



CITY OF MILWAUKIE

AGENDA

May 2, 2022

DESIGN AND LANDMARKS COMMITTEE

Virtual Meeting (via Zoom)
www.milwaukieoregon.gov

1.0 Call to Order — Procedural Matters — 6:30 PM

2.0 Meeting Notes – Motion Needed

- 2.1 January 3, 2022
- 2.2 January 20, 2022
- 2.3 April 4, 2022

3.0 Information Items

4.0 Audience Participation — This is an opportunity for the public to comment on any item not on the agenda

5.0 Public Meetings — None

6.0 Worksession Items

- 6.1 Summary: Updates to Downtown Design Review code (revisited)
Staff Person(s): Brett Kelter, Senior Planner; Elizabeth Decker, JET Planning
 - Discuss questions raised in discussion guide
 - Graphics update

7.0 Other Business/Updates

- 7.1 Use of Native Lands Acknowledgement statement
- 7.2 Membership/Recruitment update

8.0 Design and Landmarks Committee Discussion Items — This is an opportunity for comment or discussion for items not on the agenda.

9.0 Forecast for Future Meetings:

June 6, 2022 Updates to Downtown Design Review code (final DLC discussion & review)

Meeting Accessibility Services and Americans with Disabilities Act (ADA) Notice

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Servicios de Accesibilidad para Reuniones y Aviso de la Ley de Estadounidenses con Discapacidades (ADA)

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Milwaukie Design and Landmarks Committee Statement

The Design and Landmarks Committee is established to advise the Planning Commission on historic preservation activities, compliance with applicable design guidelines, and to review and recommend appropriate design guidelines and design review processes and procedures to the Planning Commission and City Council.

1. **PROCEDURAL MATTERS.** If you wish to speak at this meeting, please fill out a yellow card and give to planning staff. Please turn off all personal communication devices during meeting. For background information on agenda items, call the Planning Department at 503-786-7600 or email planning@milwaukieoregon.gov. Thank You.
2. **DESIGN AND LANDMARKS COMMITTEE MEETING MINUTES.** Approved DLC Minutes can be found on the City website at www.milwaukieoregon.gov.
3. **CITY COUNCIL MINUTES** City Council Minutes can be found on the City website at www.milwaukieoregon.gov.
4. **FORECAST FOR FUTURE MEETING.** These items are tentatively scheduled but may be rescheduled prior to the meeting date. Please contact staff with any questions you may have.

Public Meeting Procedure

Those who wish to testify should come to the front podium, state their name and address for the record, and remain at the podium until the Chairperson has asked if there are any questions from the Committee members.

1. **STAFF REPORT.** Each design review meeting starts with a brief review of the staff report by staff. The report lists the criteria for the land use action being considered, as well as a recommendation with reasons for that recommendation.
2. **CORRESPONDENCE.** Staff will report any verbal or written correspondence that has been received since the Committee was presented with its meeting packet.
3. **APPLICANT'S PRESENTATION.**
4. **PUBLIC TESTIMONY IN SUPPORT.** Testimony from those in favor of the application.
5. **NEUTRAL PUBLIC TESTIMONY.** Comments or questions from interested persons who are neither in favor of nor opposed to the application.
6. **PUBLIC TESTIMONY IN OPPOSITION.** Testimony from those in opposition to the application.
7. **QUESTIONS FROM COMMITTEE MEMBERS.** The committee members will have the opportunity to ask for clarification from staff, the applicant, or those who have already testified.
8. **REBUTTAL TESTIMONY FROM APPLICANT.** After all public testimony, the Committee will take rebuttal testimony from the applicant.
9. **CLOSING OF PUBLIC MEETING.** The Chairperson will close the public portion of the meeting. The Committee will then enter into deliberation. From this point in the meeting, the Committee will not receive any additional testimony from the audience but may ask questions of anyone who has testified.
10. **COMMITTEE DISCUSSION AND ACTION.** It is the Committee's intention to make a recommendation this evening on each issue on the agenda. Design and Landmarks Committee recommendations are not appealable.
11. **MEETING CONTINUANCE.** Prior to the close of the first public meeting, any person may request an opportunity to present additional information at another time. If there is such a request, the Design and Landmarks Committee will either continue the public meeting to a date certain, or leave the record open for at least seven days for additional written evidence, argument, or testimony.

Milwaukie Design and Landmarks Committee:

Cynthia Schuster, Chair
Tracy Orvis, Vice Chair
Mary Neustadter
(vacant)
Evan Smiley
Dylan Geske

Planning Department Staff:

Laura Weigel, Planning Manager
Vera Kolias, Senior Planner
Brett Kelter, Senior Planner
Adam Heroux, Associate Planner
Ryan Dyar, Assistant Planner
Will First, Administrative Specialist II

**CITY OF MILWAUKIE
DESIGN AND LANDMARKS COMMITTEE
MINUTES**

**(virtual meeting via Zoom)
Monday, January 3, 2022
6:30 PM**

COMMITTEE MEMBERS PARTICIPATING

Tracy Orvis, Vice Chair
Mary Neustadter

STAFF PARTICIPATING

Brett Kelter, Senior Planner (DLC staff liaison)
Vera Kolias, Senior Planner

MEMBERS ABSENT

Cynthia Schuster, Chair
Evan Smiley
Dylan Geske

OTHERS PARTICIPATING

from Dogwood Station applicant team:
Jessamyn Griffin, Works Progress Architecture
Jennifer Dillan, Wild Hair Development
Jessy Ledesma, HomeWork Development
Adam Hostetler, Works Progress Architecture
Holly Kang, Works Progress Architecture
Stan Shulman (property owner)
Joshua Shulman (property owner)

1.0 Call to Order – Procedural Matters

Vice Chair Tracy Orvis called the meeting to order at 6:37 p.m. It was noted that a quorum was not present.

2.0 Design and Landmarks Committee Minutes

2.1 September 7, 2021

Vice Chair Orvis asked whether there were any revisions to the minutes for the September meeting—there were none, and the minutes were approved unanimously.

3.0 Information Items – None

4.0 Audience Participation – None

5.0 Public Meetings

5.1 Design review meeting for VR-2021-017 (Dogwood Station, 2206 SE Washington St)
Staff: Vera Kolias, Senior Planner

Senior Planner Vera Kolias presented an overview of the proposed development—a six-story residential building with 55 workforce units. The project includes no on-site parking and relies instead on shared parking. The building is of the same scale as the recently approved Axletree and Coho Point buildings, with a roof deck that presents a step-back that reduces some of the massing on one side. She noted the approval criteria for the requested building height variance for a sixth story, although the proposed height of 65 ft complies with the maximum height standard of 69 ft. Explaining that only the design guidelines for Milwaukie Character and Pedestrian Emphasis were relevant to the project, she also outlined the approval criteria for downtown design review. She asked the committee whether it agreed that the criteria for the building height variance were met and whether there were any suggestions for how the design might better meet the guidelines.

Jessy Ledesma of HomeWork Development made some quick notes on the background of the project before **Jessamyn Griffin** of Works Progress Architecture elaborated on the site and a few of the architectural features. **Griffin** explained that the design provided a view to the courtyard for each of the units and reiterated that the roof deck provided a step-down effect.

The committee members asked questions about the project. **Committee Member Mary Neustadter** expressed support for the project in general—she liked the style of the building, the location, the fact that it is proposed to be affordable and that it offers a lot of light—but she was not convinced that the design had been completely successful in breaking down the building to be of a more residential scale. **Griffin** acknowledged that it was not possible to break a building with that many units all the way down to the scale of a single-family house, but instead that they had tried to break it down in terms of patterns and scale relative to similar-sized buildings. She noted the use of the courtyard and windows to provide light and good natural views, as well as the strong ground-floor residential public face. Material changes, the use of vertical panels, and parapet jogs along the top edge of the roof also help to lessen the scale. **Ledesma** added that they had chosen the courtyard style of building (rather than a more monolithic double-loaded corridor style) to reduce the mass.

Vice Chair Orvis suggested that the applicant team find a way to show more of the area context in the building elevations, to include other nearby buildings (including Axletree) in the views. She noted that she had similar questions to what Neustadter had raised and thought the added information would be helpful for the Planning Commission in considering the project. She also asked whether the additional (sixth) story made it possible to provide the amenity spaces for the building. **Jennifer Dillan** of Wild Hair Development explained the effort to provide as many affordable units as possible with amenities.

Vice Chair Orvis asked about parking. **Senior Planner Brett Kelter** clarified that parking was not an item for consideration in the design review meeting but suggested that it might be useful to have the applicant team address it for the larger context. **Dillan** explained the shared parking arrangements with a couple nearby properties. **Committee Member Neustadter** asked whether anyone had looked at potential impacts of tenants parking on the street in the neighborhood; **Ledesma** noted that the larger application packet includes a related study from Portland State University that provides a lot of information on this question, with a conclusion that impacts are minimal.

Committee Member Neustadter stated that she had an issue with the proposal to demolish the existing building. She explained that it had been inventoried in 1988 and was identified as the R. Dewey house but had not been designated as an historic resource. When the light rail project was underway the house was looked at again (because of the federal dollars involved) but was still not officially designated. She said she thinks it is important to acknowledge the loss of the resource and wanted to ask the developer to document the history as TriMet had done as part of the light rail project. She asked the development team to consider whether the building could be moved. If that was not possible, she noted that the City of Portland had a requirement for manual deconstruction of historic buildings, resulting in the recycling of 85-90% of the materials. **Vice Chair Orvis** echoed the interest in seeing some of the existing building materials be reused and asked whether the development team could consider that option. **Ledesma** responded that they might be able to do some manual deconstruction and could coordinate with the owner to see about offering the building for sale (to be moved).

Kelter and **Kolias** both followed up to clarify what issues were fair game for the committee in the context of the design review and building height variance. (Note: The historic preservation and parking issues were not in consideration for this review.)

Vice Chair Orvis asked about bicycle parking and how it would work for visitors or guests. **Griffin** responded that there would be some bike parking at the front of the building. **Orvis** asked **Kolias** whether there were any other things to know about the height variance; **Kolias** responded that staff thought the proposal met the approval criteria and asked whether the committee agreed or thought anything was being missed. The members did not note any omissions or disagreement.

Vice Chair Orvis closed the public comment portion of the meeting and asked if there was any discussion among the members. **Committee Member Neustadter** suggested that the development team do manual deconstruction and try to save as much of the existing building as possible (either recycling or selling what they could not use).

Vice Chair Orvis called for a vote on the motion to recommend approval of the proposed design and building height variance. The members voted unanimously in favor (2-0) to recommend approval.

6.0 Worksession Items – None

7.0 Other Business/Updates – None

- 7.1 Committee Update—2022 forecast, recruitment, return to in-person meetings, etc.
Staff: Brett Kelter, Senior Planner

Kelter explained staff's intention to return to the work of finishing the effort to update the downtown design review code, probably starting with the May 2 regular meeting. The meeting hiatus will continue until then. Staff anticipates bringing the final version of the draft amendments back to the committee for discussion at the May and June meetings before moving forward to the Planning Commission and City Council. The intention is to have the amendments adopted by the end of 2022.

