Text Amendment <input type="checkbox"/> Comprehensive Plan Map Amendment <input type="checkbox"/> Zoning Text Amendment <input type="checkbox"/> Zoning Map Amendment <input type="checkbox"/> Code Interpretation <input type="checkbox"/> Community Service Use <input type="checkbox"/> Conditional Use <input type="checkbox"/> Development Review <input type="checkbox"/> Director Determination <input type="checkbox"/> Downtown Design Review <input type="checkbox"/> Extension to Expiring Approval <input type="checkbox"/> Historic Resource: <input type="checkbox"/> Alteration <input type="checkbox"/> Demolition <input type="checkbox"/> Status Designation <input type="checkbox"/> Status Deletion	<input type="checkbox"/> Land Division: <input type="checkbox"/> Final Plat <input type="checkbox"/> Lot Consolidation <input type="checkbox"/> Partition <input type="checkbox"/> Property Line Adjustment <input type="checkbox"/> Replat <input type="checkbox"/> Subdivision <input type="checkbox"/> Miscellaneous: <input type="checkbox"/> Barbed Wire Fencing <input type="checkbox"/> Bee Colony <input type="checkbox"/> Mixed Use Overlay Review <input type="checkbox"/> Modification to Existing Approval <input type="checkbox"/> Natural Resource Review <input type="checkbox"/> Nonconforming Use Alteration <input type="checkbox"/> Parking: <input type="checkbox"/> Quantity Determination <input type="checkbox"/> Quantity Modification <input type="checkbox"/> Shared Parking <input type="checkbox"/> Structured Parking	<input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Residential Dwelling: <input checked="" type="checkbox"/> Accessory Dwelling Unit <input type="checkbox"/> Duplex <input type="checkbox"/> Manufactured Dwelling Park <input type="checkbox"/> Temporary Dwelling Unit <input type="checkbox"/> Sign Review <input type="checkbox"/> Transportation Facilities Review <input type="checkbox"/> Variance: <input type="checkbox"/> Use Exception <input type="checkbox"/> Variance <input type="checkbox"/> Willamette Greenway Review <input type="checkbox"/> Other: _____ <p>Use separate application forms for:</p> <ul style="list-style-type: none"> • Annexation and/or Boundary Change • Compensation for Reduction in Property Value (Measure 37) • Daily Display Sign • Appeal
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RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): LINDLEY BYNUM

Mailing address: 1562 SE TACOMA STREET PDX, OR Zip: 97202

Phone(s): 208 697 1775 Email: lindleybynum@gmail.com

APPLICANT'S REPRESENTATIVE (if different than above): same as above

Mailing address: _____ Zip: _____

Phone(s): _____ Email: _____

SITE INFORMATION:

Address: 12626 SE BOSS LN MILWAUKIE OR 97222 Map & Tax Lot(s): 21E01AA01900

Comprehensive Plan Designation: _____ Zoning: R10 Size of property: 10,749 sq ft

PROPOSAL (describe briefly):

NEW 800 sq ft accessory dwelling unit with a 200 sq ft patio

SIGNATURE:

ATTEST: I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code (MMC) Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by: Lindley Bynum Date: 03/20/19

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	FEE AMOUNT*	PERCENT DISCOUNT	DISCOUNT TYPE	DEPOSIT AMOUNT	DATE STAMP
Master file	ADU-2019-003	\$ 1,000			\$	RECEIVED MAR 29 2019 CITY OF MILWAUKIE PLANNING DEPARTMENT
Concurrent application files		\$			\$	
		\$			\$	
		\$			\$	
		\$			\$	
SUBTOTALS		\$ 1,000			\$	

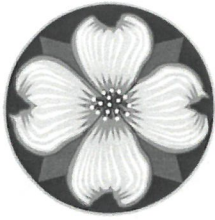
TOTAL AMOUNT RECEIVED: \$ _____ **RECEIPT #:** _____ **RCD BY:** _____

Associated application file #s (appeals, modifications, previous approvals, etc.):

Neighborhood District Association(s): *Lake Road*

Notes:

*After discount (if any)



MILWAUKIE PLANNING
6101 SE Johnson Creek Blvd
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planning@milwaukieoregon.gov

Submittal Requirements

**For all Land Use Applications
(except Annexations and Development Review)**

All land use applications must be accompanied by a signed copy of this form (see reverse for signature block) and the information listed below. The information submitted must be sufficiently detailed and specific to the proposal to allow for adequate review. Failure to submit this information may result in the application being deemed incomplete per the Milwaukie Municipal Code (MMC) and Oregon Revised Statutes.

Contact Milwaukie Planning staff at 503-786-7630 or planning@milwaukieoregon.gov for assistance with Milwaukie's land use application requirements.

1. **All required land use application forms and fees**, including any deposits.

Applications without the required application forms and fees will not be accepted.

2. **Proof of ownership or eligibility to initiate application** per MMC Subsection 19.1001.6.A.

Where written authorization is required, applications without written authorization will not be accepted.

3. **Detailed and comprehensive description** of all existing and proposed uses and structures, including a summary of all information contained in any site plans.

Depending upon the development being proposed, the description may need to include both a written and graphic component such as elevation drawings, 3-D models, photo simulations, etc. Where subjective aspects of the height and mass of the proposed development will be evaluated at a public hearing, temporary onsite "story pole" installations, and photographic representations thereof, may be required at the time of application submittal or prior to the public hearing.

4. **Detailed statement** that demonstrates how the proposal meets the following:

A. All applicable development standards (listed below):

1. **Base zone standards** in Chapter 19.300.
2. **Overlay zone standards** in Chapter 19.400.
3. **Supplementary development regulations** in Chapter 19.500.
4. **Off-street parking and loading standards and requirements** in Chapter 19.600.
5. **Public facility standards and requirements**, including any required street improvements, in Chapter 19.700.

B. All applicable application-specific approval criteria (check with staff).

These standards can be found in the MMC, here: www.qcode.us/codes/milwaukie/

5. **Site plan(s), preliminary plat, or final plat** as appropriate.

See Site Plan, Preliminary Plat, and Final Plat Requirements for guidance.

6. **Copy of valid preapplication conference report**, when a conference was required.

APPLICATION PREPARATION REQUIREMENTS:

- Five hard copies of all application materials are required at the time of submittal. Staff will determine how many additional hard copies are required, if any, once the application has been reviewed for completeness. Provide an electronic version, if available.
- All hard copy application materials larger than 8½ x 11 in. must be folded and be able to fit into a 10- x 13-in. or 12- x 16-in. mailing envelope.
- All hard copy application materials must be collated, including large format plans or graphics.

ADDITIONAL INFORMATION:

- Neighborhood District Associations (NDAs) and their associated Land Use Committees (LUCs) are important parts of Milwaukie's land use process. The City will provide a review copy of your application to the LUC for the subject property. They may contact you or you may wish to contact them. Applicants are strongly encouraged to present their proposal to all applicable NDAs prior to the submittal of a land use application and, where presented, to submit minutes from all such meetings. NDA information: www.milwaukieoregon.gov/citymanager/what-neighborhood-district-association.
- By submitting the application, the applicant agrees that City of Milwaukie employees, and appointed or elected City Officials, have authority to enter the project site for the purpose of inspecting project site conditions and gathering information related specifically to the project site.
- Submittal of a full or partial electronic copy of all application materials is strongly encouraged.

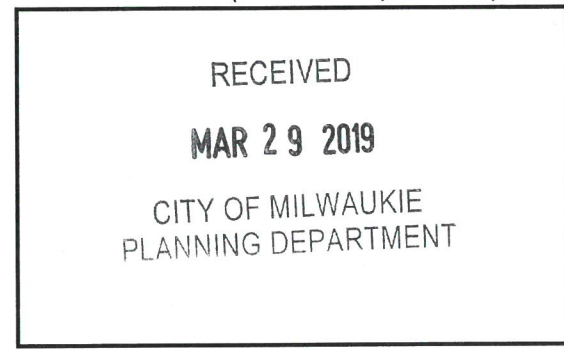
As the authorized applicant I, (print name) _____, attest that all required application materials have been submitted in accordance with City of Milwaukie requirements. I understand that any omission of required items or lack of sufficient detail may constitute grounds for a determination that the application is incomplete per MMC Subsection 19.1003.3 and Oregon Revised Statutes 227.178. I understand that review of the application may be delayed if it is deemed incomplete.

Furthermore, I understand that, if the application triggers the City's sign-posting requirements, I will be required to post signs on the site for a specified period of time. I also understand that I will be required to provide the City with an affidavit of posting prior to issuance of any decision on this application.