Kelter reported that the effort to fill the currently vacant seat of Brett Laurila would probably not resume until later in the year, in coordination with the overall efforts of the Office of the City Recorder to recruit for all the various boards and committees. In the meantime, the current membership is all eligible to continue serving in their respective terms.

Finally, **Kelter** noted that, although the City Council is aiming to begin returning to in-person meetings in the next month or two, for the time being, the virtual meeting format will continue to be an option for this and other boards and committees.

8.0 Design and Landmarks Committee Discussion Items – None

9.0 Forecast for Future Meetings

May 2, 2022 Return to work on downtown design review code update

Vice Chair Orvis adjourned the meeting at 7:57 p.m.

Respectfully submitted,

Brett Kelter, Senior Planner

**CITY OF MILWAUKIE
DESIGN AND LANDMARKS COMMITTEE
MINUTES
(virtual meeting via Zoom)
Thursday, January 20, 2022
6:30 PM**

COMMITTEE MEMBERS PARTICIPATING

Cynthia Schuster, Chair
Tracy Orvis, Vice Chair
Evan Smiley

MEMBERS ABSENT

Mary Neustadter
Dylan Geske

STAFF PARTICIPATING

Brett Kelter, Senior Planner (staff liaison)
Vera Kolias, Senior Planner

OTHERS PARTICIPATING

from Dogwood Station development team:
 Jessamyn Griffin, Works Progress Architecture
 Jennifer Dillan, Wild Hair Development
 Stan Shulman (property owner)
 Joshua Shulman (property owner)
 Holly Kang, Works Progress Architecture
Sandra Jones
Rich Recker, Historic Milwaukie NDA
Debra Renard
Val Hubbard
unidentified participant via phone

1.0 Call to Order – Procedural Matters

Chair Cynthia Schuster called the meeting to order at 6:34 p.m.

2.0 Design and Landmarks Committee Minutes

2.1 September 7, 2021

Due to the lack of quorum at the January 3 meeting, the minutes from the September 2021 meeting needed to be revisited for approval. **Chair Schuster** asked whether there were any revisions to the September meeting minutes—there were none, and the minutes were approved unanimously.

3.0 Information Items – None

4.0 Audience Participation – None

5.0 Public Meetings

5.1 Design review meeting for VR-2021-017 (Dogwood Station, 2206 SE Washington St)
Staff: Vera Kolias, Senior Planner

Senior Planner Brett Kelter explained that the lack of a quorum for the recent meeting on January 3 meant that the group needed to revisit the Dogwood Station project. Since a quorum was present this evening, as long as the members who missed the earlier meeting could confirm that they had watched the video of the January 3 meeting, it would not be necessary to re-do the staff and applicant presentations. **Chair Schuster** and **Committee Member Evan Smiley** confirmed that they had both watched the video. **Kelter** asked if there were any questions.

Val Hubbard, a member of the public in attendance, asked a question about parking for the project. As at the January 3 meeting, **Kelver** noted that parking was not an issue for consideration at this design review meeting, but he asked whether anyone from the applicant team would be willing to address the issue just for public information. **Jennifer Dillan** of Wild Hair Development explained more about how parking would work for the building.

There were no other questions, and the committee members opened their discussion of the issues. **Vice Chair Orvis** provided a recap of the previous meeting's discussion about the historic structure on the site, including the recommendations to sell and move the building or manually deconstruct it and reuse/recycle as much material as possible.

Chair Schuster focused attention on the four criteria for the building height variance and noted her questions about several of them.

- 1) Substantial consistency with the downtown design guidelines
- 2) Exceptional quality
- 3) Preserve views to the river, limit shadows, provide transitions to the neighborhood
- 4) Provide public benefits

Chair Schuster noted that the project presented some loss of view of the river for neighboring properties and that she did not feel the design included exceptional materials, though she acknowledged that it did have many nice features. **Vice Chair Orvis** suggested that more information or detail about the design, including more graphically showing the impacts on other nearby buildings, might help address those concerns. **Chair Schuster** thought that a view study might be useful and commented that the building articulations seemed minimal.

Kelver summarized the recommendations as follows:

- Provide a view study
- Consider providing more information or detail:
 - Something to break up the vertical
 - Use of more changes in materials
 - More modulation of the east or southeast façade (facing the neighborhood)
 - Photos or images of the materials themselves
- Historic property recommendations from January 3 meeting:
 - Attempt to sell and move the existing building
 - Manually deconstruct the building to reuse or recycle as much material as possible
 - Incorporate historic elements of the existing building into the new building

Kelver confirmed that the group was inclined to recommend approval with the specific suggestions noted and asked if the group was ready for a vote. Such a motion was made and approved unanimously (3-0) in favor.

6.0 Worksession Items – None

7.0 Other Business/Updates

- 7.1 Committee Update—Recap of 2022 forecast
Staff: Brett Kelter, Senior Planner

Kelver reiterated the update he had provided at the January 3 meeting, noting the intention to finish the project to update the downtown design review code by the end of the year, starting with the May 2 regular meeting. He confirmed that recruitment efforts to fill the vacant seat

would not resume until later in the year, in conjunction with the larger process being managed by the Office of the City Recorder. He noted that the current membership is all eligible to continue serving in their respective terms in the meantime. And he noted that the virtual meeting format will continue to be the primary format for the DLC for at least the next few months.

8.0 Design and Landmarks Committee Discussion Items – None

9.0 Forecast for Future Meetings

May 2, 2022	Resume work on downtown design review code update
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Chair Schuster adjourned the meeting at 7:10 p.m.

Respectfully submitted,

Brett Kelter, Senior Planner

**CITY OF MILWAUKIE
DESIGN AND LANDMARKS COMMITTEE
MINUTES**

**(virtual meeting via Zoom)
Monday, April 4, 2022
6:30 PM**

COMMITTEE MEMBERS PARTICIPATING

Cynthia Schuster, Chair
Tracy Orvis, Vice Chair

STAFF PARTICIPATING

Brett Kelter, Senior Planner (staff liaison)

OTHERS PARTICIPATING

Elizabeth Decker, JET Planning

MEMBERS ABSENT

Mary Neustadter
Evan Smiley
Dylan Geske

1.0 Call to Order – Procedural Matters

Chair Cynthia Schuster called the meeting to order at 6:36 p.m.

2.0 Design and Landmarks Committee Minutes

- 2.1 January 3, 2022
- 2.2 January 20, 2022

Due to the lack of quorum, review and approval of the minutes from the January 3 and January 20 meetings was tabled until the next time a quorum was present.

3.0 Information Items

Senior Planner Brett Kelter shared several informational updates:

- The City's annual volunteer appreciation dinner will be held on July 14 at the Milwaukie Community Center. Formal invitations will be sent out at some point soon, but committee members are encouraged to circle the date on their calendars.
- Several of the members' terms will expire on June 30, 2022: Chair Schuster and Committee Members Mary Neustadter, Evan Smiley, and Dylan Geske. All are eligible for at least one more renewal if interested, so **Kelter** agreed to follow up with each to see if they would like to renew. (As a youth member, the original expectation was that Committee Member Geske would only serve one term.)
- The Office of the City Recorder is providing information and resources if any boards or committees wish to make the reading of a Native Lands Acknowledgment statement a regular part of their meeting. **Kelter** agreed to forward the information to the group and to revisit the issue.
- The Recorder's office is coordinating a larger recruitment effort for the openings all the various boards and committees, with interviews scheduled for May 21. Appointments will be made in June. **Chair Schuster** said she would reach out through her contacts and encourage any good candidates to apply, noting that it would be good to have someone with a background in landscape architecture on the committee again.

4.0 Audience Participation – None

5.0 Public Meetings – None

6.0 Worksession Items – None

- 6.1 Updates to Downtown Design Review code (revisited)
Staff: Brett Kelter, Senior Planner; Elizabeth Decker, JET Planning

Kelter and consultant **Elizabeth Decker of JET Planning** walked through a short power point presentation to refresh the group on the effort to relaunch the downtown design review code update. There was a quick recap of progress from 2018 (when Decker first got involved) to date, with an outline of the next steps and timeline for bringing the project to a close with adoption of code amendments by the end of 2022.

Decker led a discussion asking for feedback from the members on two particular items (exterior building materials and lighting). Regarding brick in the Exterior Building Materials table, the recommendation was to eliminate the line for brick veneer and to clarify that “full-size” brick is what is allowed (not “thin brick”—but no need to specify a certain thickness). While brick load-bearing walls are unlikely to be constructed in current conditions, any brick cladding visible on the exterior should use “full-size” bricks rather than the “thin brick.” Regarding architectural concrete block (polished, textured, or colored—versus natural concrete block), there was a similar recommendation to eliminate the line for architectural concrete veneer. Because both bricks and architectural concrete blocks come in standard sizes, the group recommended eliminating any references to minimum widths of the materials or veneers. The group agreed to completely eliminate natural concrete block as an allowable exterior material.

Vice Chair Tracy Orvis asked why architecturally treated poured in place concrete was listed as a Secondary material for upper floors, when it seemed like a more interesting material higher up on a building. **Chair Schuster** suggested that the intent was to use the poured in place concrete more as a base material on the ground floor.

There was a quick revisiting of the topic of what to do about prohibited materials (whether or not to list them in the table). The default idea is that a material is prohibited if it is not on the list. **Chair Schuster** wondered whether it might be useful to list the prohibited materials in a footnote to the table.

Chair Schuster thought that through color reinforced cement siding and panels should not be listed as prohibited on the ground floor but should instead be allowed as an accent material.

With regard to lighting, **Decker** noted that the proposed standards focus largely on lighting levels (requiring a minimum amount, limiting spill) and asked whether the members had any ideas about setting standards for lighting design. **Chair Schuster** clarified that the spill levels were intended to address site lighting and that it was ok to allow light spill onto sidewalks and walkways rather than on other properties. It was suggested that lighting be required under canopies and also to set a standard for lighting the streetscape. No specific standards for lighting the façade or other building elements were recommended. The group clarified that it was reasonable to ask for lighting plans at the time of design review, consistent with many other jurisdictions and the amount of information that applicants can reasonably be asked to generate at that stage of design.

Vice Chair Orvis asked whether the committee would be informed of whatever comes out of the focus groups that staff plans to hold with some developers and architects to review and troubleshoot the draft amendments. **Kelter** agreed to provide the group with a summary of those conversations.

7.0 Other Business/Updates – None

8.0 Design and Landmarks Committee Discussion Items – None

9.0 Forecast for Future Meetings

May 2, 2022	Resume work on downtown design review code update
June 6, 2022	Final review of proposed downtown design review code

Chair Schuster adjourned the meeting at 7:40 p.m.

Respectfully submitted,

Brett Kelter, Senior Planner



CITY OF MILWAUKIE

To: Design and Landmarks Committee

Through: Laura Weigel, Planning Manager
Elizabeth Decker (JET Planning), Project Consultant

From: Brett Kelter, Senior Planner

Date: April 25, 2022, for May 2, 2022, Worksession

Subject: Downtown Design Review Code Update

REVISED DRAFT

Elizabeth has prepared a discussion guide (see Attachment 1) to help structure our review of the updated draft of Milwaukie Municipal Code (MMC) Section 19.508 (see Attachment 2). Section 19.508 is where much of the substance lives that the committee has been discussing over time. This version includes some highlighted questions or commentary for your attention in preparation for our discussion on May 2. The discussion guide features two key issues regarding review type and multifamily development. Please review both documents in preparation for the upcoming meeting.

Additional changes to MMC Section 19.304 and Section 19.907 will also be part of the amendment package and will be provided to the committee for review in conjunction with the June 6 meeting.

ATTACHMENTS

1. Discussion guide
2. Updated draft of proposed code (MMC Section 19.508)

Note: E-Packet materials will be available online at <https://www.milwaukieoregon.gov/bc-dlc/design-and-landmarks-committee-58>.

ATTACHMENT 1

DISCUSSION QUESTIONS FOR DLC (BEYOND WHAT IS IN THE DRAFT CODE DOCUMENT)

Review type required: There are currently three levels of review for downtown projects: a Type I administrative review for minor modifications, a Type II administrative review with public notice and opportunity for written public comment for new development and major modifications that meet the objective design review standards, and a Type III quasi-judicial review for new development and major modifications under the design guidelines with public notice and opportunity for written and verbal comments during DLC and PC hearings. Given the substantive improvements to the objective review standards, does it still make sense to require a Type II review for new development rather than a Type I? The significant difference is that Type II requires public notice be mailed to nearby property owners; however, public comments are limited to compliance with the objective criteria and rarely influence the outcome of the administrative decision. For comparison, multifamily residential is reviewed according to either to objective design standards or discretionary guidelines—similar to the proposed two-track system for downtown design review—and the objective review is a Type I review.

- What would be gained through a Type II review rather than a Type I review?
- Would a Type I review offer advantages over a Type II review in terms of simplicity?
- Are there alternate ways to provide information on proposed downtown development rather than the standard Type II public notice mailed to surrounding property owners?

Standards applicable to multifamily residential development: Sites not fronting Main Street are eligible to develop all-residential projects, as compared to mixed-use development. Such developments are currently required to meet some of the downtown-specific standards proposed in 19.508 (downtown design standards) and some of the multifamily design standards in 19.505.3. Our discussions in Fall 2020 identified an opportunity to apply a mix of the more aesthetic downtown standards (e.g., façade articulation, materials) and some of the functional multifamily standards (e.g., recycling areas, privacy considerations). In further review, however, the consultant recommendation is to integrate any desired functionality standards into the downtown design standards so that they apply to both residential-only multifamily and mixed-use with residential units (e.g., see recycling area standards proposed in 19.508.4.K.2.f).

There is also an alternative option for a multifamily residential project to elect to meet the city-wide multifamily design standards in 19.505.3 through a Type I review in lieu of complying with downtown standards. Should that option remain (currently located in 19.907.2.B.11)? Must it remain for compliance with state regulations around an objective review option for residential development, or can it be replaced by the proposed clear and objective review standards for downtown residential?

Attachment 2

DLC REVIEW DRAFT AND COMMENTARY APRIL 25, 2022

Ed note: The proposed code section 19.508 integrates the Downtown Design Review document that DLC has refined over the past two years, and translates it into code language. This commentary version includes outstanding questions highlighted in yellow for discussion at the May DLC meeting as well as ongoing staff and consultant research prior to finalizing the draft for DLC in June. There are also areas highlighted in blue that reflect recent direction from DLC for confirmation that the staff have accurately captured the preferred direction, as well as additional recommendations by the consultant.

19.508 DOWNTOWN SITE AND BUILDING DESIGN STANDARDS AND GUIDELINES

This section contains building design standards to be used with Type I and II downtown design reviews, as established in Section 19.907, and to provide additional direction when the Downtown Design Guidelines are applied through a Type III all downtown design reviews process. This section includes both objective standards for Type I and Type II reviews as well as discretionary guidelines for Type III reviews.

19.508.1 Purpose

The design standards and guidelines contained in this section are intended to encourage building design and construction with durable, high-quality materials in a manner that complements district development patterns, adds vitality, fosters human-scale design, etc. The design standards and guidelines will support the development of a cohesive, attractive, and safe downtown area and encourage private investment. The design standards and guidelines do not prescribe a particular building or architectural style. Compliance with the standards is reviewed as part of a Type I or II These standards and guidelines apply to all downtown design reviews.

(Ed note: Are there additional aspects to add to the above purpose statement?)

19.508.2 Applicability

The design standards in this section generally apply to the street-abutting façades of nonresidential, mixed-use, and residential-only multifamily buildings within the downtown zones. More detailed applicability language is provided at the beginning of each specific standard. Development is subject to the standards of this section as described below.

A. New Development

1. All new development is subject to the standards of this section.
2. New development that does not meet one or more standards of this section is subject to Type III downtown design review per Section 19.907 and review against the purpose statement and Downtown Design Guideline(s) related to that standard.

B. Expansions, Additions, and/or Changes to Existing Buildings or Structures

The following elements are applicable to expansions of, and/or additions to, existing buildings or structures. Elements that are applicable to expansions or additions do not apply to existing buildings unless stated below. Expansions or additions that bring the building or structure out of conformance, or further out of conformance if already nonconforming, with the applicable design standard or standards are subject to Chapter 19.800 Nonconforming Uses and Development or Section 19.907 Downtown Design Review.

1. Expansions or additions that add 250 sq ft or less—and are not visible from the pedestrian level of adjacent streets, sidewalks, courtyards, and/or public parks or pedestrian walkways—are exempt from the design standards of Section 19.508.
2. Expansions or additions to the street-abutting façade are subject to the following standards.
 - a. Subsection 19.508.4.A.2 Building Façade Details, Nonresidential and Mixed-Use Buildings, for the area of expansion or addition only.
 - b. Subsection 19.508.4.B Corners, if applicable.
 - c. Subsection 19.508.4.C Weather Protection, if the addition or expansion includes a building entry.
 - d. Subsection 19.508.4.D.3 Exterior Building Materials, For Existing Development, only for the area of the expansion.
 - e. Subsection 19.508.4.E Windows and Doors, only for the area of expansion or addition.
 - f. Subsection 19.508.4.F Roofs and Rooftop Equipment, for expansions that include an additional floor, a new roof, and/or new rooftop equipment.
 - g. Subsection 19.508.4.G Open Space/Plazas.

C. Replacement of Materials

The following elements are applicable for work that would replace any of the façade materials on a building or change elements of the façade such as windows, doors, awnings, canopies, and other structural elements. The element applies only to the portion of the façade on which the new materials are installed or the structural element being replaced.

1. Subsection 19.508.4.A.2.a(1)(b) for replacement of more than 25% of the building façade materials.
2. Subsection 19.508.4.A.2.a(2)(b) for replacement of more than 25% of the building façade materials.
3. Subsection 19.508.4.A.2.b, for replacement of more than 25% of the building façade materials.
4. Subsection 19.508.4.D.3 for existing development.

D. Other Activities

Any activity not described in Subsections 19.508.2.A-C is exempt from the design standards of this section.

19.508.3 Review Process

Design standards for development in downtown Milwaukie are applied through downtown design review as established in Section 19.907. Projects subject to downtown design review are described in the applicability language in Subsection 19.907.2.

For those projects that are subject to downtown design review, there are three possible review paths. Regardless of the review process, the applicant must demonstrate how the applicable standards or guidelines are being met.

A. Type I

This provides for a Type I review process using clear and quantifiable design standards. It is intended to apply limited design standards to smaller building and site renovation projects.

B. Type II

This provides for a Type II process that requires staff review utilizing clear and quantifiable design standards. It generally applies to new development and renovation/remodeling projects.

C. Type III

This provides for a discretionary Type III review process through which the Design and Landmarks Committee and Planning Commission determine substantial consistency with the ~~Milwaukie Downtown Design Guidelines~~ document. ~~The discretionary process uses design guidelines contained in this section that are more discretionary in nature and are intended to provide the applicant with more design flexibility.~~

~~Designing a project to meet the quantifiable design and development standards would result in an administrative (Type I or II) review process. However, applicants, at their discretion, may choose to use the Type III process with the Design and Landmarks Committee and Planning Commission.~~

D. Applicable Review Process

A project may only use the administrative (Type I or II) or discretionary (Type III) review process.

Applicants that can meet the administrative design standards (Type I or II), at their discretion, may elect to use the Type III discretionary review process.

Projects reviewed through the Type III discretionary review process may demonstrate compliance with individual design elements by meeting either the standards or the guidelines for a specific element, however the entire project remains subject to a Type III review.

19.508.4 Building Downtown Design Standards and Guidelines

All buildings development that meet the applicability provisions in Subsection 19.508.2 shall meet the following design standards and/or guidelines for each design element. An architectural design feature may be used to comply with more than one standard or guideline.

(Ed note: All of this section is proposed as new text to replace the existing sections but is shown in this draft without the strike-out and underline formatting in order to improve readability. While it is presented as all new text, there is significant overlap with the existing design elements in 19.508.4 and 19.304.5 that were the basis for this new draft.)

A. Site Frontage

1. Purpose

To encourage building design and site placement that enlivens the public realm and streetscape through significant building presence along site frontages and active ground-floor uses.

2. Design Standards

a. Frontage Occupancy

Minimum frontage occupancy requirements are established for block faces identified on Figure A-1. Frontage occupancy requirements are used in combination with the required build-to line of Subsection 2. The frontage occupancy requirements apply as follows:

- (1) For block faces identified on Figure A-1 that front on Main Street, a minimum of 90% of the site frontage must be occupied by a building or buildings. If the development site has frontage on Main Street and another street, the frontage occupancy requirement must be met on Main Street only.
- (2) For block faces identified on Figure A-1 that front on Harrison Street, Monroe Street, Washington Street, Adams Street, and 21st Avenue, a minimum of 75% of the site frontage must be occupied by a building or buildings. Except for Subsection 1.A above, if the development site has frontage on one of the streets listed here and another street, the frontage occupancy requirement must be met on the streets listed here only.
- (3) For other block faces, a minimum of 50% of the site frontage must be occupied by a building or buildings.
- (4) Building facades with recesses incorporated to comply with façade articulation requirements are considered to be occupying the site frontage if the recesses do not exceed 24 in.



(Ed note: Add language here to allow additional small setbacks up to 3 ft (other?) that still meet the intent of the frontage requirement.)

Figure A-1

(Ed note: Consider the following revisions to increase required frontage occupancy, though previous comments were mixed regarding these:

- **Main Street = Set at 75% north of Scott Street.**
- **Jackson Street = Set at 75% west of Main Street.**
- **Jefferson Street = Set at 75% on both sides of Main Street.**

Additionally, consult with City Hall repurposing committee to identify any appropriate percentages to add for the City Hall block, or leave as is without additional requirements.