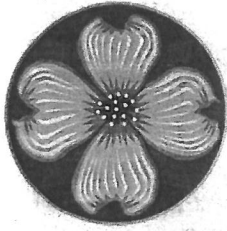
Applicant Signature: Undley Brown
Date: 03/29/19

Official Use Only

Date Received (date stamp below):



Received by: _____



PLANNING DEPARTMENT
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 planning@milwaukieoregon.gov

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 MAR 29 2019
 CITY OF MILWAUKIE
 PLANNING DEPARTMENT

Accessory Dwelling Units: Detached

This handout summarizes the accessory dwelling unit (ADU) regulations for residential properties in the City of Milwaukie. Please refer to Milwaukie Municipal Code (MMC) Subsection 19.910.1. ADUs are allowed in all residential zones except the Downtown Residential Zone. ADUs must follow all of the zoning requirements of the residential zone they are located in, as well as the additional requirements in MMC Subsection 19.910.1.

Definition of Accessory Dwelling Unit (ADU)

1. An "accessory dwelling unit" is a second dwelling unit on a lot with a single-family detached dwelling. An ADU is incidental to, and smaller than, the main dwelling unit. An ADU can either be part of the main structure, attached to the main structure, or detached.
2. The City has different regulations based on whether it is attached or not.
3. An "accessory dwelling unit" includes areas and equipment for sleeping, cooking, and sanitation (bathrooms and toilets). A structure without these areas and equipment is an "accessory structure," not an ADU, and is subject to the provisions of MMC Section 19.502 Accessory Structures.

Standards for All ADUs

1. The primary use on the property must be a single-family detached house, and it must be used as a dwelling.
2. Either the primary or accessory dwelling must be owner-occupied; the owner must record this deed restriction with the County (i.e., the property owner must live in one of the dwellings).
3. One ADU is allowed per lot.
4. An ADU is limited to the lesser of 800 sq ft or 75% of the floor area of the main structure.
5. A new ADU requires a preapplication conference with City staff.

Review and Approval of Detached ADUs

There are two review processes for ADUs, depending on the size of the unit.

Footprint, Height, and Required Yards for Detached Accessory Dwelling Units		
Level of Review	Type I	Type II
Maximum Structure Footprint	600 sq ft	800 sq ft
Maximum Structure Height	15', limited to 1 story	25', limited to 2 stories
Required Side and Rear Yard	Base zone requirement for side and rear yard	5'
Required Front Yard	10' behind front yard as defined in Section 19.201, unless located at least 40' from the front lot line.	
Required Street Side Yard	Base zone requirement for street side yard	

Type I review is a staff-level review to ensure that the proposal meets all applicable codes and requirements. This is often called an "as-of-right" or "permitted outright" type of review. The review time and cost is less than what is required for a Type II review.

ADUs greater than the Type I review thresholds will be reviewed through a Type II review process. In addition to a staff-level review, to ensure that the proposal meets all relevant codes and requirements, this type of application requires a public posting on the site and notification to all properties within 300 ft of the subject property and a comment period. The final decision on the application is made by the Planning Director.

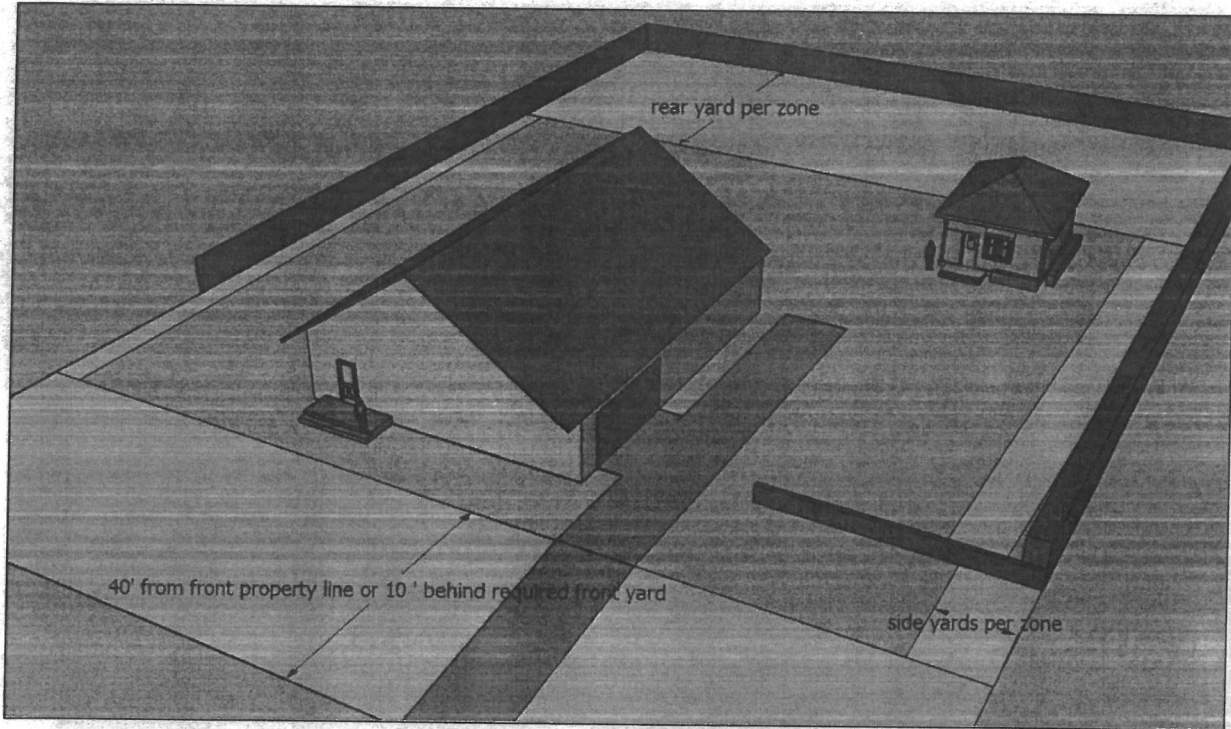
Development Standards for Detached ADUs

ADUs that are detached (a separate structure) from the primary residence must meet the development standards outlined in Table 1, below.

TABLE 1. DEVELOPMENT STANDARDS FOR DETACHED ACCESSORY DWELLING UNITS

Requirement	Allowed by Code		Subject Property	Proposed	Comments Staff Use Only
	Type I	Type II	Requirements		
Maximum Lot Coverage and Minimum Landscaped Area See note 1	Same as base zone		Lot coverage:	18.81%	
			Landscaped area:	65.96%	
Setbacks: Front Property Line	10' behind required front yard or 40' from front lot line		R10 20 ft MIN	100 ft	
Setbacks: Street Side Property Line	Same as base zone		R10 10 ft MIN	NO STREET SIDE	
Setbacks: Rear and Side Property Lines	Same as base zone	5' min.	5' MIN	5' MIN	
Maximum Allowed Floor Area	800 sq ft or 75% of main dwelling, whichever is less		800 sq ft	800 sq ft	
Building Height (detached ADU) See note 2	15' 1-story max.	25' 2-story max.		13'	

1. See Zoning Worksheets for requirements.
2. See page 4 of this handout for how to measure building height.



Required Design Elements for Detached ADUs

Detached ADUs must include at least 2 of the design details from Table 2, below. Yurts are allowed as detached ADUs and are exempt from this requirement, but they must meet all other ADU regulations and building codes (see MMC Subsection 19.910.4.b).

TABLE 2. DESIGN STANDARDS FOR DETACHED ACCESSORY DWELLING UNITS

Requirement	Required by Code	Existing	Proposed	Comments Staff Use Only
Minimum roof pitch if floor-to-ceiling height is 9' or more See note 3	4" rise for every 12" of run (4/12 pitch)	N/A	4/12	
Privacy standard (for walls within 20' of adjacent residential property line)	All windows placed on upper 1/3 of wall, OR 6' visual screening	N/A	FENCED & NO WINDOWS ON PROP. SIDE	
All detached ADUs shall include at least 2 of the following (check at least 2):				
Covered porch	5 min. depth	N/A		
Recessed entry	2' min. from exterior wall to door	N/A	✓	
Roof eaves	12" min. projection	N/A	✓	
Horizontal lap siding	Siding between 3" and 7" wide	N/A		
Window trim at all windows	3" wide and 5/8" deep	N/A	✓	

Accessory Dwelling Unit

12626 SE Boss Ln
Milwaukie, OR 97222

PROJECT DESCRIPTION

New 800 sq. ft. accessory dwelling unit with a 200 sq. ft. patio.

OWNER

ARLEN AND LINDLEY BYNUM
LINDLEYBYNUM@GMAIL.COM
(208) 697-1775

SITE AND BUILDING INFORMATION

MAIN UNIT (NEW)	800 sq.ft.
PATIO (NEW)	200 sq. ft.
NEW FOOTPRINT	1,000 sq. ft.
EXISTING MAIN DWELLING FOOTPRINT	1,545 sq. ft.
EXISTING GARAGE FOOTPRINT	607 sq. ft.
TOTAL FOOTPRINT	3,152 sq.ft.
LOT AREA	16,749 sq. ft.
LOT COVERAGE	18.81%
VEGETATION	11,048 sq. ft = 65.96%

TAX #21E01AA01900
ZONING R10

OVERLAY N/A

SHEET INDEX

A1.1 - EXISTING SITE PLAN	A6.0 - ARCHITECTURAL DETAILS
A1.2 - PROPOSED SITE PLAN	A7.0 - LIGHTING PLANS
A2.0 - FLOOR PLAN	S1.0 - STRUCTURAL FLOOR PLAN
A2.1 - ROOF PLAN AND SCHEDULES	S2.0 - STRUCTURAL ROOF PLAN
A3.0 - EXTERIOR ELEVATIONS	S3.0 - STRUCTURAL DETAILS
A3.1 - EXTERIOR ELEVATIONS	S3.1 - STRUCTURAL DETAILS
A4.0 - BUILDING SECTIONS	S3.2 - STRUCTURAL DETAILS

RECEIVED

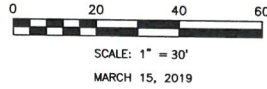
MAR 29 2019

CITY OF MILWAUKIE
PLANNING DEPARTMENT



A1.1 - EXISTING SITE PLAN

FOR EROSION CONTROL PLAN SEE SEPARATE PERMIT



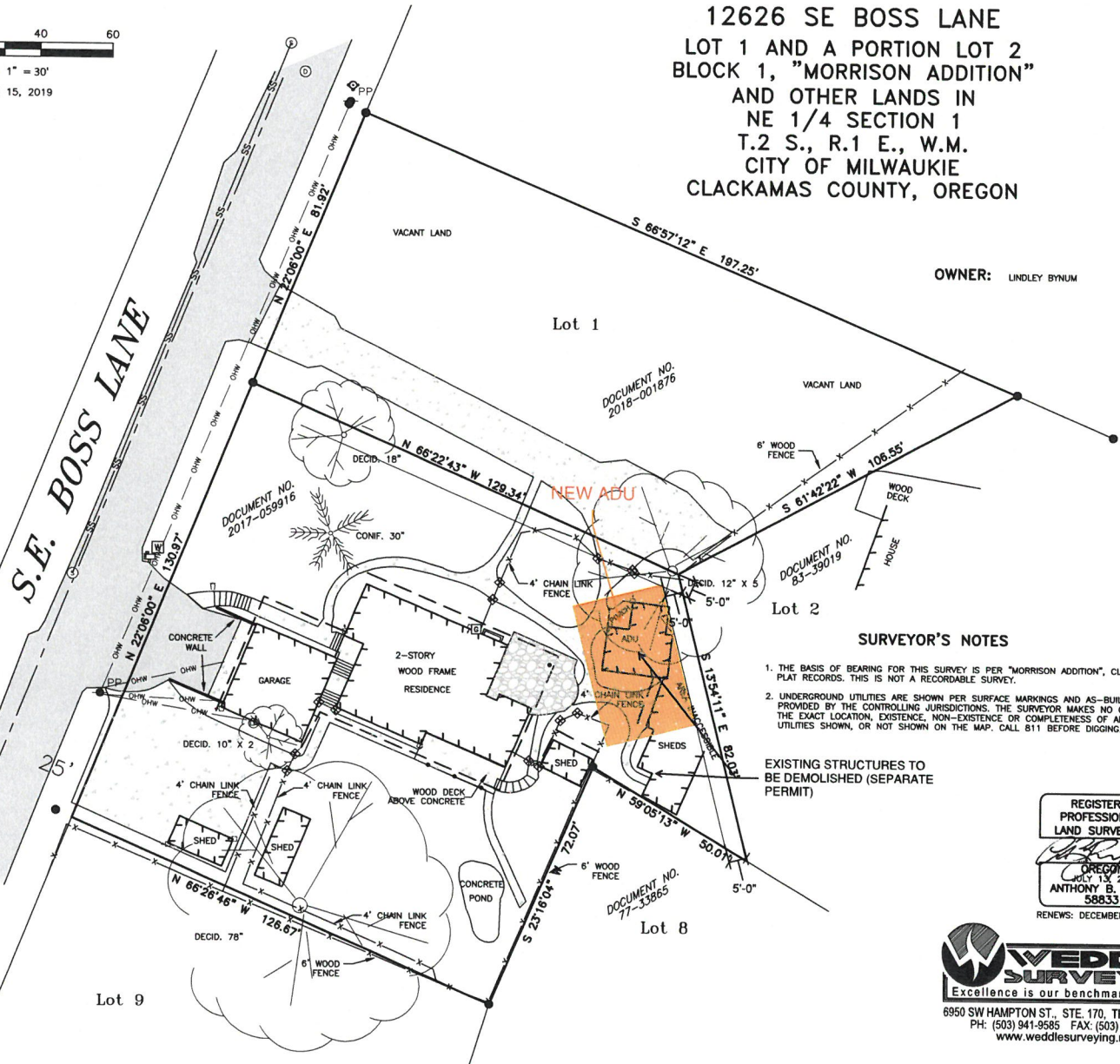
LEGEND

	AREA LIGHT
	CONIFEROUS TREE (SIZE)
	DECIDUOUS TREE (SIZE)
	DOWNSPOUT
	FENCE POST
	FIRE HYDRANT
	FOUND SURVEY MONUMENT
	GAS METER
	MAILBOX
	POWER METER
	POWER POLE
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	SUPPORT COLUMN
	WATER METER
	BUILDING EAVE
	BUILDING FOOTPRINT
	FENCE LINE
	OVERHEAD WIRE
	SANITARY SEWER LINE
	STREET CENTER LINE
	ASPHALT-HATCH
	CONCRETE-HATCH
	CONCRETE-HATCH

SITE PLAN
 12626 SE BOSS LANE
 LOT 1 AND A PORTION LOT 2
 BLOCK 1, "MORRISON ADDITION"
 AND OTHER LANDS IN
 NE 1/4 SECTION 1
 T.2 S., R.1 E., W.M.
 CITY OF MILWAUKIE
 CLACKAMAS COUNTY, OREGON

OWNER: LINDLEY BYNUM

S.E. BOSS LANE



SURVEYOR'S NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY IS PER "MORRISON ADDITION", CLACKAMAS COUNTY PLAT RECORDS. THIS IS NOT A RECORDABLE SURVEY.
2. UNDERGROUND UTILITIES ARE SHOWN PER SURFACE MARKINGS AND AS-BUILT INFORMATION PROVIDED BY THE CONTROLLING JURISDICTIONS. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE, NON-EXISTENCE OR COMPLETENESS OF ANY SUBSURFACE UTILITIES SHOWN, OR NOT SHOWN ON THE MAP. CALL 811 BEFORE DIGGING.