Figure: Frontage Occupancy Requirements and Build-to Line

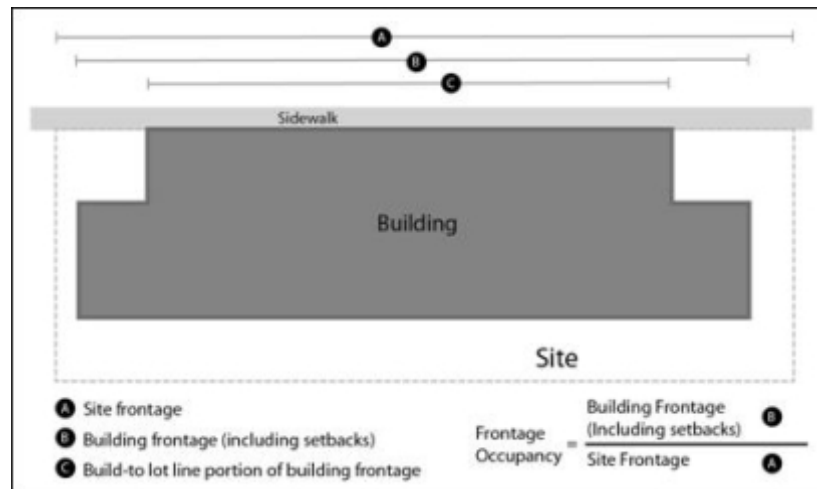
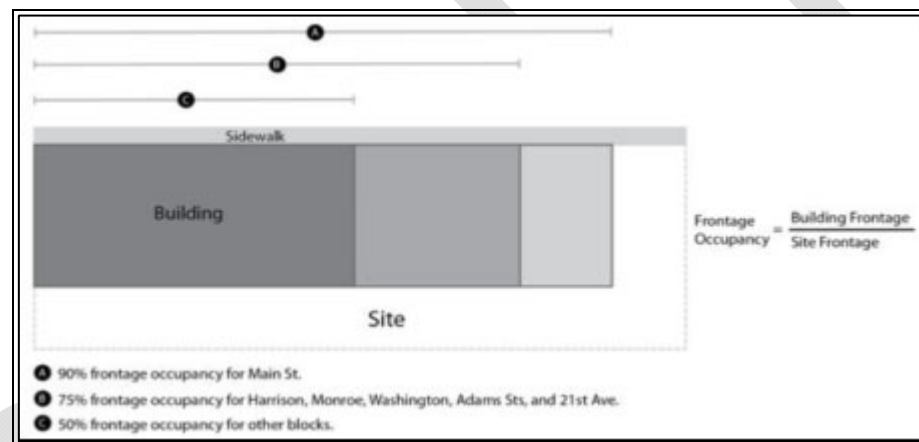


Figure: Frontage Occupancy Requirements



b. Street Setbacks / Build-To Lines

- (1) For those block faces identified on Figure A-2, 75% of the first floor must be built to the front lot line (zero setback). The remaining 25% may be set back from the front lot line a maximum of 20 ft. At least 50% of any front setback area must be developed as usable open space, such as a plaza or pedestrian amenities, that meets the requirements of Element M (Plazas and Usable Open Space).

(Ed note: This could be an alternative location to specify some flexibility to the 'zero' setback that could includes setbacks up to three feet.)

- (2) For other block faces, there is no build-to-line requirement and the maximum setback is 10 ft. At least 50% of any front setback area must be developed as usable open space, such as a plaza or pedestrian amenities, that meets the requirements of Element M (Plazas and Usable Open Space).
- (3) The portions of the building used to meet the build-to-line requirement in Standard 2-A above must have a depth of at least 20 ft.

- (4) The Downtown Mixed Use (DMU) zone is exempt from the clear vision area requirements of Chapter 12.24, with the exception of driveway and street intersections with McLoughlin Boulevard.

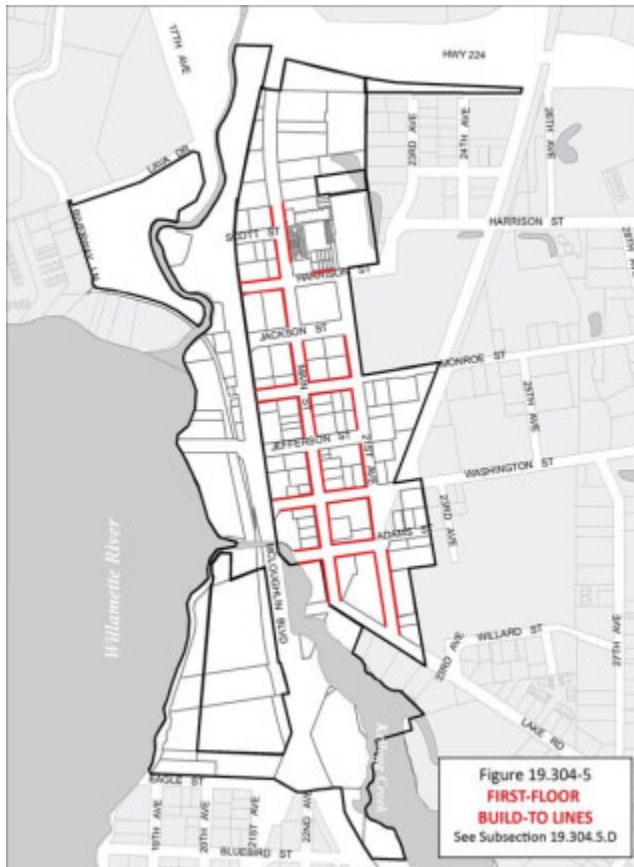


Figure A-2

Consider whether to make to expand the applicability of this requirement to include all block faces downtown, including on McLoughlin Boulevard but not the block of Lake Road/Main Street between 21st Avenue and Main Street (under trestle) or Eagle Street adjacent to the sewage treatment plant. Previous comments were mixed.

Figure: First-Floor Build-To Lines



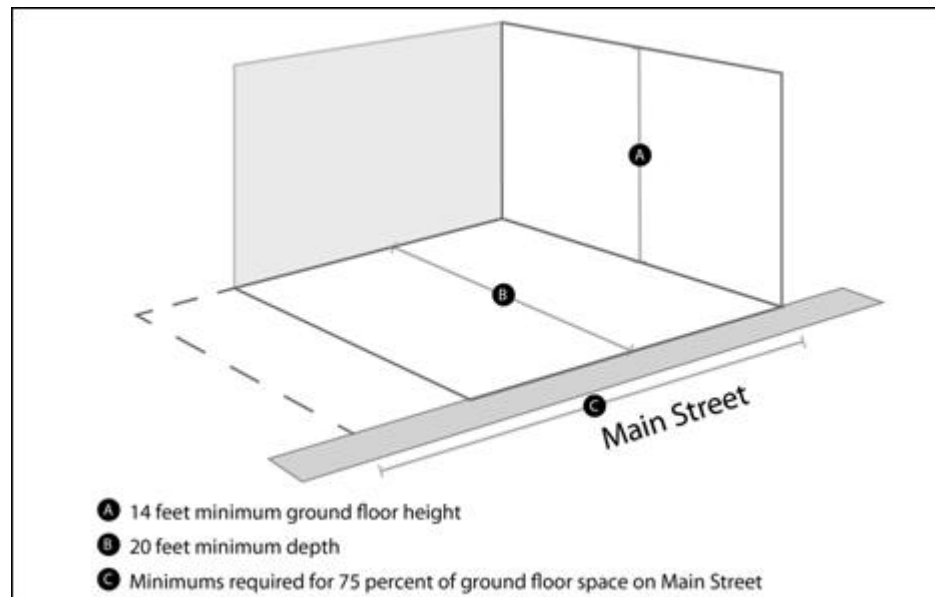
c. Active Ground Floor Space

For new buildings fronting Main Street, excluding ground-floor residential, the following standards must be met:

- (1) At least 75% of the ground-floor height must be at least 15 ft, as measured from the finished floor to the ceiling, or from the finished floor to the bottom of the structure above (as in a multistory building). The bottom of the structure above is the lowest portion of the structure and includes supporting beams.

- (2) At least 75% of the interior floor area adjacent to Main Street must be at least 20 ft deep, as measured from the inside building wall or windows facing Main St.

Figure A-3: Flexible Ground-Floor Space Standards)



3. Design Guidelines

- A strong and high-percentage presence of buildings on the site edge, and spacious active ground-floor spaces and uses should be provided to create a continuous building frontage on the street to create compatibility and harmony between buildings and to encourage pedestrian activities. Building placement along the street should contribute to a continuous street wall that integrates storefront opportunities and architectural interest along the street, and should bring buildings up to the sidewalk for pedestrian interest. The amount of building presence should be scaled to the uses and intensity of the street.
- Where buildings are set back from the property line and sidewalk, the setback distance should be minimized and plazas and open space should be located between the building and sidewalk edge, helping to enliven the street edge and pedestrian realm. The plaza and open space area should incorporate pedestrian-scale features consistent with guidance in Element M (Plazas and Usable Open Space).
- Ground floors of commercial, public, and mixed-use buildings should be flexible and offer ample space for active uses serving occupants and visitors, such as retail, service, or food service. The amount of active ground floor space should be scaled to match the uses and intensity of the street, with the greatest amount in new buildings along Main Street. High ground-floor heights and adequate depths should provide flexible interior spaces for active uses.

B. Wall Structure and Building Façade Detail

1. Purpose

To add visual interest to buildings and enhance the street environment with engaging and varied wall structures. Use design features and details to break down the scale and mass

of a building in order to create comfortable, pedestrian-friendly environments and enclosure to public areas.

2. Design Standards

a. Nonresidential and mixed-use buildings are subject to the following standards:

(1) Vertical Articulation

Buildings of 2 stories and above must be divided vertically to create a defined base, middle and top by incorporating the following elements:

- (a) Base. The base of the building extends between the sidewalk and the top of the ground floor or the belt course/string course that separates the ground floor from the middle of the building. A minimum of the first 2 ft above finished grade of the ground-floor street-facing façade must be constructed of brick, stone, or concrete, excluding windows, entrances and garage openings. The remainder of the base must meet the exterior building materials standards in Element C (Exterior Building Materials).
- (b) Middle. The middle of the building between the top of the ground floor and top of the highest floor must incorporate at least one of the following elements:
 - (i) A change in exterior building materials and/or material color between the ground floor and upper floors.
 - (ii) Street-facing balconies or decks at least 2 ft deep and 4 ft wide for at least 25% of the length of the building façade.
 - (iii) Horizontal architectural elements such as masonry string courses, ledges, and water tables at least 8 in tall that project or recess at least 1 in from the building face and extend across a minimum of 75% of the façade length.
- (c) Top. The top of the building extends from the ceiling of the uppermost floor to the highest vertical point on the roof of the building. The building top must be distinguished from the building facades by one of the following:
 - (i) Cornice or wall cap including a change of materials with a minimum projection of 6 in and minimum height of 12 in.
 - (ii) A pitched or overhang roof with a minimum fascia height of 7 in and eaves, exclusive of rain gutters, that project from the building wall at least 12 in.

(2) Horizontal Articulation

- (a) The street-facing façade must create a sense of rhythm and variation by incorporating the following:
 - (i) The ground floor façade must include columns, piers, pilasters or revealed structural elements projecting a minimum of 4 in from the building face no less than every 30 ft.
 - (ii) The upper story façade must include one of the following no less than every 30 ft:

(A) A change in wall plane of not less than 2 ft deep and 2 ft wide. Breaks may include but are not limited to an offset, recess, window reveal, pilaster, pediment, coursing, column or similar architectural feature.

(B) Architectural bays at least 6 ft wide projecting 4 inches or more from the building face, with windows covering at least 50 percent of the projected wall area.