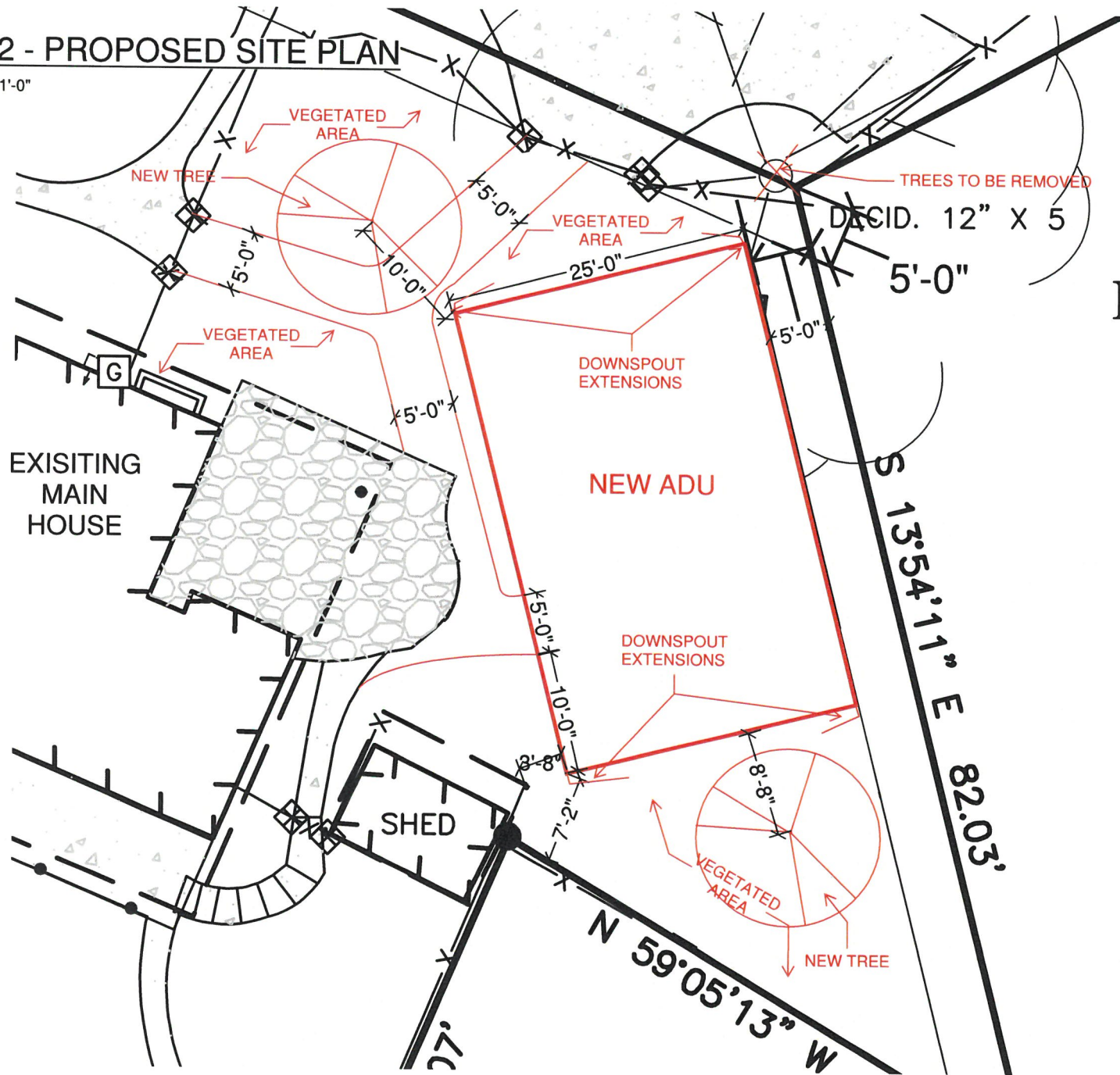
EXISTING STRUCTURES TO BE DEMOLISHED (SEPARATE PERMIT)

REGISTERED PROFESSIONAL LAND SURVEYOR
 JULY 13, 2004
 ANTHONY B. RYAN
 58833
 RENEWS: DECEMBER 31, 2020

6950 SW HAMPTON ST., STE. 170, TIGARD, OR 97223
 PH: (503) 941-9585 FAX: (503) 941-9640
 www.weddlesurveying.net

A1.2 - PROPOSED SITE PLAN

1/8" = 1'-0"



Lot 2

GENERAL NOTES

All new trees to comply with the City of Milwaukee's Street Tree List. New trees must be at least 1.5 caliper inches at the time of planting; new coniferous trees must be at least 5 feet tall. New trees must be located within 10 feet of the impervious surfaces for stormwater credit.

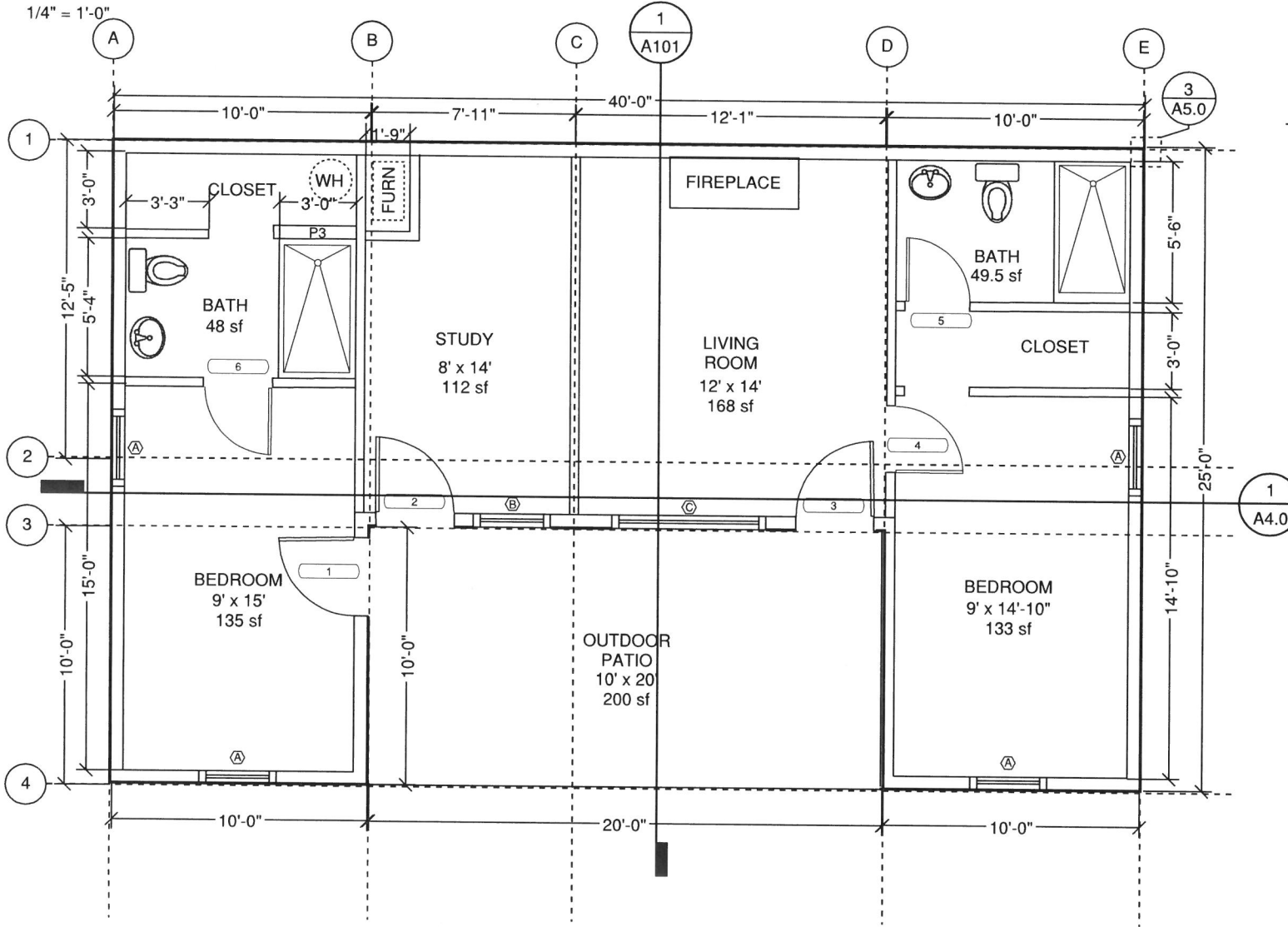
Exterior lighting located on patio (see lighting plan) to be used from dusk to dawn.

Downspouts extensions to discharge 2' from SOG and 5' from property lines. Extensions to land on splash blocks and runoff into a vegetated area.

Estimated net zero volume cut and fill.

A2.0 - FLOOR PLAN

1/4" = 1'-0"



GENERAL NOTES

All exterior walls are 2x6 stud walls unless noted otherwise.

All interior walls are 2x4 stud unless noted otherwise

P3 interior walls are 2x6 stud walls

Provide blocking and fire stopping to meet all applicable codes

Seal all construction joints, plumbing and electrical penetrations to ensure maximum air tightness

Coordinate with owner for HVAC equipment, duct and vent locations

Provide hard wired smoke and carbon monoxide detectors as required by code

Insulation levels:

Walls = R-21

Below grade walls = R-15

Roofs = R-30

Flat Roofs = R-38

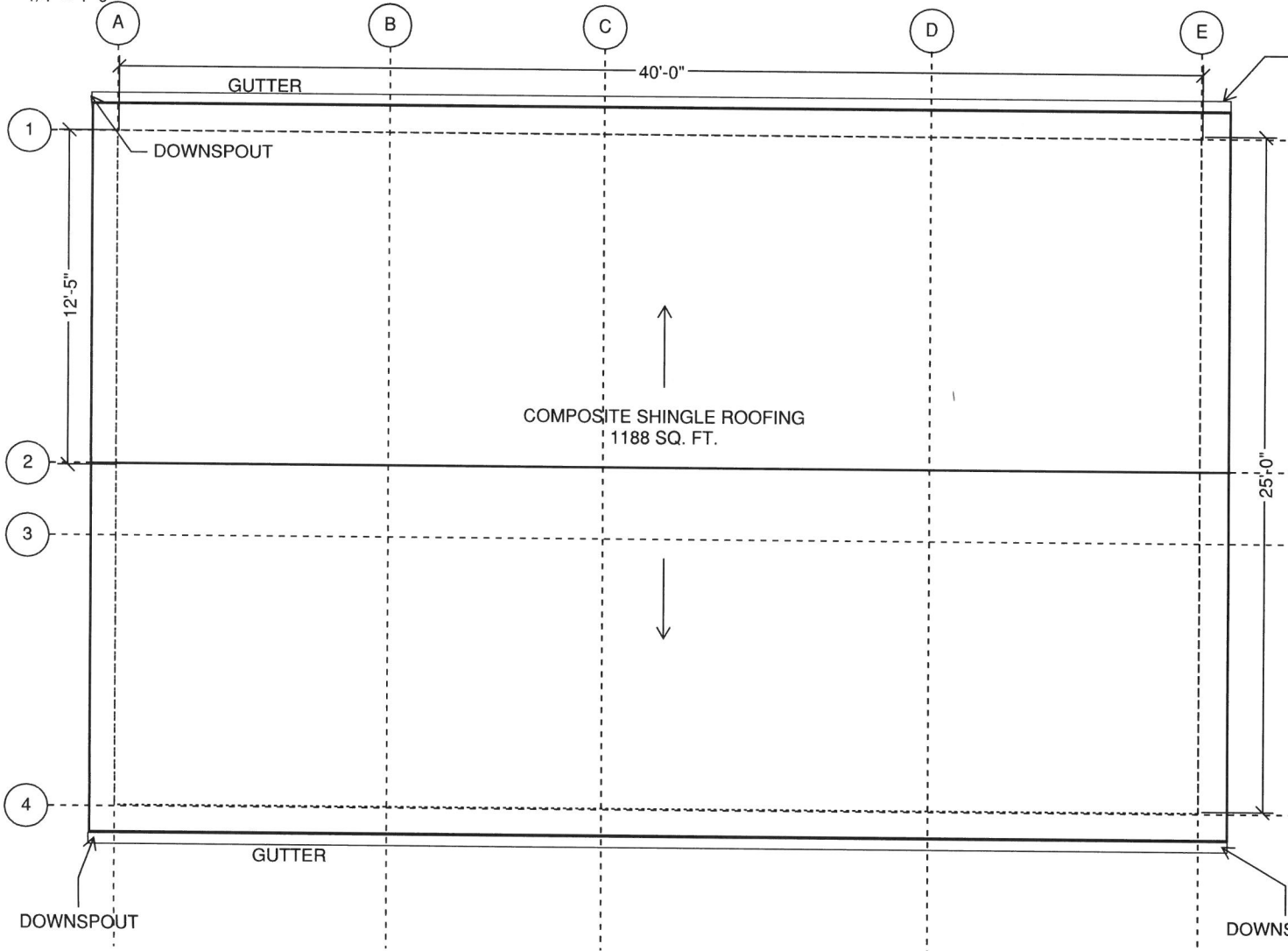
Floors = R-25 with plastic

All exterior walls shall have a vapor retarder on the inside face of the insulation

Sheath all exterior walls w/ 7/16" APA rated sheathing. Nail w/ 8d nails (0/131" X 2-1/2") edge nail and 8d nails @ 12" o/c field. Sheathing and nailing required above and below windows.

A2.1 - ROOF PLAN & SCHEDULES

1/4" = 1'-0"



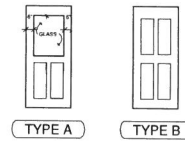
GENERAL NOTES

Coordinate frame sizes with wall thickness

All glass tempered

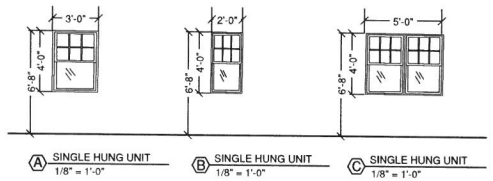
Downspouts extensions to discharge 2' from SOG and 5' from property lines

DOOR TYPES



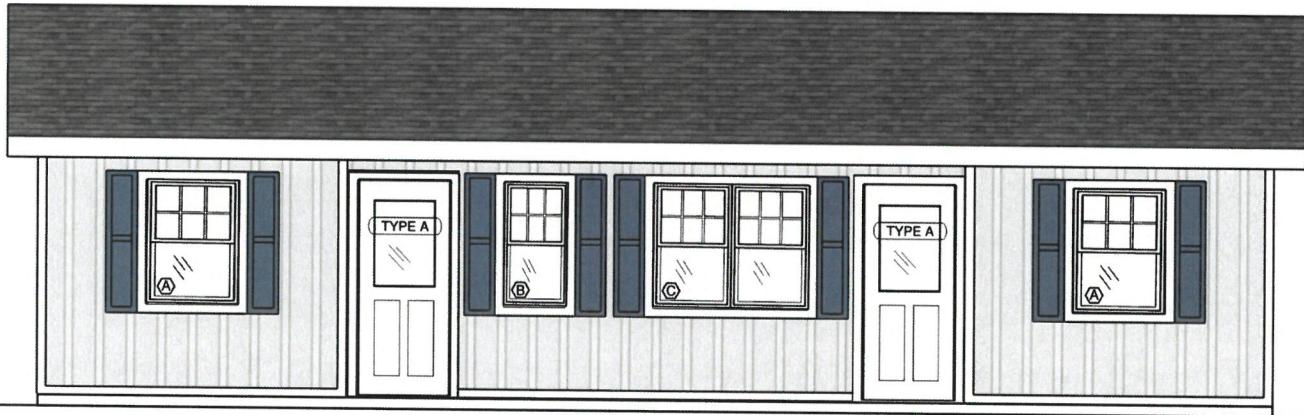
DOOR SCHEDULE							
DOOR NO.	WD	HGT	THK	TYPE	MAT	FINISH	NOTE
1	3'-0"	6'-8"	1-3/8"	A	MTL	PT	EXT
2	3'-0"	6'-8"	1-3/8"	A	MTL	PT	EXT
3	3'-0"	6'-8"	1-3/8"	A	MTL	PT	EXT
4	2'-6"	6'-8"	1-3/8"	B	SC	S/V	INT
5	2'-6"	6'-8"	1-3/8"	B	SC	S/V	INT
6	2'-8"	6'-8"	1-3/8"	B	SC	S/V	INT

WINDOW TYPES

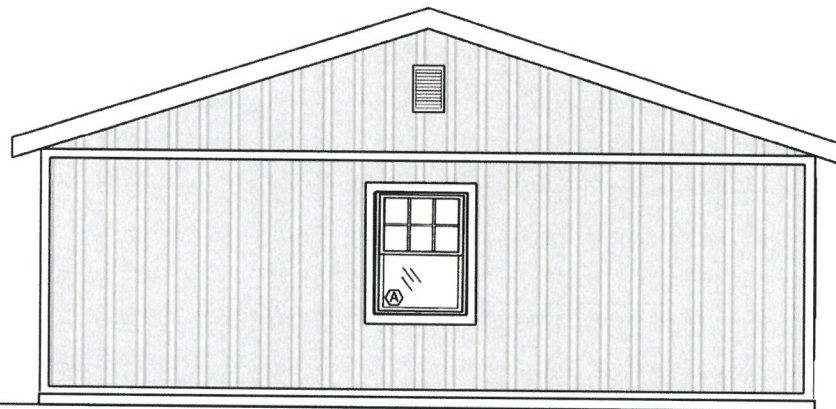


A3.0 - EXTERIOR ELEVATIONS

1/4" = 1'-0"