(iii) As an alternative to complying with a and b separately, elements meeting the requirements of either a or b may be extended vertically across all stories.

(b) Horizontal datum lines—such as belt lines, cornices, or upper-floor windows—must line up with adjacent facades if applicable.

3. Design Guidelines

- a. Street-facing façades should engage the street, achieving a distinct and high-quality treatment that contributes to the downtown as the center of the community.
- b. Building façades should create a sense of coherence through holistic and human-scale design. They should be designed with vertical divisions such as a tripartite façade of base, middle, and top, and horizontal design elements that reference traditional storefront widths and create a sense of rhythm, or an alternative design of vertical and horizontal elements that bring a human scale to the space of the street. Such vertical and horizontal architectural elements should create a coherent pattern and visual interest at a pedestrian scale, particularly for larger buildings.
- c. Buildings should avoid blank wall faces on street-facing façades, particularly on ground floors and building corners at street intersections.
- d. Building façades should integrate façade articulation techniques to add visual interest to the built environment and clearly demarcate areas of visual interest, highlighting entries or displays.
- e. Massing should be purposeful and cohesive, boldly showing depth and/or visual lightness to enrich the pedestrian zone, integrating façade articulation techniques to reduce the perceived scale of larger buildings.

Figures:

- *Keep graphic illustrating horizontal building façade details (Figure 19.508.4.A.2.b)*
- *Keep graphic on flat roof with parapet or cornice (Figure 19.508.4.F.2.b)*
- *Keep graphic on vertical building façade details (Figure 19.508.4.A.2.a)*
- *Use new graphic provided in draft with photo illustrating 10 design features*

C. Exterior Building Materials

1. Purpose

To encourage the use of high-quality building materials that highlight architectural elements, create a sense of permanence, are compatible with downtown Milwaukie and the surrounding built and natural environment, and activate the building around the pedestrian realm.

2. Design Standards

a. New Buildings

The following standards are applicable to the street-facing façades of all new buildings. For the purposes of this standard, street-facing façades are those abutting streets, courtyards, and/or public squares in all of the downtown. Table 19.508.4.C specifies the primary, secondary, accent and not permitted material types referenced in this standard.

(1) Façade coverage

(a) For ground-floor or street-level façades:

- (i) Primary materials (including glazing) must be utilized for at least 90% of each applicable building façade.
- (ii) Accent materials are permitted on no greater than 10% of each applicable building façade.

(b) For upper-floor façades:

- (i) Primary materials (including glazing) must be utilized for at least 65% of each applicable building façade.
- (ii) Secondary materials are permitted on no greater than 35% of each applicable building façade.
- (iii) Accent materials are permitted on no greater than 10% of each applicable building façade as trims or accents (e.g., flashing, projecting features, ornamentation, etc.).

(c) The use of the following materials requires a Director's Determination consistent with Section 19.903. The Planning Manager must consult with DLC in making the determination, and the applicant must provide materials specifications and proposed installation details to inform the determination.

- (i) Materials permitted as review uses in Table 19.508.4.D.
- (ii) Materials similar to the primary, secondary, and accent materials listed in Table 19.508.4.D.

(d) Materials prohibited in Table 19.508.4.D may not be used on any exterior wall, whether or not it is a street-facing façade.

(2) Ground-floor or street-level materials must wrap around to the non-street-facing façade of the building to minimum depth of 10 ft or to the edge of the abutting building, whichever is less.

b. Existing Buildings

- (1) Street-facing façade modifications that affect more than 50% of the existing façade area must comply with standards of this section for the modified portion of the façade.
- (2) Building expansions or additions that add street-facing façade area greater than 25% of the existing façade area, as measured in square feet, or 500 sq ft of façade area, whichever is less, must meet the standards of C.1 for the façade of the building expansion or addition.

Table 19.508.4.C Exterior Building Materials for Street-Facing Façades		
	Allowed Status of Material P = Primary S = Secondary A = Accent R = Review needed X = Prohibited	
Material Type	Ground Floor (First story down to sidewalk grade)	Upper Floors
Brick or brick veneer	P	P
Architectural concrete block or veneer	P	S
Architectural treated poured in place concrete	P	S
Tilt-up concrete walls (finished)	P	P
Pre-cast concrete	P	P
Stone veneer (natural or manufactured)	A-R	A-R
Stucco (topcoat with sand finish)	P	P
Exterior insulation finishing system (EIFS) or other synthetic stucco panels	P-R	P-R
Metal siding = Finished metal panels (e.g., anodized aluminum, stainless steel, copper) featuring a polished, brushed, or patina finish	P	P
Composite wall panels	P	P
Ceramic tile	A	S
Finished natural wood siding and composite wood siding	A	A
Fiber-reinforced cement siding and panels (5/16-in or thicker)	A	P
Through color reinforced cement siding and panels	A	S
Glazing (refer to Façade Transparency element)	P	P
Vinyl siding	X	X
Plywood paneling	X	X
Plastic or vinyl fencing	X	X
Chain-link fencing	X	X
(Ed note: Confirm that highlighted materials accurately reflect direction from April discussion.)		

Figures:

- Keep graphic on exterior wall standards (Figure 19.508.4.D.2)

3. Design Guidelines

- Exterior materials and finishes should be durable, long-lasting and low-maintenance, and create a sense of permanence and high quality.

- b. Exterior materials for street-facing façades should include a palette that is visually interesting, coherent, compatible, related to its place, and observant of environmental elements of our region.
- c. Ground-floor materials should consist primarily of a simple palette of long-lasting materials such as brick, stone, or concrete to create a sense of groundedness.
- d. Upper-floor materials should be attractive and compatible with the dominant materials and colors used on ground-floor facades of the building. Upper-floor materials should not overwhelm ground floor materials.
- e. Street-facing façade materials should be wrapped around the edge to non-street facing façades to create a seamless appearance.
- f. For renovations to existing development, new and existing materials should create a unified appearance.

D. Façade Transparency

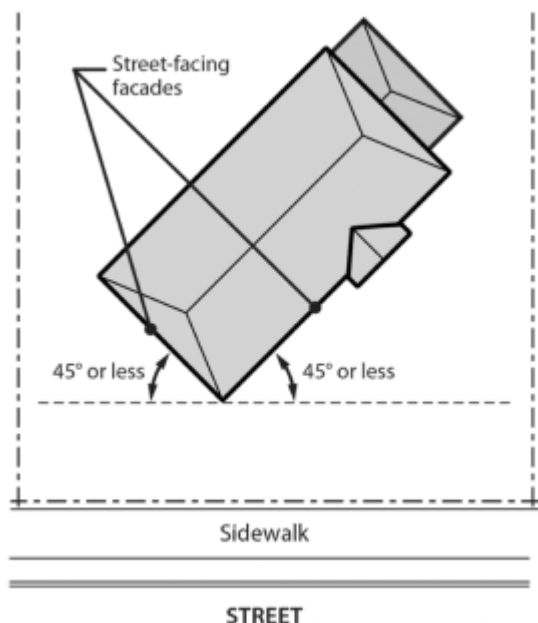
1. Purpose

To activate building interiors and exteriors by ensuring transparency through the building, allowing for daylighting of ground-floor commercial and public uses of buildings, and promoting a safe and vibrant pedestrian environment through visual and physical connections between interior and exterior spaces.

2. Design Standards

a. General Standards

- (1) Transparency must be created through glazing, defined here as windows and the glazed portions of doors.



- (2) "Street-facing" means: All of the wall planes of a structure as seen from one side or view that are at an angle of 45 degrees or less from a street lot line.

(Ed note: This definition from City of Portland code. Could also add a clause that it is those wall planes without any intervening structure between the structure and the street. This applies across several elements and should perhaps be relocated within the section for broader applicability.)

b. Nonresidential and Mixed-Use Buildings

- (1) Ground Floor or Street Level

(a) Main Street

Along Main Street, a minimum of 50% of the ground-floor street-facing wall area must consist of glazing.

The ground-floor street-facing wall area is defined as

the area from 3 ft above finished grade to 12 ft above finished grade or to the bottom of the ceiling joists or, where there is no ceiling, to the bottom of the roof rafters of the space fronting the street, whichever is less.

(b) Other Streets

For all other block faces, a minimum of 40% of the ground-floor street-facing wall area must consist of glazing.

(2) Upper Levels

Along all block faces, the following standards are applicable on the street-facing upper-level building façades:

- (a) The wall area of street-facing upper levels must include a minimum of 30% glazing.
- (b) The required street-facing upper-floor glazing does not apply to floors where sloped roofs and dormer windows are used.

(3) Street-facing blank walls that contain no glazing are limited to 450 sq ft or 30 linear ft, whichever is less, unless required by the Building Code. In instances where a blank wall exceeds 450 sq ft or 30 linear ft, at least one of the following techniques must be employed in addition to the horizontal articulation requirements of Element B:

- (a) Provide a landscaped planting bed or raised planter bed at least 3 ft wide along at least 50% of the length of the blank wall with plant materials capable of obscuring or screening at least 50% of the blank wall's surface area within three years.
- (b) Provide a public art mural or original art mural, as defined in Section 20.04.020, over at least 50% of the blank wall surface.

c. Residential-Only Buildings

- (1) Twenty-five percent (25%) of the total street-facing wall area must consist of glazing.
- (2) Street-facing blank walls that contain no glazing are limited to 450 sq ft or 30 linear ft, unless required by the Building Code. In instances where a blank wall exceeds 450 sq ft or 30 linear ft, at least one of the following techniques must be employed:
 - (a) Articulate the wall with projections or recesses consistent with Element B.
 - (b) Provide a landscaped planting bed or raised planter bed at least 3 ft wide in front of the wall, with plant materials that obscure or screen at least 50% of the wall's surface within three years.
 - (c) Provide artwork (mosaic, mural, sculpture, relief, etc.) over at least 50% of the blank wall surface.

Figures:

Keep graphic on windows and doors (Figure 19.508.4.E)

3. Design Guidelines

- a. Design street-facing nonresidential and mixed-use ground floors with a high percentage of glazing to create transparency and engagement at the pedestrian eye level.
- b. Design nonresidential and mixed-use street-facing upper floors with sufficient glazing coverage to create visual interest along the façade and access to views, light, and air for building inhabitants.
- c. Design residential street-facing ground-floor glazing coverage to balance transparency and privacy for residents.
- d. Arrange glazing to provide balanced coverage of the façade and prevent blank walls.
- e. Design window and doors to maximize transparency and flexibility for ongoing use and adaptation that can be integrate into planned and future building uses and operations, considering such future treatments as shades, curtains, security fencing, and product shelving near windows or doors.