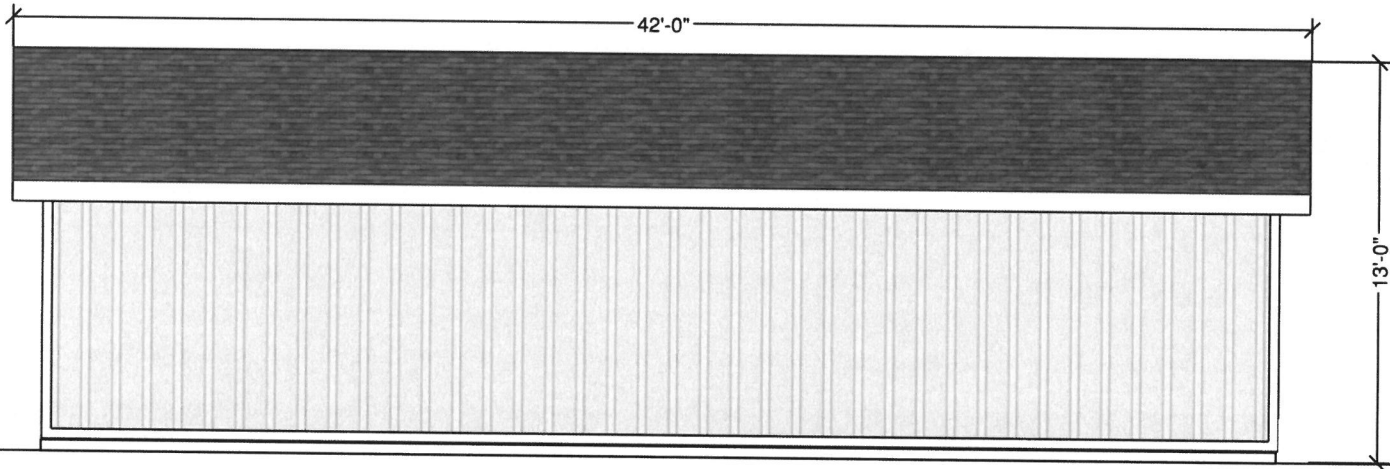


1 WEST ELEVATION
1/4"=1'-0"

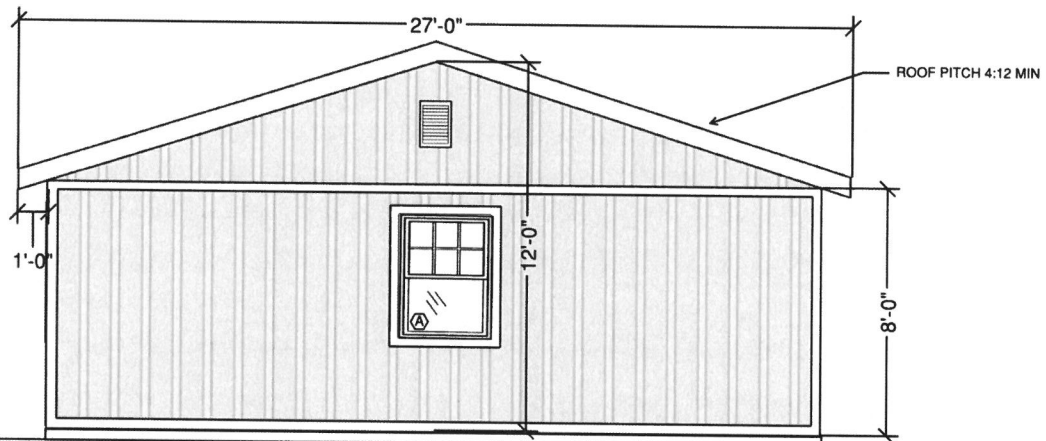


2 NORTH ELEVATION
1/4"=1'-0"

A3.1 - EXTERIOR ELEVATIONS

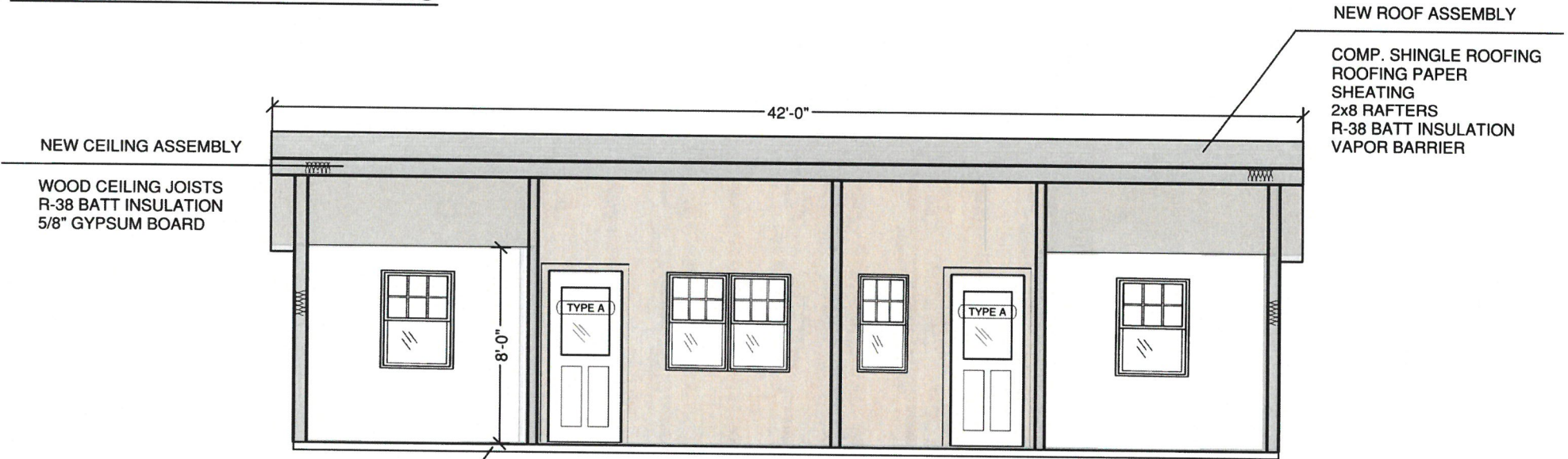


1 EAST ELEVATION
1/4"=1'-0"



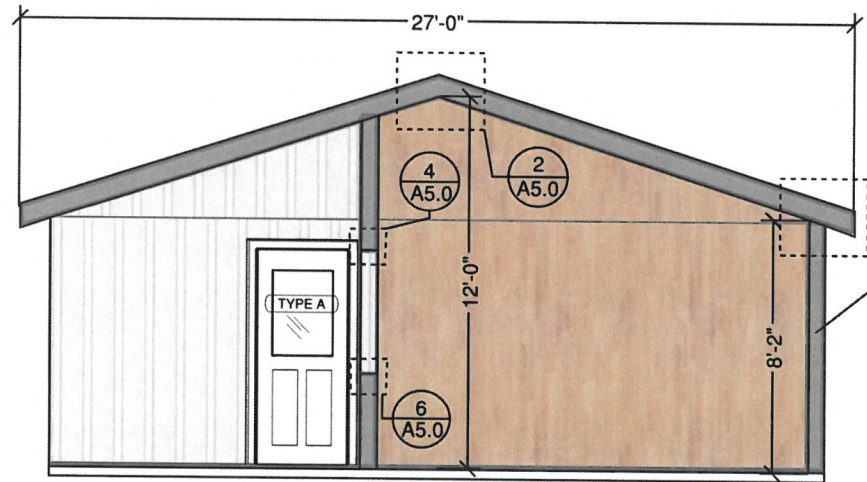
2 SOUTH ELEVATION
1/4"=1'-0"

A4.0 - BUILDING SECTIONS



1 BUILDING SECTION
1/4"=1'-0"

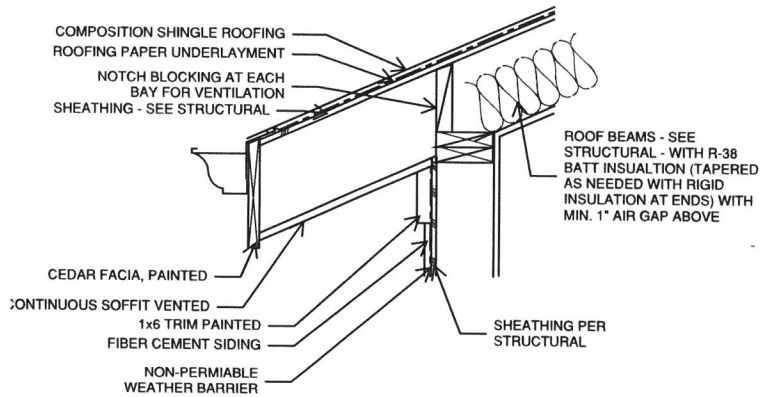
NEW FLOOR ASSEMBLY
SLAB-ON-GRADE
R-38 RIGID INSULATION
VAPOR BARRIER
COMPACTED ROCK



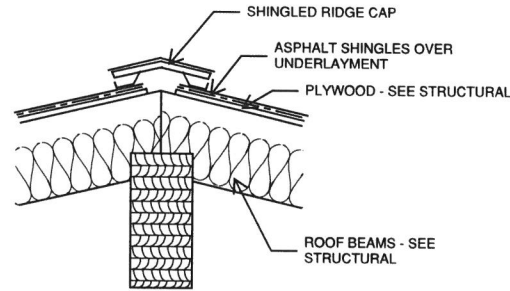
NEW WALL ASSEMBLY
COMPOSITE SIDING,
PRIMED AND PAINTED
WEATHER RESISTANT
BARRIER
SHEATHING PER
STRUCTURAL
2x6 WOOD STUDS PER
STRUCTURAL
R-21 BATT INSULATION
VAPOR BARRIER
GYPSUM BOARD

2 BUILDING SECTION
1/4"=1'-0"

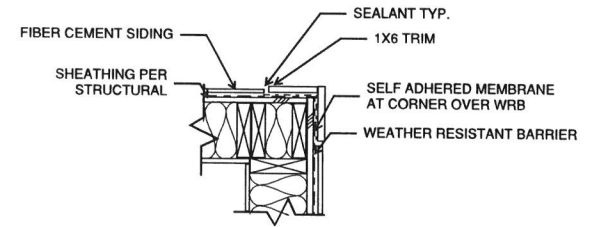
A5.0 - ARCHITECTURAL DETAILS



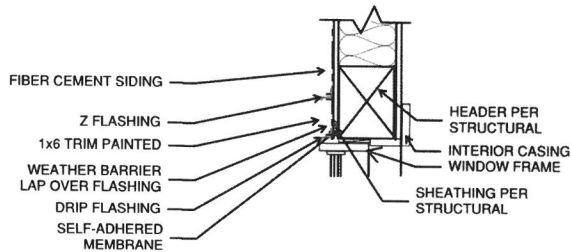
1 ROOF OVERHANG DETAIL
 1"=1'-0"



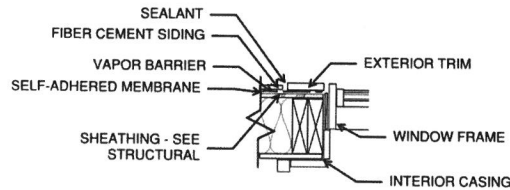
2 RIDGE VENT DETAIL
 1"=1'-0"



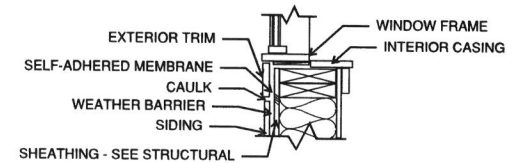
3 CORNER DETAIL
 1"=1'-0"



4 WINDOW HEAD DETAIL
 1"=1'-0"



5 WINDOW JAMB DETAIL
 1"=1'-0"



6 WINDOW SILL DETAIL
 1"=1'-0"

A6.0 - LIGHTING PLANS

1/4" = 1'-0"

GENERAL NOTES

- ☐ RECESSED DOWN-LIGHT
- ◐ WALL SCONCE
- ⊕ SURFACE MOUNTED FIXTURE
- Ⓢ SMOKE / CARBON MONOXIDE DETECTOR
- ◓ RETURN
- Ⓢ WALL SWITCH

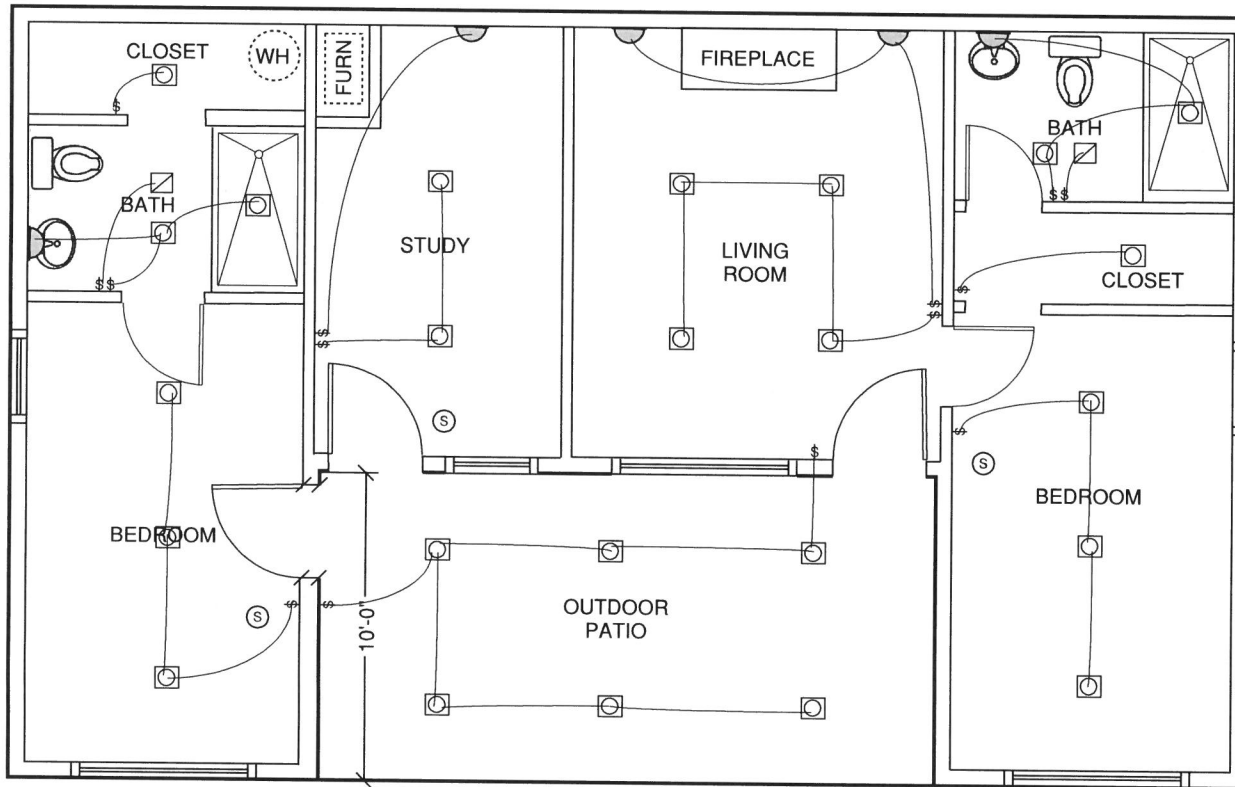
PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS PER CODE, ALL DETECTORS TO BE HARD WIRED AND INTERCONNECTED

PROVIDE MECHANICAL VENTILATION IN FULL BATHROOMS PER ORSC, M1506.4

ALL EXTERIOR LIGHTS TO BE RATED FOR EXTERIOR USE

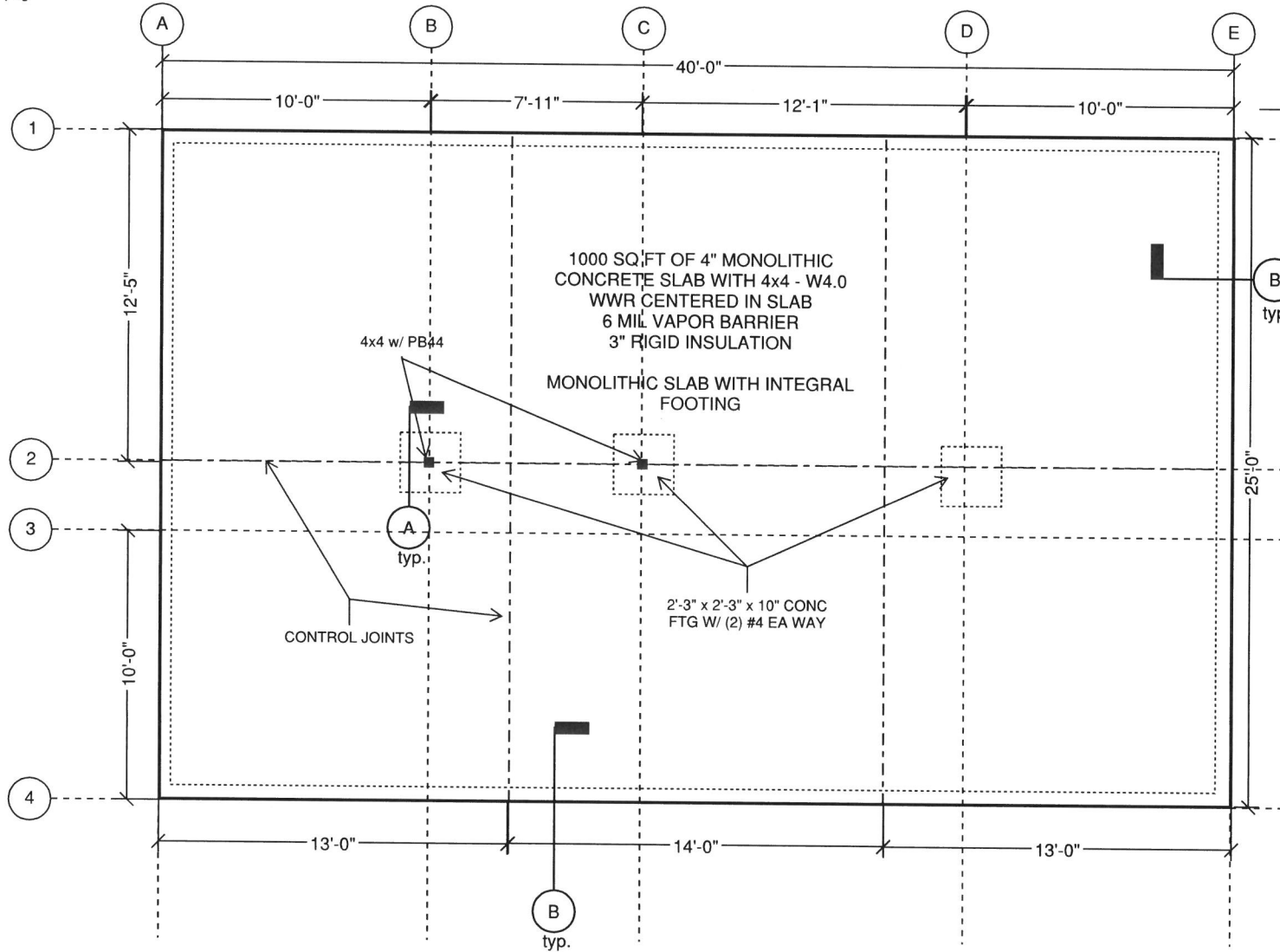
ALL EXTERIOR LIGHTS TO BE USED BETWEEN DUSK AND DAWN