E. Doors and Entrance Location

1. Purpose

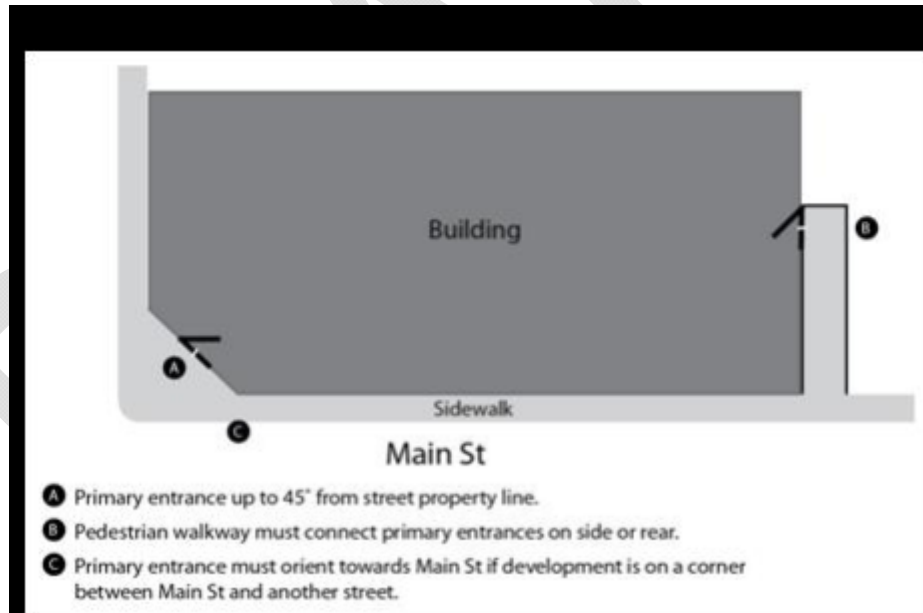
To create pedestrian-friendly development by providing building entrances that are oriented to the sidewalk or other public space and connected with clearly marked pedestrian walkways.

2. Design Standards

- a. All new buildings must have at least one primary entrance facing an abutting street. For purposes of this standard, “facing” means within 45° of the street property line.
- b. For lots with frontage along more than one street, including multiple lots under common ownership being developed as a single site, the primary entrance should be located as follows:
 - (1) For lots with one frontage along a transit street, the primary entrance must be oriented to the transit street with the exception of Subsection 19.508.4.E.2.C.
 - (2) For lots with frontage along two transit streets, the primary entrance must be oriented to the street with higher-quality transit service or the corner of the two streets.
 - (3) For lots with frontage along Main Street, the primary entrance must be oriented to Main Street or the corner of the two streets, even if the other frontage is along a transit street.
 - (4) For lots without frontage on Main Street or a transit street, the primary entrance may be oriented to either street.
- c. Where a development contains multiple buildings or multiple individual storefronts or residential units and there is insufficient street frontage to meet the above entrance location standards for all buildings, storefronts or residential units on the subject site, the primary entrances for each building, storefront or residential units may orient to a plaza, courtyard, or similar pedestrian space designed as usable open space meeting the standards of Element M (Plazas and Usable Open Space). When oriented this way, the primary entrances shall be connected to the street by an on-

site pedestrian walkway either directly or through a plaza, courtyard, or similar pedestrian space.

- d. Primary entrances for mixed-use and nonresidential buildings must be clearly defined and distinguished from other parts of the building by incorporating at least one of the following design elements:
 - (1) Recessed or projected entry.
 - (2) Entry surrounds such as arches, columns, insets, and design elements above and/or flanking the entrance.
 - (3) Transom windows above the entrance door.
- e. For mixed-use and nonresidential buildings, the glazed portions of doors for primary entrances must be 75% or more of the door area.
- f. For residential buildings, primary entrances must:
 - (1) Incorporate one of the design elements in subsection (4) above; or
 - (2) Incorporate a covered porch, stoop, or patio with a minimum depth of 4 ft that may be elevated from sidewalk grade by no more than 8 ft.
- g. All entrances must be lighted consistent with Subsection 19.508.4.N (Outdoor & Exterior Building Lighting).



Change door to swing out

3. Design Guidelines

- a. Entryways should be sited to provide access where the highest amount of pedestrian activity is planned and where the pedestrian experience is designed to be exceptional. Primary building entries should be located along the Main Street or transit street frontage, where present, or at the corner of two such frontages for

corner lots, whenever possible. Primary entries should not be oriented towards parking lots and service areas.

- b. Building entries should be designed as prominent architectural features that are clearly defined and demarcated. Entryways should integrate features such as scale, materials, glazing, projecting or recessed forms, architectural details, and color in entryway areas, along with accent features such as lighting and landscaping to set an entry apart.
- c. Nonresidential doors should create a strong connection to the street through the use of techniques such as storefront doors and surrounding windows with a high percentage of glazing, double doors, and large glazed sectional doors.
- d. Residential entryways should incorporate vertical and horizontal layering by including a comfortable change of grade or entry features such as porches, terraces, stoops, or covered landings to create a connection to the street while maintaining a respectful separation for resident privacy. Residential doors should be substantial enough to suggest privacy yet still express a welcoming sense of friendly contact for those who approach and enter.

F. Windows

1. Purpose

To integrate windows made of high-quality materials that are compatible with the building design in order to create visually interesting exterior façades and that function to create sufficient interior light and enhance connections between interior and exterior spaces.

2. Design Standards

a. General Standards

- (1) Window openings must provide shadowing by recessing windows 4 in into the façade and/or incorporating exterior trim of at least 4-in reveal and of a contrasting material or color.
- (2) The following materials are approved for new window frames:
 - (a) Anodized or painted aluminum windows
 - (b) Wood
 - (c) Fiberglass
 - (d) Alternatively, frameless window systems may be used.
- (3) The use of spandrel glass is limited to floor lines and parapets.
- (4) For modification and expansion of existing buildings, replacement windows must match existing windows with respect to materials and dimensions. Alternatively, landmarks subject to Section 19.403 must comply with Subsection 19.403.5.E.4.

b. Prohibited Window Elements

For all street-facing building windows, the following window elements are prohibited:

- (1) Opaque, reflective or mirrored glazing.
- (2) Glazing tinted beyond energy code requirements.
- (3) Simulated divisions (internal or applied synthetic materials).

- c. Window Placement and Proportion
 - (1) For nonresidential ground-floor windows, the bottom edge of windows along pedestrian ways must be an average of no less than 1 ft and an average of no more than 3 ft above the abutting finished grade.
 - (2) For all windows on street-facing façades, proportions must create a sense of pattern and compatible design. Each window must comply with at least one of the following:
 - (a) Window shares the same width or height as another window on the same façade.
 - (b) The top or bottom edge of the window aligns with the top or bottom edge of another window on the same façade.
- d. For modification and expansion of existing buildings, replacement windows must match existing windows with respect to materials and dimensions. Alternatively, landmarks subject to Section 19.403 must comply with Subsection 19.403.5.E.4.

Figures:

Keep graphic on windows and doors (Figure 19.508.4.E); needs text edits to align with proposed standards.

3. Design Guidelines

- a. Window materials should be compatible with other primary wall and surface materials while providing a degree of contrast. Materials should be high quality and provide a high degree of transparency. Windows should provide shadowing through use of trim and/or recesses.
- b. Nonresidential uses should provide windows at the street level, inviting pedestrians in and providing views both in and out, maintaining transparency and visibility regardless of the time of day.
- c. Ground-floor street-facing nonresidential windows should engage with the street and connect indoor and outdoor spaces, such as through the use of operable, opening windows (e.g., sliding, pivoting, or articulating windows).
- d. Window groupings, proportions and orientation should create a sense of rhythm and pattern to provide architectural interest to the overall building composition.

G. Corners

1. Purpose

To create a strong architectural statement at street corners, provide opportunities for pedestrian-scale activity, establish visual landmarks, and enhance visual variety.

2. Design Standards

a. Nonresidential or Mixed-Use Buildings

On corner lots or development sites consisting of more than one lot under common ownership at the corner of two public streets—or at the corner of a street and a public

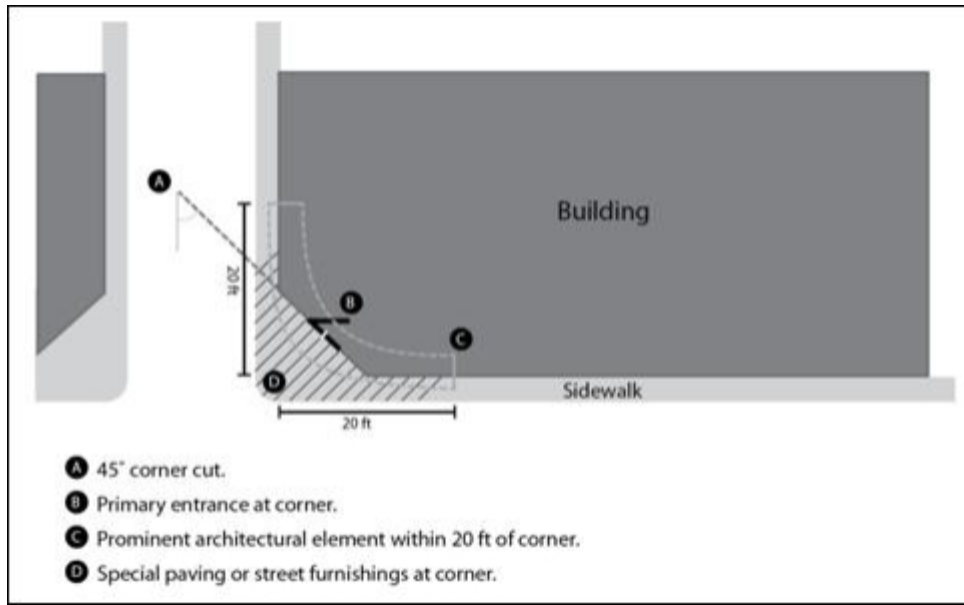
area, park, or plaza— nonresidential or mixed-use buildings must incorporate at least two of the following features:

- (1) The primary entry to the building located within 5 ft of the corner of the building.
- (2) A lobby or retail space a minimum of 100 sq ft in floor area with 90% transparency on facing windows and entrances within 5 ft of the corner of the building.
- (3) A pedestrian canopy or marquee at least 10 ft long at the corner of the building.
- (4) A chamfered corner at least 10 ft wide with an entry on the chamfer, or a similarly dimensioned rounded or stepped corner.
- (5) Enhanced pedestrian amenities including at least two of the following three options adjacent to the public right-of-way: a minimum of 100 sq ft of special paving materials, a minimum of two pieces of street furniture such as a bench or garbage can, water fountain, and/or a minimum of 20 sq ft of landscaping or planters.
- (6) Only for corner lots with frontage along Main Street and either Harrison, Monroe, Washington or Adams Sts, a prominent architectural element including one of the following:
 - (a) Height modulation element such as tower, turret or cupola, defined as an architectural feature that projects a minimum of 5 ft and maximum of 10 ft above the surrounding building, with a minimum width of 8 ft, which has a separate roof structure and is uniquely identifiable from the rest of the building. Such features are exempt from maximum height standards in 19.304.4.B provided they are not used for human occupancy.
 - (b) Corner offset projecting at least 2 ft from the main façade and extending at least 10 linear ft on both sides of the corner, incorporating distinctive materials compared to the main facade and extending a minimum height of one story.
 - (c) Corner inset from the building face by at least 8 ft on at least the first story and extending at least 10 linear ft on both sides of the corner, including a recessed entrance. A pedestrian canopy or marquee at least 10 ft long at the corner of the building. A chamfered corner at least 10 ft wide with an entry on the chamfer, or a similarly dimensioned rounded or stepped corner. Enhanced pedestrian amenities including at least two of the following three options adjacent to the public right-of-way: a minimum of 100 sq ft of special paving materials, a minimum of two pieces of street furniture such as a bench or garbage can, water fountain, and/or a minimum of 20 sq ft of landscaping or planters.

Figures:

Make the image larger and clearer—zoom in on the corner of the graphic to show more detail.

For purposes of the illustration, the door should swing out.



3. Design Guidelines

- a. For all nonresidential and mixed-use buildings at the corner of two public streets, highlight and make the corner prominent through the use of features such as:
 - (1) Change in building material
 - (2) Window coverage pattern
 - (3) Chamfered, rounded or stepped corner
 - (4) Increased building height at the corner, potentially incorporating features such as tower, turret or cupola
 - (5) Façade articulation
 - (6) Projecting or recessed building entrances
 - (7) Canopies or marquees
 - (8) Active retail and semi-public spaces such as building lobbies
- b. Design of the corner should have a scale and character compatible with the scale of the corner and other buildings at the corner and the level of activity at the corner.
- c. For all nonresidential and mixed-use buildings, create active exterior spaces at site corners, particularly where building corners are set back, in ways that emphasize pedestrian use and encourage people to come together and gather through features such as street furnishings, special paving materials and planting materials.

H. Building Massing and Transitions

1. Purpose

To promote building massing that creates compatible building scale and relationships between adjacent downtown buildings including massing variation that reflects the rhythm of traditional storefronts and breaks up the perceived massing of larger buildings, while

creating an inviting pedestrian realm on the street by increasing access to light and air. To provide scaled transitions to adjacent residential uses to minimize impacts of building massing.

2. Design Standards

a. Building Massing

For any street-facing portion of the building above the base maximum height as identified in Figure 19.304-4, buildings must include either:

- (1) A stepback of at least 6 ft along at least 50% of the street-facing portion of the building; or
- (2) Balconies at least 6 ft deep along at least 50% of the street-facing portion of the building.

b. Building Façade Height Variation

The height of building elements along street-facing façades must be varied along the wall plane closest to the site frontage in order to break up the overall bulk and mass of buildings. At least one variation in height along the street-facing façade shall be provided for every 50-ft interval. Exact spacing of variations may vary provided that the total number of variations required is met and no portion of the façade exceeds 50 ft without a variation. Building façade height variation must be accomplished by using one or more of the following methods:

- (1) Vertical offset of height along the façade by minimum of 4 ft.
- (2) Dormer or other projecting element along or within 2 ft of the façade with minimum 4-ft height and 4-ft width.
- (3) Balcony or step back from the façade with a minimum 4-ft depth and minimum 6-ft width.
- (4) Other techniques approved by the Planning Manager, shown to create variation along the top of street-facing façade through modulations in height, mass or bulk.

c. Building Transitions

For any property in the Downtown Mixed Use (DMU) zone that is north of Harrison Street and within 50 ft of the property line abutting low-density residential zones (i.e., R-10, R-7, or R-5), the following transition measures are required for any new building:

- (1) The new building must be located at least 6 ft from any property line abutting a low-density residential zone. This requirement supersedes the applicability of the transition area measures provided in Subsection 19.504.6.
- (2) The new building must provide a step-back of at least 6 ft for any portion of the building above 35 ft in height above grade.

Figures:

Add graphic to show the stepback, balcony, or other massing requirements .

3. Design Guidelines

- a. Building massing should contribute to a welcoming and pedestrian-scaled sense of enclosure and definition of the street.
- b. Buildings that utilize bonus height should mitigate impacts of additional height and mass by including step backs, façade insets, high façade permeability, and other perceived mass-reducing techniques to ensure access to light, privacy, and sky views for nearby building occupants and people on the street.
- c. Building façades should incorporate variation in height or character to break up the perceived bulk and mass of the building into pedestrian-scale components that create a sense of pattern and rhythm. Such variation should be aligned with horizontal articulation elements to create a harmonious design. (See Element B.)
- d. For buildings abutting low-density residential zones, building setbacks, step backs, façade articulation, landscaping, fencing, and/or transition measures should be deployed to blend building massing between downtown and any adjacent residentially zoned neighborhoods to reduce perceived mass of buildings.

I. Weather Protection

1. Purpose

To create an all-season pedestrian environment shielded from the elements, whether by the building structure itself or with added-on features such as awnings and canopies, that is integrated with rather than obscures the building design. Overhead protection encourages window shopping and lingering, and weather protection features can provide interest and detail to a façade as well as create outdoor sidewalk seating areas for restaurants and cafés.

2. Design Standards

a. Minimum Weather Protection Coverage

- (1) All ground-floor building entries must be protected from the weather by awnings, canopies, marquees, recesses, or similar weather protection.
- (2) Awnings, canopies, marquees, recesses, or similar weather protection must be provided along at least 50% of the ground-floor elevation(s) of a commercial or mixed-use building where the building abuts a sidewalk, civic space, or pedestrian accessway.
- (3) Weather protection used to meet this section must extend at least 4 ft over the pedestrian area but no more than xx ft [or xx percentage of sidewalk area?]. Balconies and recesses meeting these dimensional requirements can be counted toward this requirement.

(Ed note: Staff to check with public works.)

- (4) Weather protection used to meet the above standards must be at least 8 ft above the finished grade, including any valance.

b. Weather Protection Materials, Design, and Details

- (1) Materials

- (a) Awnings must be constructed of a non-vinyl cloth or canvas with a matte finish or a material similar in appearance and texture.
 - (b) Canopies must be constructed of rigid plastic, metal, glass, or a material similar in appearance and texture.
 - (c) Marquees must be constructed of metal, glass, wood, or a material similar in appearance and texture.
 - (d) Vinyl or any similar flexible plastic sheet material is prohibited for all weather protection features.
 - (e) The structure or frame materials for awnings and canopies must be aluminum or steel.
- (2) Awnings or canopies must be attached directly above an entry or window. Awning and canopy width must not exceed the width of the entry or associated window opening and may not extend over more than one storefront opening. Marquees must be attached to the building directly above the entrance and may extend past the entrance.
 - (3) For awnings and canopies, only lighting that illuminates the building and/or sidewalk is allowed. Awnings and canopies must not be illuminated from below or internally.
 - (4) Any signage on awnings, canopies or marquees must be consistent with requirements of Subsection 14.16.060.C.

Figures

In Figure 19.508.4.C.2, remove the “6-ft maximum” for canopy length (Item B).

Insert images or illustrations to demonstrate an awning, canopy, and marquee. (?)

3. Design Guidelines

- a. Along the ground floor, buildings should protect pedestrians from inclement weather and provide shade in the summer through use of awnings, canopies, marquees, or elements of the building structure itself such as recesses or balconies. The total amount of awning, canopy and/or marquee coverage along a façade should provide adequate weather protection for pedestrians without overly shadowing the sidewalk.
- b. Awnings, canopies and marquees should be placed over all building entrances and storefront windows or other similar locations and integrated with other entryway design features. (See Element E.)The total amount of awning, canopy and/or marquee coverage along a façade should provide adequate weather protection for pedestrians without overly shadowing the sidewalk.
- c. The design of awnings, canopies, marquees, and elements of the building structure should be an integral and well-proportioned component of the building façade. Awnings, canopies and marquees should not obscure or negatively impact the character-defining features of the subject building.
- d. Canopies and awnings should be sized to match individual entrances and storefront windows. They should be placed directly above such features and should not extend outside the piers and lintel of the storefront opening. A single awning or canopy

spanning across multiple commercial storefronts and that obscures character-defining features is strongly discouraged.

- e. Weather protection features should be well proportioned relative to the sidewalks. Features should not be so project so far into the public right-of-way as to detract from street trees, light fixtures, or street furniture, but should extend far enough to provide coverage for pedestrians at entrances and windows. Features should provide adequate vertical clearance for pedestrian movement.
- f. Awnings, canopies and marquees should be of high-quality materials and should not include vinyl.
- g. Awning or canopy lighting, if provided, should highlight the building or illuminate the sidewalk and should not illuminate awnings or canopies from below or internally.

J. Roofs and Rooftop Equipment Screening

1. Purpose

To create a visually interesting feature at the top of the building that enhances the quality and character of the building and complements the building design, while reducing or eliminating the visual impact of rooftop equipment on the street pedestrian environment by providing screening or other concealing design features that also contribute to the high-quality design and visual interest of the building.

2. Design Standards

a. Rooftop Design

(1) The roof of a building must follow one (or a combination) of the following forms:

- (a) Flat roof (less than 1/12 pitch) or low-slope roof (between 1/12 and 4/12 pitch)
- (b) Hip roof
- (c) Gabled roof
- (d) Dormers
- (e) Shed roof

(2) Roofs are subject to the following standards as applicable:

- (a) All flat or low-slope roofs must be architecturally treated or articulated with a parapet wall that projects vertically above the roofline at least 12 in and/or a cornice that projects from the building face at least 6 in.
- (b) All hip or gabled roofs exposed to view from adjacent public or private streets and properties must have a minimum 4/12 pitch.
- (c) Sloped roofs with a 4/12 pitch or higher must have eaves, exclusive of rain gutters, that project from the building wall at least 12 in.
- (d) When an addition to an existing structure, or a new structure, is proposed in an existing development, the roof forms for the new structure(s) must have the same slope and be constructed of the same materials as the existing roofing.

b. Rooftop Equipment Screening

- (1) The following rooftop elements do not require screening:
 - (a) Solar panels, wind generators, and green roof features.
 - (b) Equipment under 2 ft high, if set back a minimum of 10 ft from the outer edge of the roof.
- (2) If visible from public street view, elevator mechanical equipment or a mechanical penthouse may not extend above the height limit by more than 16 ft, and must use a consistent exterior building material for the mechanical shaft or penthouse.
- (3) Satellite dishes, communications equipment, and all other roof-mounted mechanical equipment must be set back a minimum of 10 ft from the roof edge and must be screened from public street view. For purposes of this standard, “public street view” means the pedestrian level from across the adjacent public street and does not include views from adjacent buildings. If necessary, screening from public street view must be achieved by one of the following methods that is at least as tall as the tallest part of the equipment being screened:
 - (a) A screen around the equipment that is made of an exterior building material used on other portions of the building, or masonry.
 - (b) Vertical green roof features or regularly maintained, dense foliage that forms an opaque barrier year-round when planted.
- (4) Required screening will not be included in the building’s maximum height calculation.

Figures:

- *Maintain Figure 19.508.4.F.3, minus the 10-ft maximum height limit.*
- *Look at the sight-lines diagram provided by City of Beaverton to see if it can help inform our standard—and adjust the existing figure (19.508.4.F.3) if needed.*

3. Design Guidelines

- a. Building rooflines should enliven the pedestrian experience and be of visual interest, with detail and variation that will create a skyline composed of interesting forms and shadows. Building silhouette should be compatible with those of other buildings along the existing streetscape.
- b. Roof shape, surface materials, colors, mechanical equipment and other penthouse functions should all be integrated into the overall building design, and should be considered an additional façade to complement the building’s design.
- c. Roof mounted mechanical equipment should be hidden from public street view by parapets, screening walls, vertical landscaping or green roof features, enclosures installed as an integral part of the architectural composition, strategic placement, or similar treatments. If such treatments are not practicable, mechanical units may be painted in lieu of screening with muted, neutral colors that make the equipment visually subordinate to the building and any adjacent buildings.