ALL WET AREA LIGHTS TO BE RATED FOR WET AREA USE



S1.0 - STRUCTURAL FLOOR PLAN

1/4" = 1'-0"

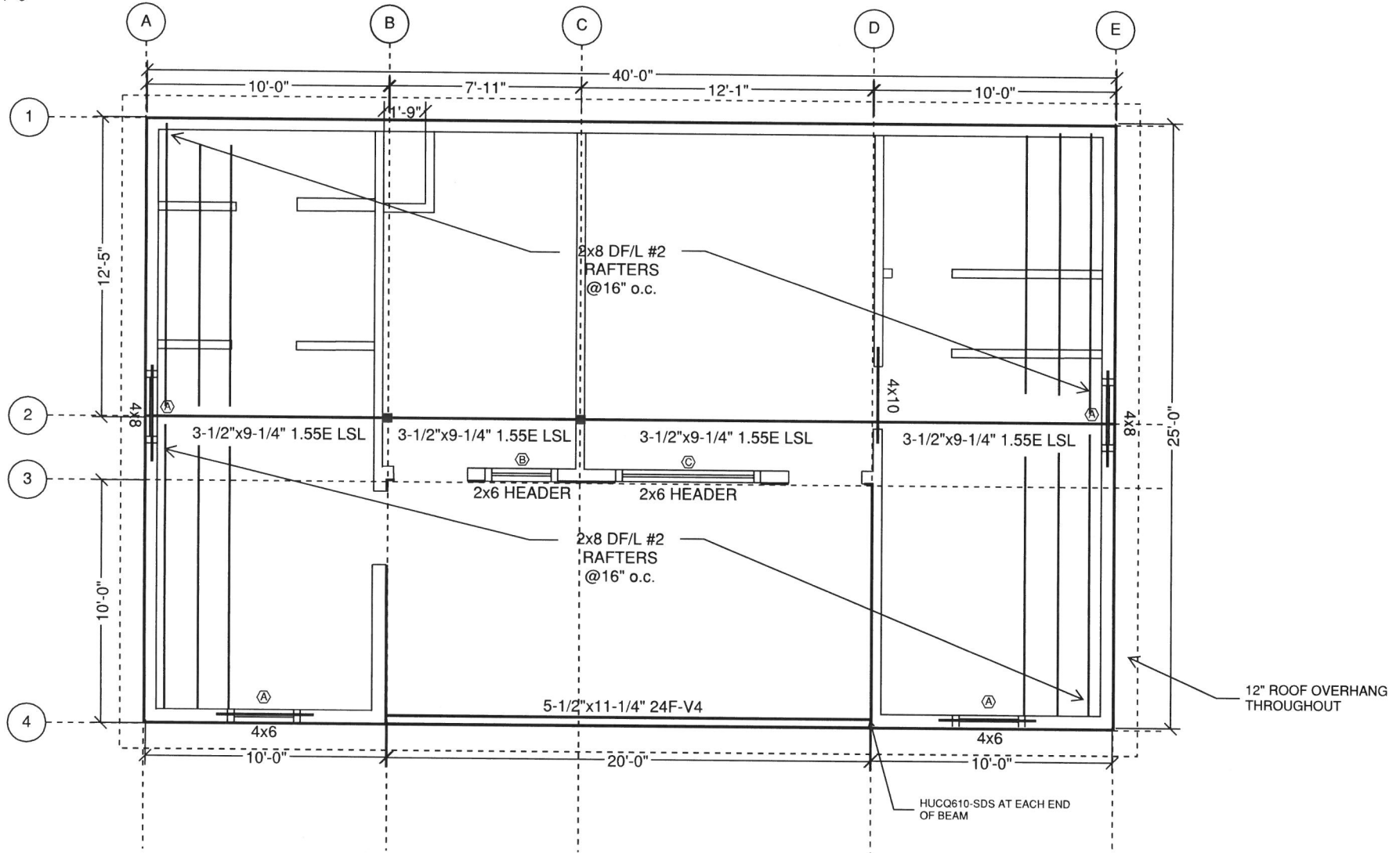


GENERAL NOTES

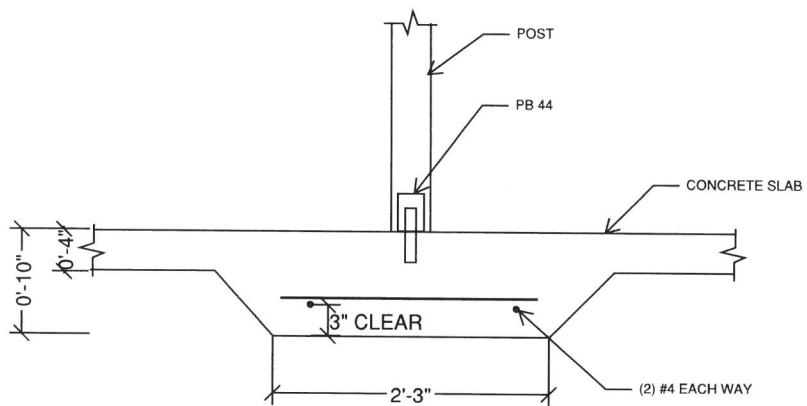
- All exterior walls are 2x6 stud walls unless noted otherwise.
- All interior walls are 2x4 stud unless noted otherwise
- P3 interior walls are 2x6 stud walls
- Provide blocking and fire stopping to meet all applicable codes
- Seal all construction joints, plumbing and electrical penetrations to ensure maximum air tightness
- Coordinate with owner for HVAC equipment, duct and vent locations
- Provide hard wired smoke and carbon monoxide detectors as required by code
- Insulation levels:
 Walls = R-21
 Below grade walls = R-15
 Roofs = R-30
 Flat Roofs = R-38
 Floors = R-25 with plastic
- All exterior walls shall have a vapor retarder on the inside face of the insulation
- Sheath all exterior walls w/ 7/16" APA rated sheathing. Nail w/ 8d nails (0.131"φ X 2-1/2") edge nail and 8d nails @ 12" o/c field. Sheathing and nailing required above and below windows.

S2.0 - ROOF FRAMING PLAN

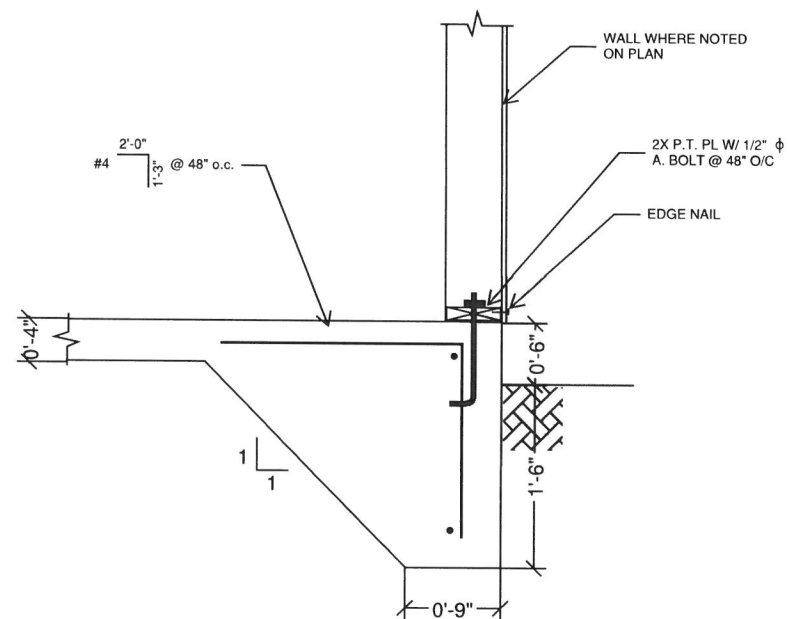
1/4" = 1'-0"



S3.0 - STRUCTURAL DETAILS



A COLUMN FOOTING
1"=1'-0"



B SLAB W/ INTEGRATED FOOTING EDGE
1"=1'-0"