K. Service Areas (Screening)

1. Purpose

To preserve well-designed building frontages and pedestrian environments by minimizing the potential negative impacts of service areas on visual design and circulation while maintaining sufficiently accessible and functional loading, waste collection, utility, and other service areas.

2. Design Standards

Service areas include external utility structures, loading docks, recycling facilities, trash containers, and other service areas.

- a. Service areas must be located for access from the most minor street.
- b. Screening must be established on all sides of service areas, except where an opening is required for access. If access is possible only on a side that is visible from a public street, a solid gate or door is required.
- c. Landscaping, structural elements, painting, and/or murals or other public art must be used to screen service areas that are located along a public street frontage. The required screening must result in an opaque barrier to a minimum height of 6 ft.
- d. Where structural forms of screening are utilized, the materials must match the primary or secondary building materials and colors as described in Element C (Exterior Building Materials).
- e. For new buildings, waste collection areas must be located within the building itself rather than a stand-alone waste enclosure.
- f. Residential-only multifamily and mixed-use buildings must meet the recycling area standards of Table 19.505.3.D.10.

(Ed note: As part of developing an integrated set of standards for residential projects in downtown, this adds a functionality requirement for all residential and mixed-use projects to provide recycling facilities.)

3. Design Guidelines

- a. Service areas, loading docks, waste enclosures, external utility structures, and other similar features should be located away from pedestrian areas, public street frontages especially Main Street, or at a less visible portion of the site to reduce possible impacts of these facilities on building aesthetics and pedestrian circulation.
- b. Whenever possible, screen and conceal all sides of service areas, loading docks, waste enclosures, and other outbuildings. Solid gates or doors should be used on sides requiring access.
- c. Use screening, fencing, landscaping, decorative walls, or other treatments to provide screening, using materials and designs compatible with the primary building they serve. Screening should be of a height, width, and opacity necessary to sufficiently screen all equipment and service areas.
- d. Waste collection areas should be located and designed to minimize visual, odor, and noise nuisances, and should be integrated into the building. If separate waste collection enclosures are utilized, they shall be screened, covered with a roof or be self-contained.
- e. Residential-only multifamily and mixed-use buildings should provide recycling areas that are appropriately sized to accommodate the amount of recyclable materials

generated by residents. Areas should be located such that they provide convenient access for residents and for waste and recycling haulers. Recycling areas located outdoors should be appropriately screened or located so that they are not prominent features viewed from the street.

(Ed note: Same as above, corresponds to standards and derived from multifamily standards in 19.505.3.D.10)

L. Resident Open Space

1. Purpose

To promote livability in the downtown environment by providing open space amenities within the development site for use by residents.

2. Design Standards

- a. The following standards apply to mixed-use buildings and residential-only multifamily buildings with four or more units. Multifamily buildings are exempt from compliance with the private and common open space standards established in MMC Subsections 19.505.3.D.1 and 2.
- b. Fifty (50) sq ft of open space is required for each dwelling unit. The open space may be developed entirely as private open space or common open space, or it may be a combination of the two types of open space.

(Ed note: Is there desire to add an option to reduce the requirement for resident open space where a project is adjacent to a park, which would allow more site space to be used for housing?)

c. Private Open Space

- (1) Private open space must be contiguous to the unit it serves shall be directly accessible from the interior of the dwelling unit.
- (2) Private open space may be provided in the form of a porch, deck, balcony, patio, terrace, or other private outdoor area.
- (3) Areas used for entrances or exits will not be considered as private open space except where such entrances or exits are for the sole use of the unit they serve.
- (4) Balconies, decks, porches and patios must have a minimum depth of 4 ft and may project up to a minimum of 4 ft into the public right-of-way.

d. Common Open Space

- (1) Common open space must be at least 15 ft by 15 ft in dimension and may be provided in the form of decks, shared patios, plazas, courtyards, landscaped areas, roof gardens, recreation rooms, lobbies, or other gathering spaces created strictly for the occupants and not associated with storage or circulation.
- (2) Outdoor common open space areas must integrate amenities such as tables, benches, movable seating, trees, shrubs, landscaping areas or planters, garden plots, and/or fountains.
- (3) Outdoor common open space must be lighted as required by Element N – Outdoor and Exterior Building Lighting.

- (4) When provided at ground level, outdoor common open space must be abutted on at least one side by the building, with at least one window and one door to access the space; and must be bordered on at least one other side by fencing, landscaping, low walls, planters, site furnishings, or other building walls.
- (5) Regardless of location (ground-level or above), where any building wall abuts an outdoor common open space, the wall must include at least 1 window or door with a minimum of 50% glazing.

3. Design Guidelines

- a. Building design should incorporate ample open space opportunities for residents with a mix of private and/or common open spaces to provide access to outdoor recreation, scenic amenity, or shared outdoor space for people to gather.
- b. Private open spaces should be scaled to enhance usability by residents and have direct access from the dwelling unit, and should be visually and/or physically separate from common areas.
- c. Common open spaces should be inviting and enhance opportunities for use by residents. These spaces should be human-scaled, accessible, durable, attractive, and secure.
- d. Common open spaces should integrate amenities for residents' use and enjoyment, including landscaping in outdoor spaces.
- e. Common open spaces should be well-defined by surrounding buildings, walls, fences, landscaping or other techniques to provide visual definition for the space. Adjacent buildings should incorporate transparent windows and doors to provide physical and visual access to the space, and include active use areas that front the open space.

M. Plazas and Usable Open Space

1. Purpose

To ensure that downtown plazas and open spaces are designed for usability and a variety of activities during all hours and seasons, provide amenities for downtown visitors, businesses and residents, promote livability, and help soften the effects of built and paved areas.

2. Design Standards

Open spaces such as plazas, courtyards, gardens, terraces, outdoor seating, small parks and similar spaces, including usable open space provided to meet the standards of Element A, must meet the following standards.

(Ed note: Consider how to distinguish this requirement from the Resident Open Space element above.)

- a. Where any building wall abuts an open space, the wall must include at least one window or door with a minimum of 50% glazing.
- b. Usable open space must be directly accessible at grade adjacent to the public sidewalk.
- c. Hardscaping in open spaces must utilize concrete or unit paving and may not use asphalt or gravel surfacing.

- d. Landscaping must be integrated into open spaces to meet the following:
 - (1) A minimum of 10% of the open space area must be landscaped areas incorporating trees, shrubs, and ground cover.
 - (2) No more than 20% of this landscaped area can be covered in mulch or bark dust. This requirement excludes mulch or bark dust under the canopy of trees or shrubs.
 - (3) Nuisance species listed in the Milwaukie Native Plant List are prohibited.
 - e. Open spaces must provide at least 3 ft of seating area (e.g., bench, ledge, etc.) or one individual seat, including movable seating for outdoor seating areas, per 60 sq ft of plaza or open space area.
 - f. Open spaces must be lighted as required by Element N – Outdoor & Exterior Building Lighting.
3. Design Guidelines
- a. Plazas and open spaces should be inviting and create opportunities for a variety of uses.
 - b. Plazas and open spaces should avoid separation from the street by visual barriers or significant change of grade. Plazas and open spaces should create visual and physical connections to abutting buildings.
 - c. Plazas and open spaces should be human-scaled, accessible, durable, and attractive, and should enhance users' comfort and enjoyment by integrating features such as:
 - (1) Pedestrian amenities such as water features, drinking fountains, and/or distinctive paving or artwork
 - (2) Permanent or movable seating
 - (3) Weather protection, especially weather protection that can be moved or altered to accommodate conditions
 - (4) Transitional zones along building edges to allow for outdoor eating areas and a planted buffer
 - (5) Lighting
 - d. Plazas and open spaces should create visual interest by including a mix of hardscape and landscape elements such as trees, shrubs, and plants.
 - e. Landscaping in plazas and open spaces should be integrated to provide shade for hardscaped areas and to provide visual interest and texture.
 - f. Buildings adjacent to plazas and open spaces should incorporate transparent windows and doors to provide physical and visual access to the space and should include active use areas that front the open space.
 - g. Plazas and open space should be designed to integrate sustainability and enhance the relationship to the natural environment, including consideration of the sun angle at noon and the wind pattern in the design of the space and incorporation of water treatment features such as rain gardens.

N. Outdoor and Exterior Building Lighting

1. Purpose

To incorporate outdoor and exterior building lighting that increases pedestrian comfort, accentuates design and architectural features, enhances safety, and minimizes light pollution (both spill and casting or glare).

2. Design Standards

a. Lighting must be designed to comply with the following standards:

- (1) Primary building entrances required in Element E (Doors and Entrance Locations) must have a minimum illumination of 2.0 foot-candles.
- (2) All other building entrances and areas underneath weather protection elements described in Element I must have a minimum illumination of 1.0 foot-candles.

(Ed note: Added requirement to illuminate areas underneath canopies, awnings etc. Is 1.0 foot candles an appropriate lighting level?)

- (3) Common open spaces for residents subject to Element L (Resident Open Space) must be lighted with pedestrian-scaled lighting (no more than 14 ft in height) at a level at least 1.0 foot-candles throughout the space.
- (4) Plazas and usable open space subject to Element M (Plazas and Usable Open Space) must be lighted with pedestrian-scaled lighting (no more than 14 ft in height) at a level at least 2.0 foot-candles throughout the space.
- (5) If parking areas are present, lighting must comply with standards in 19.606.3.F.

b. Lighting luminaires must have a cutoff angle of 90 degrees or greater to ensure that lighting is directed downward, except as provided for up-lighting of flags and permitted building-mounted signs.

c. Lighting must not cause a light trespass of more than 0.5 footcandles measured vertically at all shared property lines of the site, with the exception of property lines along public right-of-way.

(Ed note: Added to reflect necessity and desire for site lighting to spill onto the sidewalk.)

d. Flashing or strobe lights, fluorescent tube lights, and security spotlights are prohibited on the exterior of downtown buildings.

3. Design Guidelines

- a. Exterior lighting should be used to articulate the building elements, including (but not limited to) entrances, common open spaces for residents, plazas and usable open space, signage, canopies, cornices, storefronts, and other architectural features. Lighting levels of entrances, areas underneath weather protection elements, and all open spaces should be pedestrian scale and provide a sense of safety.
- b. All lighting should be designed to prevent unnecessary illumination of adjacent sites, with the exception of adjacent sidewalks within a public-right-of-way where illumination is desired. As a rule of thumb, lighting levels should be no greater than necessary to provide for pedestrian safety, property or business identification, and crime prevention.

- c. Flashing or strobe lights, fluorescent tube lights, and security spotlights are discouraged from use on the exterior of downtown buildings.

DRAFT

Language to be read at the beginning of Milwaukie City Council meetings.

The City of Milwaukie respectfully acknowledges that our community is located on the ancestral homeland of the Clackamas people. In 1855, the surviving members of the Clackamas signed the Willamette Valley Treaty also known as the Kalapuya etc. Treaty with the federal government in good faith. We acknowledge that the territory covered by the City of Milwaukie is on the ancestral homelands of the Clackamas people. We offer our respect and gratitude to the indigenous people of this land.

[personal living statement to be made with each reading]